



# The Grading Permit Process

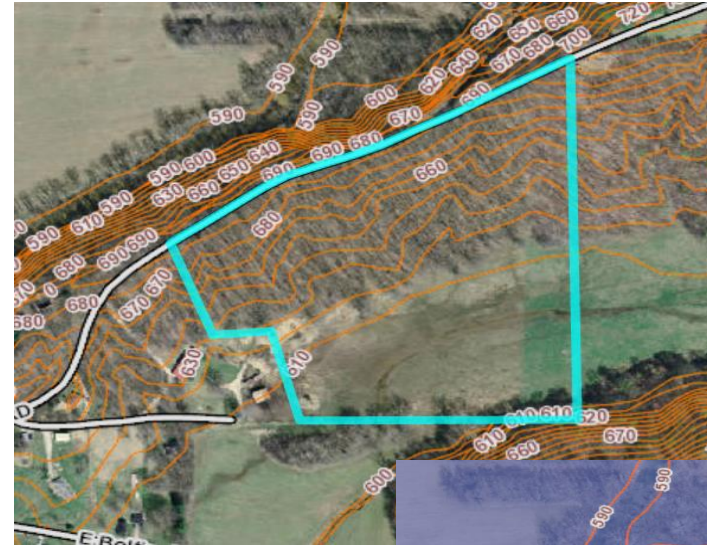
---

MONROE COUNTY PLANNING DEPARTMENT

2021 CONTRACTOR'S WORKSHOP

# When is a Grading Permit required?

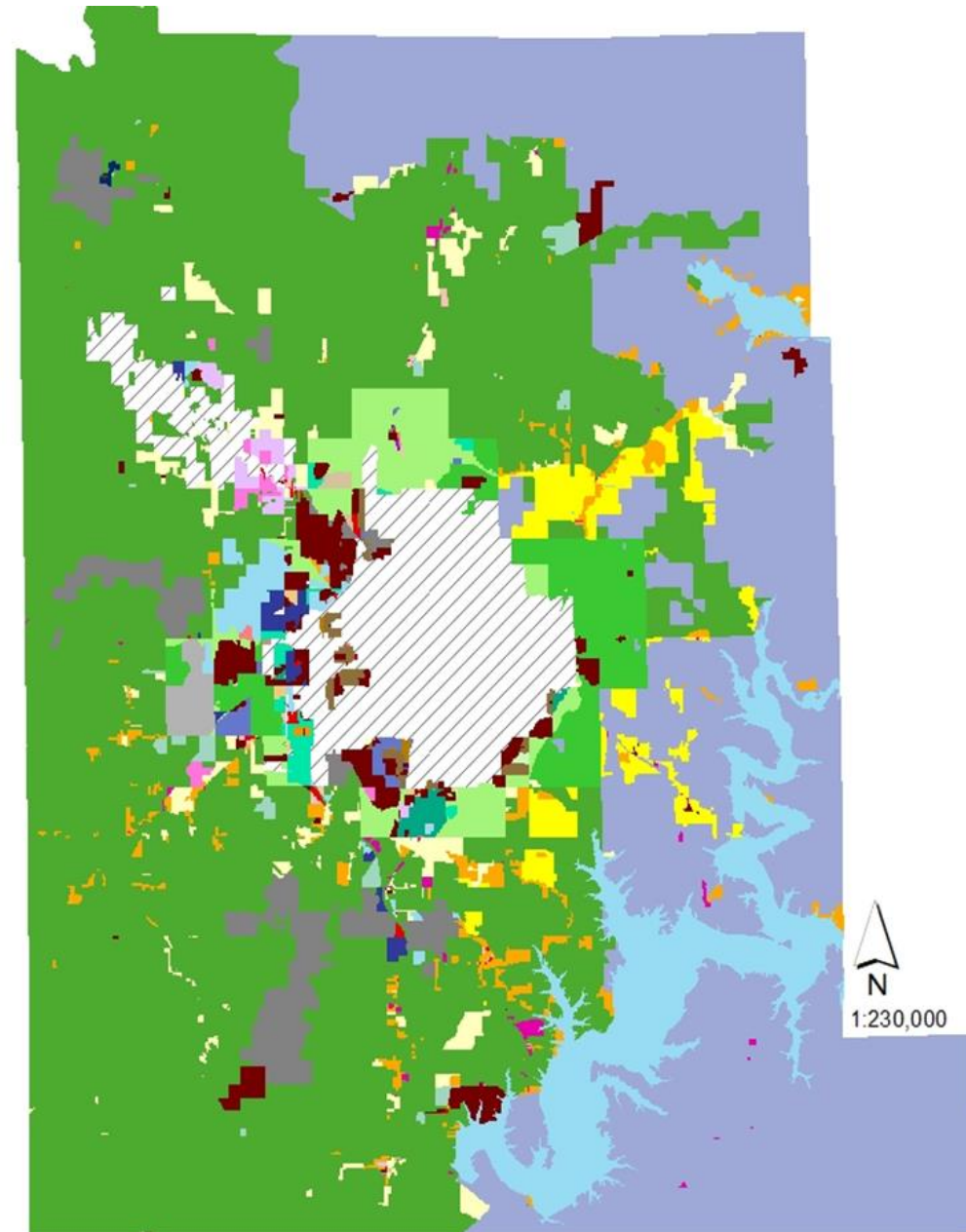
- Commercial sites
  - After Commercial Site Plan Approval
- Residential sites
  - Pre-construction earth moving
  - Enforcement: after-the-fact / as-built
- ECO Areas (residential driveways)
  - Enforcement: after-the-fact / as-built
- Pond construction



# Monroe County Zoning

## Legend

AG/RR - Agriculture/Rural Reserve	MR - Medium Density Residential
AP - Airport	N.T. - No Tag (Outside Juris.)
BP - Business Park	PB - Pre-Existing Business
CA - Commercial Arterial	PUD - Planned Unit Development
CG - General Commercial	Q - Quarries
CL - Limited Commercial	QY - Quarry
CR - Conservation Residential	RE - Residential Estate
ER - Estate Residential	RE1 - Estate Residential 1
FR - Forest Reserve	RE2.5 - Estate Residential 2.5
GB - General Business	REC - Recreation
HI - Heavy Industrial	RM - Multi Dwelling Residential
HR - High Density Residential	RM15 - Multi Dwelling Res. 15
I - Institutional Uses	RM7 - Multi Dwelling Res. 7
IG - General Industrial	RS - Single Dwelling Residential
IL - Limited Industrial	RS2 - Single Dwelling Res. 2
IN - Institutional	RS3.5 - Single Dwelling Res. 3.5
IP - Institutional/Public	RS3.5/PRO6 - Single Dwell. Res. 3.5/PRO6
LB - Limited Business	RS4.5 - Single Dwelling Res. 4.5
LI - Light Industrial	SR - Suburban Residential
LR - Low Density Residential	UR - Urban Residential
ME - Mineral Extraction	WA - Water
MH - Manuf./Mobile Home Park	



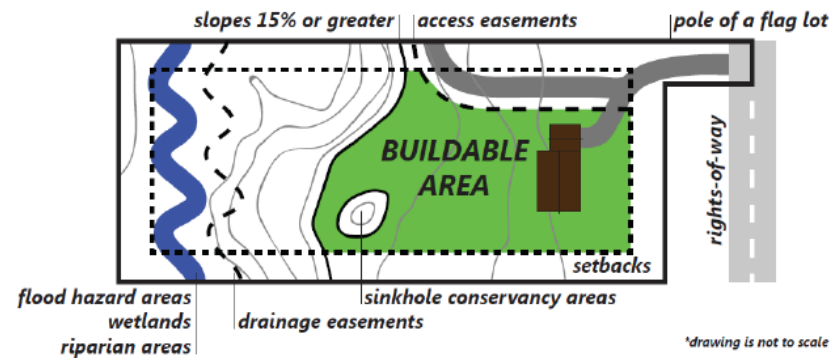
# Land Use Factor: Slope

- Buildable Area (15%) – Chapter 804
- Sinkholes
- Easements – Conservation/Riparian

(E) Any building or structure constructed after October 2, 2015 must be located within a buildable area. The following shall not be included in the buildable area:

- Special Flood Hazard Area as specified in Chapter 808;
- Wetlands as specified in Chapter 801;
- ➔ Slopes 15% or greater as specified in Chapter 825 Area 2 Regulations;
- Sinkhole Conservancy Areas as specified in Chapter 829;
- Drainage Easements as specified in Chapter 856;
- Riparian Conservancy Areas as specified in Chapter 801;
- Rights-of-way as specified in Chapter 801;
- Easements for access;
- Pole of a flag lot as specified in Chapter 801; and,
- Setbacks as specified by Ordinance.

Figure 4-2



## Legend

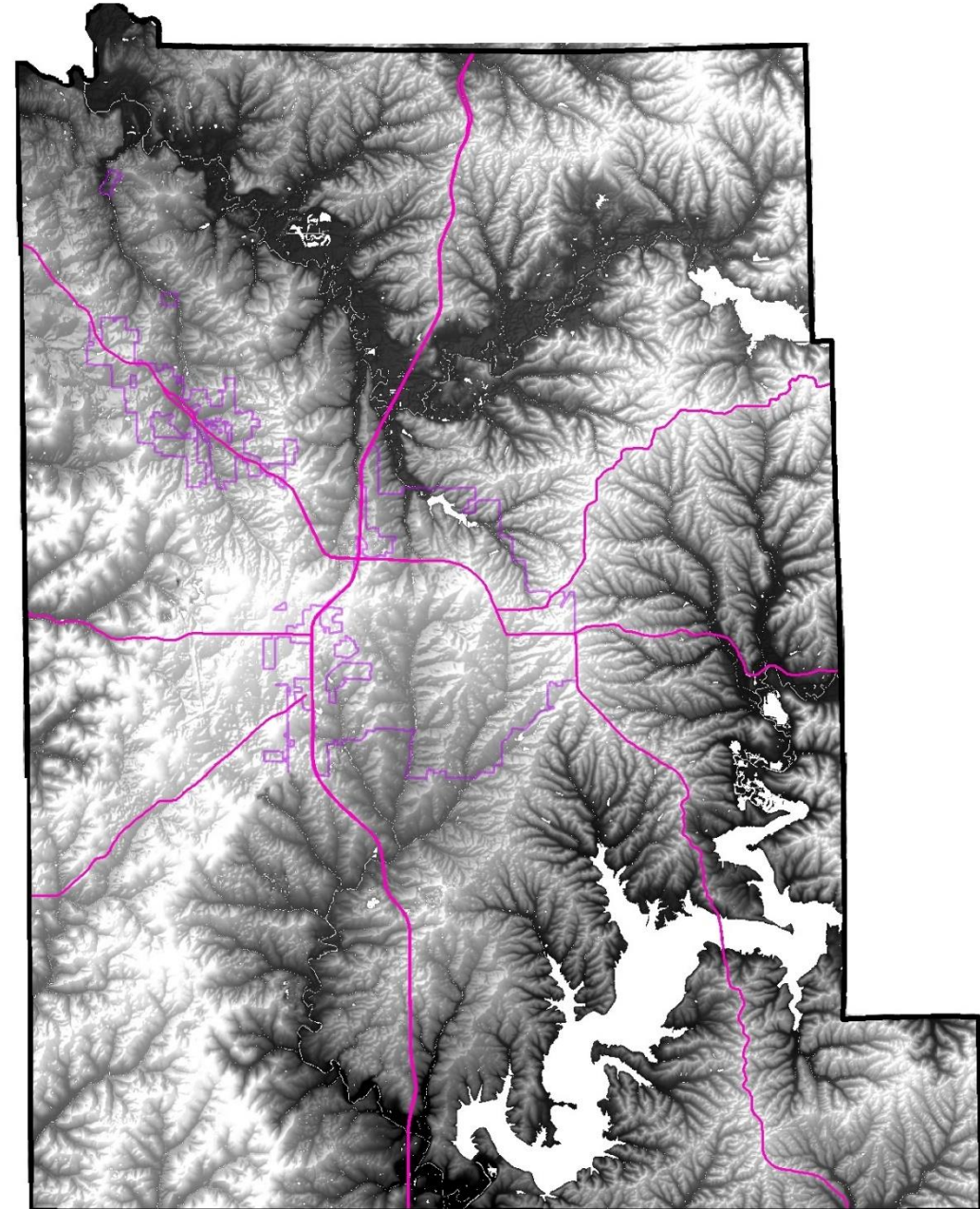
Corporate Boundaries

MoCo\_LAS\_2010.tif

Value

High : 997







Low : 0

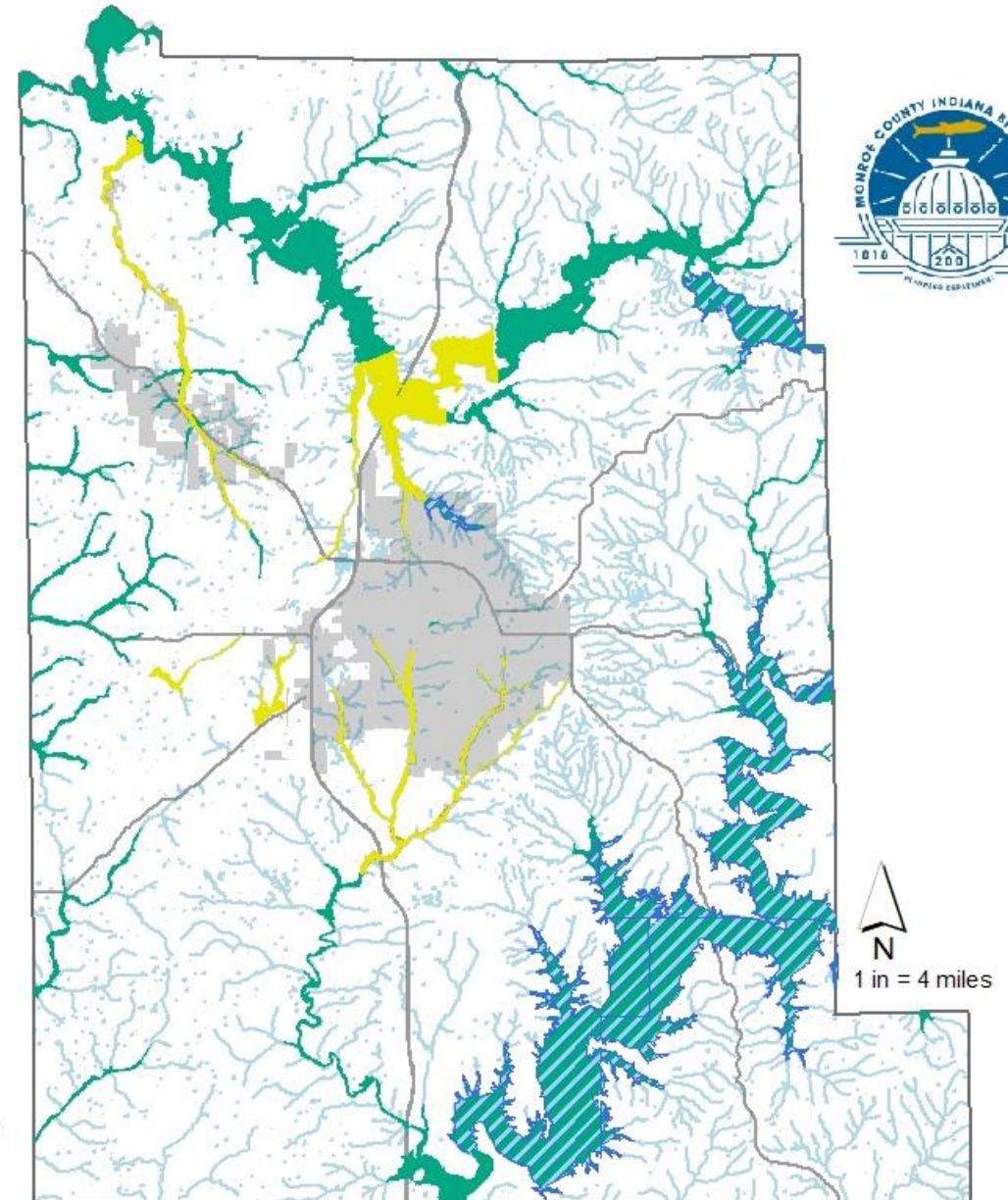


# Land Use Factor: FEMA Floodplain

- Federal, State, and County permitting
  - County – Chapter 808
- Pre-Filing with Floodplain Administrator
  - Tammy Behrman, Senior Planner
- Indiana Waterways Inquiry
  - Section 401 Water Quality Certifications
  - Isolated Wetland permits
  - Construction in a Floodway permits
- Floodplain Analysis / Regulatory Assessment

## Legend

-  Lakes
- Flood Zone**
-  A/E Floodway
-  A
-  AE
-  Vector.DBO.Hydrology
-  Corporate Boundaries



# Land Use Factor: ECO Areas

## CHAPTER 825

### ZONING ORDINANCE: ENVIRONMENTAL CONSTRAINTS OVERLAY ZONE

825-1.

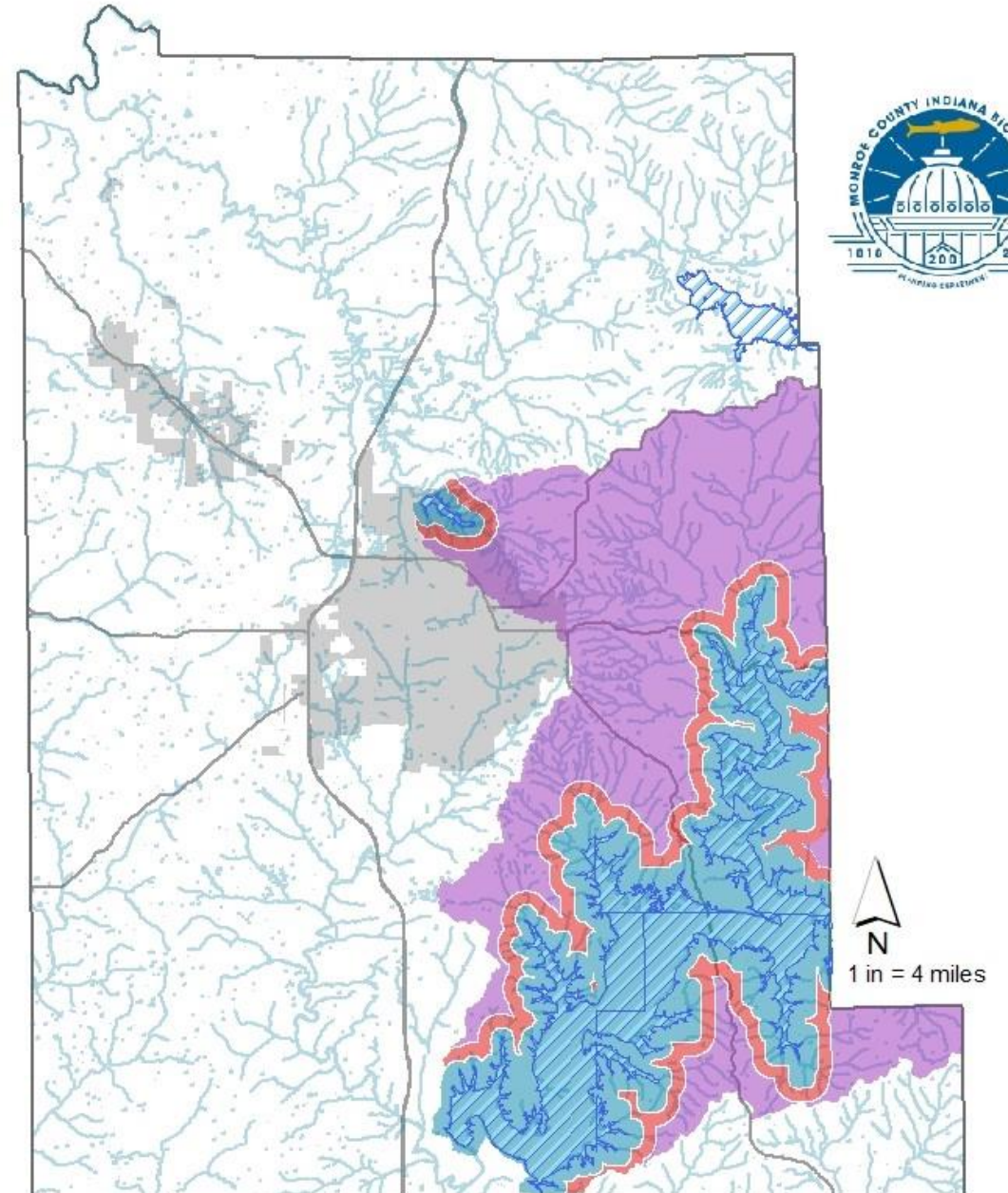
#### Purpose

The purpose of the Environmental Constraints Overlay Zone is to:

- (A) Protect and enhance the public health, safety and welfare by
  - (1) Preserving and enhancing the quality of the water supply for residential, industrial and public use;
  - (2) Recommending appropriate regulations for building sites, structures and land uses in the Monroe and Griffey Reservoir watersheds;
  - (3) Improving stormwater management in the watersheds;
  - (4) Preventing pollution, erosion, siltation and the loss of topsoil;
  - (5) Protecting the tax base from impairment due to unwise use of land; and
  - (6) Encouraging watershed mitigation areas.
- (B) Protect and enhance resources as recreational and tourist attractions by
  - (1) Protecting water quality for fish and other aquatic life;
  - (2) Preserving shore cover and the natural beauty of the lakes and streams; and
  - (3) Enhancing and protecting forests, wildlife areas, wetlands, parks and recreational facilities for beneficial water management.

#### Legend

-  Lakes
- TAG**
-  Area 1
-  Area 2
-  Area 3
-  Vector.DBO.Hydrology
-  Corporate Boundaries



# Land Use Factor: ECO Areas

## 825-4. Overlay Area Regulations

### (A) Area 1 Regulations

12% slope – structures & land disturbance

### (B) Area 2 Regulations

15% slope – structures & land disturbance

### (C) Area 3 Regulations

18% - land disturbance, 15% structures

#### Legend

 Lakes

#### TAG

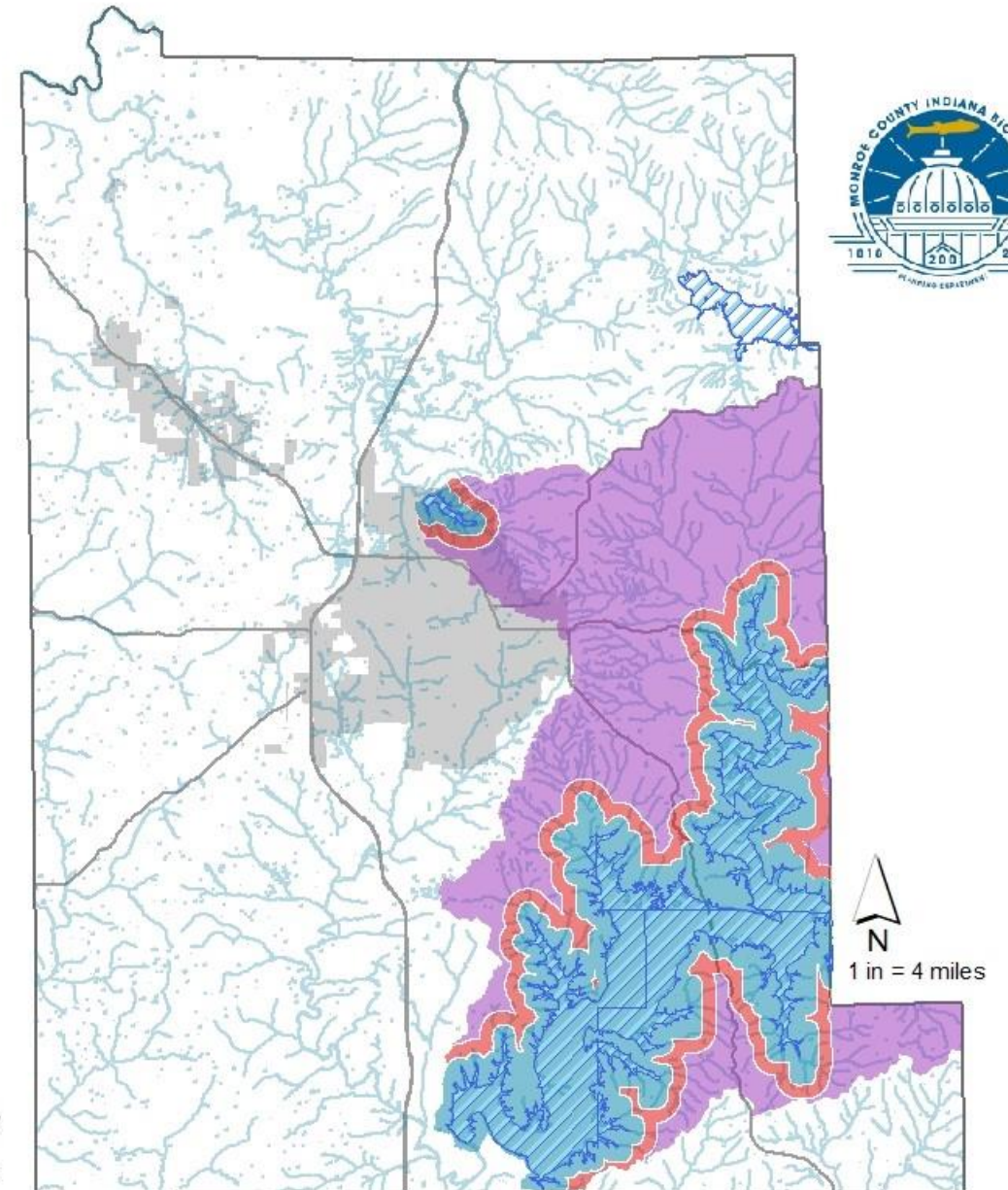
 Area 1

 Area 2

 Area 3

 Vector.DBO.Hydrology

 Corporate Boundaries



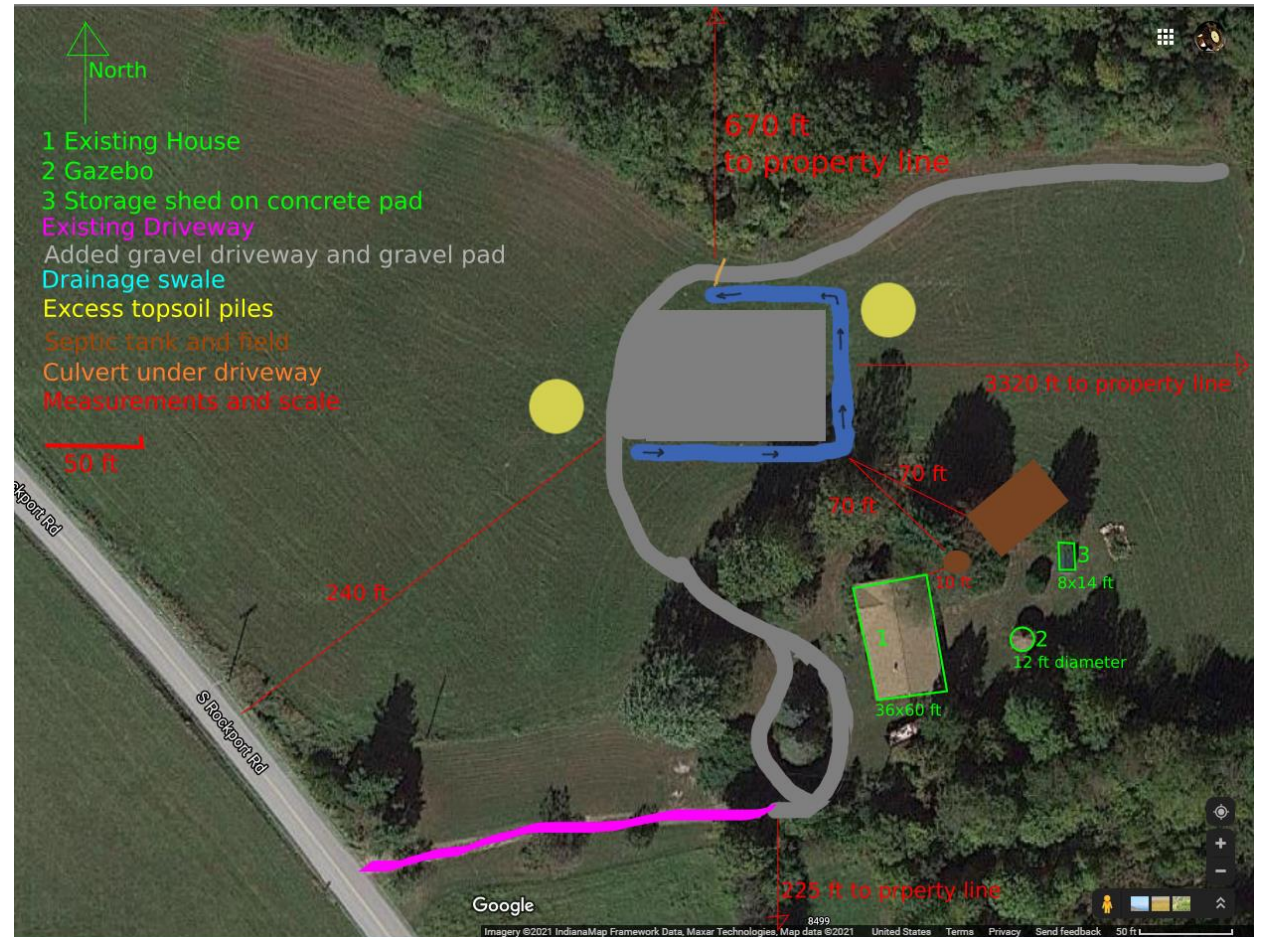
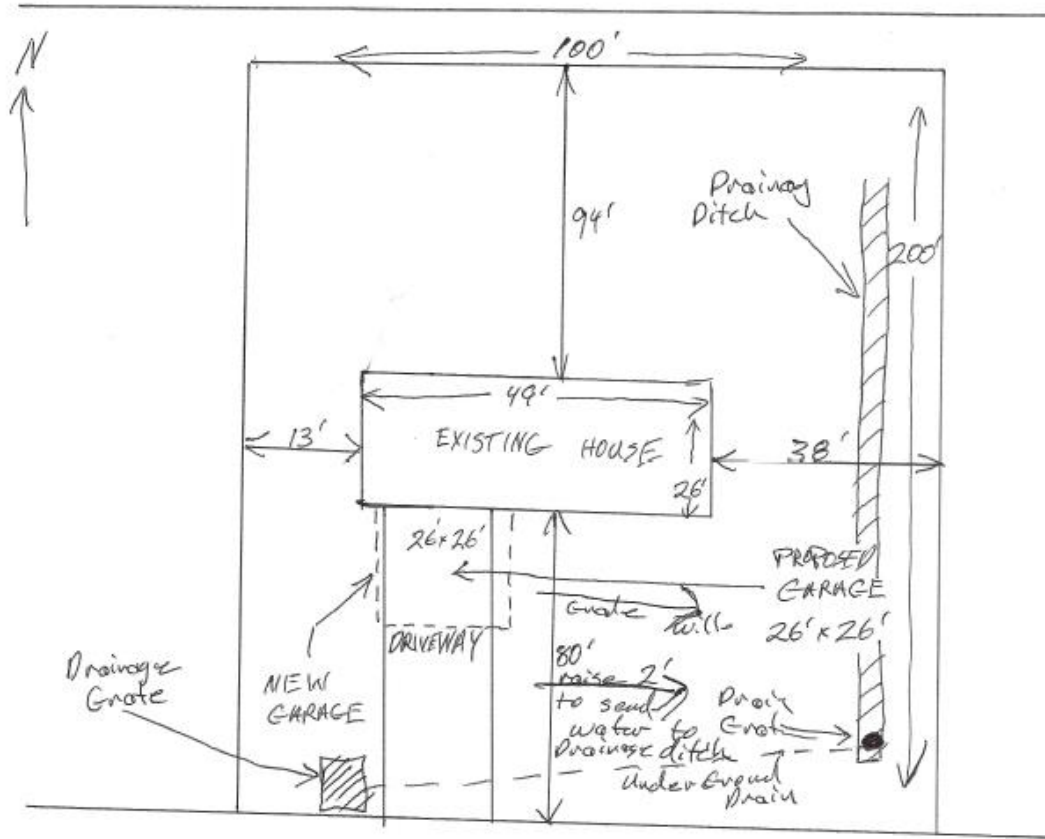
# Application

---

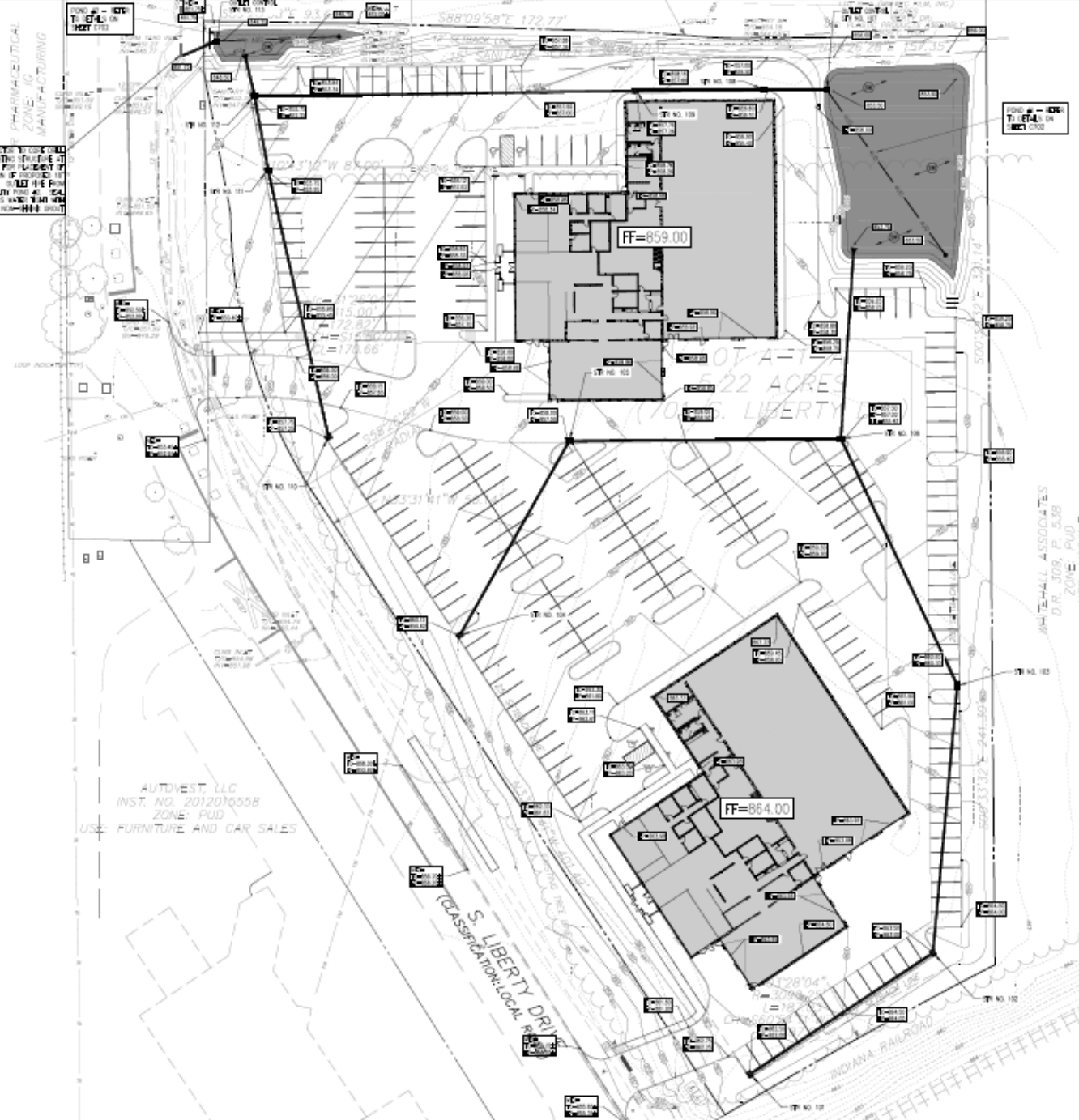
- Applicant
  - Property owner contact information
  - Contractor contact information
- Current property deed
- Detailed site plan
- Erosion and sediment control plan
- Filing fee – \$100 / \$200
- If Applicable:
  - Driveway permit
  - Rule 5 – 1 acre or more
  - StormWater Pollution Prevention Plan
  - Geotechnical study



# Site Plan & Erosion Control



CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AT THE PROJECT LOCATION PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT.



**GRADING/DRAINAGE LEGEND**



**NOTE:**  
 CONTRACTOR IS RESPONSIBLE TO VERIFY WITH THE VENDOR THROUGH GEOTECHNICAL INVESTIGATION, THAT THE SUBSTRATE THROUGHOUT THE SITE HAS ADEQUATE LOAD CAPACITY UNDER PROPOSED BUILDINGS AND PARKING LOTS BEFORE FOUNDATION AND PROPOSED BUILDINGS OR PARKING LOTS BE BE BUILT.

AUTOVEST LLC  
 INST. NO. 2012010058  
 ZONE: PUD  
 USE: FURNITURE AND CAR SALES

WHITEHALL ASSOCIATES  
 D/R, JOB, P, SUB  
 ZONE: PUD  
 USE: VACANT  
 INTENSITY: LOW



**NOTE TO CONTRACTOR**

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCREASES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

PROPOSED

AUTOVEST LLC (CM)  
 701 SOUTH LIBERTY DRIVE  
 BLOOMINGTON, INDIANA 47403

WHITEHALL ASSOCIATES INC.  
 1311 SOUTH LIBERTY DRIVE  
 BLOOMINGTON, INDIANA 47403

DATE: 01/14/2014  
 DRAWN BY: JDF  
 CHECKED BY: JDF  
 APPROVED BY: JDF  
 PROJECT NO: 2012010058

**NOTE TO CONTRACTOR**  
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCREASES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.



Have a project #?

Step 1 of 6 ·

[Save Draft and Exit](#)

## Grading Permit

### Confirm your contact information

Ensure your contact information is up-to-date so that we can get in touch with you if needed.

First Name

Last Name

Email address

Phone Number

Address 1

Address 2 (Optional)

City

State

ZIP/Postal Code

[Next >](#)

[Revert](#)



Have a project #?

Step 2 of 6 ·

Save Draft and Exit

Grading Permit

## Location for Grading Permit

Select a location for this record.

[Back to Location Types](#)



### Search for Address or Parcel

Search for an address or parcel by name, address, or Parcel ID.

[< Back](#)

Next >

## Site Information

Project Name \* ⓘ

Is this permit part of enforcement action and considered after-the-fact? \*

Will 1 acre or more be disturbed? \*

Total Acreage to be disturbed \*

Describe the scope of work \* ⓘ

List Best Management Practices \* ⓘ

Does the work involve bringing in off-site soil? \*

Does this property include Waters of the US? \*

If you are removing soil from the site, where will you be hauling it to? \* ⓘ

Will the grading work include utility installation? \* ⓘ

Is there a geotechnical study on file for this property? \*

Is the property/properties on sewer? \*

Will you be putting in a new driveway OR doing any work within the right-of-way with this grading permit? \*

[← Back](#)[Next >](#)

Have a project #?

Step 6 of 6

Save Draft and Exit

**Grading Permit**

**Attachments**

Include any additional files with your submission. Any box marked "Required" is required to submit your application. Please note the maximum allowed file size for any upload is 100 MB.

Attachment	File	
<p><b>Detailed Site Plan</b> <span style="color: red; font-weight: bold;">Required</span></p> <p>The Site Plan must show the property boundaries and all existing and proposed structures, proposed elevation grades, roads, drives, easements, sewer systems, vegetation, streams, drainage channels and basins, and other features (parking areas, septic fields, etc.). Illustrate the Erosion Control Best Management Practices on the site plan. All erosion &amp; sediment control measures must meet the minimum specifications as described in The Indiana Handbook for Erosion Control in Developing Areas. A plan must also be submitted for any associated off-site fill areas. A site plan must also be submitted for any associated off-site fill or borrow areas. Note: Site plan must comply with Chapter 804-4(E) on Buildable Area.</p>	No file uploaded	<a href="#">Upload</a>
<p><b>Driveway Permit</b> <span style="color: red; font-weight: bold;">Required</span></p> <p>If lots are accessed by a County road, apply for the 'right-of-way activity permit' through the County Highway Department. If lots are accessed by a State Road, provide a copy of a driveway permit application from the Indiana Dept. of Transportation.</p>	No file uploaded	<a href="#">Upload</a>
<p><b>Other</b></p>	No file uploaded	<a href="#">Upload</a>
<p><b>Current Deed</b> <span style="color: red; font-weight: bold;">Required</span></p> <p>Accessible at the Recorder's Office (Courthouse Room 122).</p>	No file uploaded	<a href="#">Upload</a>
<p><a href="#">Add attachment</a></p>		



## Monroe County Planning Department Grading Permit

Permit  
IG-21-9

PERMISSION IS HEREBY GRANTED TO:

**Applicant / Contractor:** Kendall Knoke / Tom Winger & Stanger Excavating  
**Owner:** SOMO Development Company LLC  
**Project Name:** Southern Meadows  
**Location Address/Parcel #:** S Rogers ST / 53-08-20-100-055.002-008  
**ISSUED ON:** June 21, 2021  
**Permit Expiration:** Permit must be reviewed 1 year from June 21, 2021 and expires 2 years after June 21, 2021  
**Notes/Constraints:** **THIS PERMIT IS FOR PHASE I ONLY. SEE ATTACHED GRADING PLAN.**

**CALL 811 BEFORE YOU DIG**

This permit is to be posted in a conspicuous place: visible from the public street, and shall remain in place during the entire period of land disturbance. Any changes from the submitted plans on file with the planning department under the above permit # and date must undergo further approval. Performance Standards for permitted uses in the Monroe County Ordinance Chapter 802-4 shall apply. RULE 5 compliance will be enforced.

**\*\*Project site owner must submit a Notice of Termination letter upon completion of project to the above address.**

### **YOU ARE RESPONSIBLE FOR EROSION CONTROL.**

There shall be no offsite sedimentation.

Any track out on roadways shall be swept up and removed from the roadway by end of work day.

All graded areas shall be stabilized within seven (7) days of final grade.

Any graded areas that are, might be, or are intended to be left bare for more than 15 days shall receive temporary seeding appropriate to the season.

Erosion and sediment control best management practices (BMPs) must be maintained throughout construction per the Stormwater Pollution Prevention Plan or Erosion Control Plan.

This permit allows for **Grading ONLY**. Separate permits must be obtained for infrastructure and building construction work according to the final approved ILP under a separate future permit.

Monroe County, IN  
Planning Department  
501 N. Morton St., Suite 224  
Bloomington, IN 47404  
812-349-2560

**THIS PERMIT MUST BE POSTED WHERE IT IS VISIBLE FROM THE STREET**

## Post permit on-site

Schedule a pre-construction with MS4 Assistant  
& Planner

Visit the Planning Dept. after to pick-up permit



# Monroe County, Indiana County Development Ordinance

[Monroe County Draft Zoning Map – 2021](#)

[www.monroecdo.com](http://www.monroecdo.com)





# Questions?

---

ANNE CRECELIUS – PLANNER/GIS SPECIALIST

ACRECELIUS@CO.MONROE.IN.US

(812) 349-2560