

MONROE COUNTY DRAINAGE BOARD
Wednesday September 6, 2023, at 8:30 AM
Location: Showers Building Room 106D
Hybrid Meeting with Virtual Attendance via Zoom

AGENDA

1. Call to Order
2. Approval of Minutes for: May 31, 2023 +*
3. Public Input for Items not on the Agenda
4. Business
 - a. Pinnacle Business Park – MacAllister Rentals +*
 - b. Heitink Properties, LLC +
 - c. Joseph Greene PUD – C I & L Clear Creek +
5. Staff Reports/Discussion

Link to DRAFT Stormwater Management Ordinance (August 2022):

https://www.co.monroe.in.us/egov/documents/1669831347_72535.pdf

Link to DRAFT Stormwater Technical Standards Manual (August 2022):

https://www.co.monroe.in.us/egov/documents/1669831403_93922.pdf

6. Adjournment
 - a. Date of Next Meeting: Wednesday October 4, 2023, at 8:30 AM

+ Attachment Included

* Board Action Requested

Zoom Meeting Information:

<https://monroecounty-in.zoom.us/j/81406336371?pwd=WWxYd240SGpGdG0yR2Vra3BRSVpYUT09>

Meeting ID: 814 0633 6371

Password: 663262

Dial by your location:

+1 312 626 6799 US (Chicago)

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of Monroe County, should contact Monroe County Title VI Coordinator Angie Purdie, (812)349-2550, apurdie@co.monroe.in.us, as soon as possible but no later than forty-eight (48) hours before the scheduled event.

Individuals requiring special language services should, if possible, contact the Monroe County Government Title VI Coordinator at least seventy-two (72) hours prior to the date on which the services will be needed.

The meeting is open to the public.

Project Name: MacAllister Rentals
Engineer/Design Firm: Katie Stein, Smith Design Group
Address: 3721 W Profile Pkwy
Acres: 16.4 acres

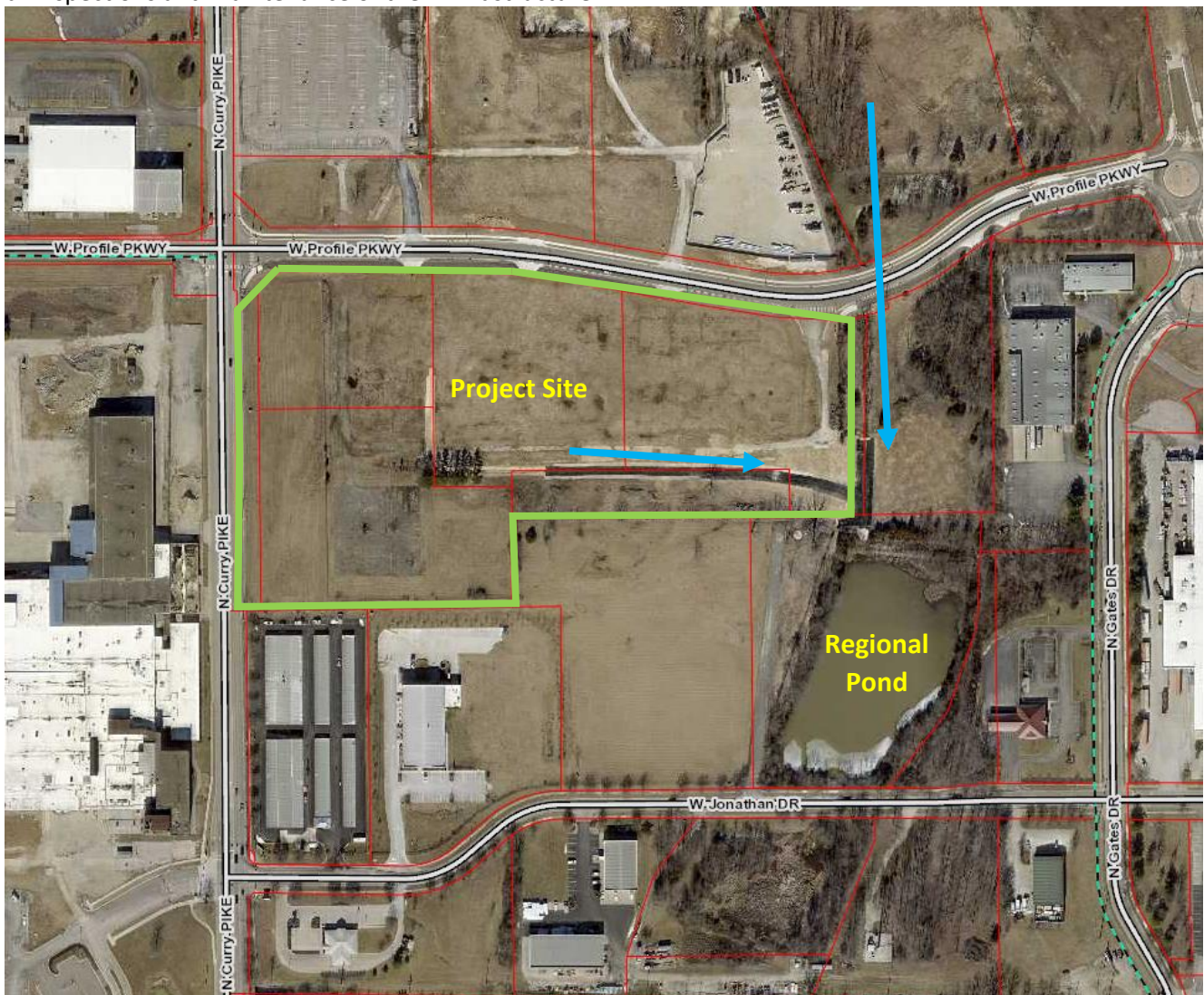
Watershed: Sinking Creek
Karst Report: Not Completed
Wetland Delineation: Not Completed

Project Summary

The MacAllister Rentals project is located in the Sinking Creek Critical Watershed and is part of Pinnacle Business Park, combining lots 8-11 and 16. The project site is surrounded by commercial/industrial development on all sides. The site is not located within a mapped floodplain. There are contaminated soils on this property. This site plan includes an office building and shop, covered storage, an equipment prep building, an outdoor fuel area, and outdoor equipment storage. An SPCC plan will be required.

Project Drainage

This property drains east towards the Pinnacle Business Park regional pond. The existing swale will be encapsulated, and a rip rap channel installed from the outfall to the pond. This site will be utilizing the regional pond for detention and has also provided additional detention by upsizing one of the storm pipes on site. The property owner will be responsible for regular inspections and maintenance of their infrastructure.



Macallister at Pinnacle – Drainage CommentsCritical Watershed:

- This project is in the Sinking Creek critical watershed, draining to the Pinnacle Business Park regional pond.

Adequacy of outlets/receiving infrastructure:

- Rip rap lined channel from the outfall to the regional pond is adequate.
- Two new connections will be made to County storm sewers to the north, on Profile Pkwy.

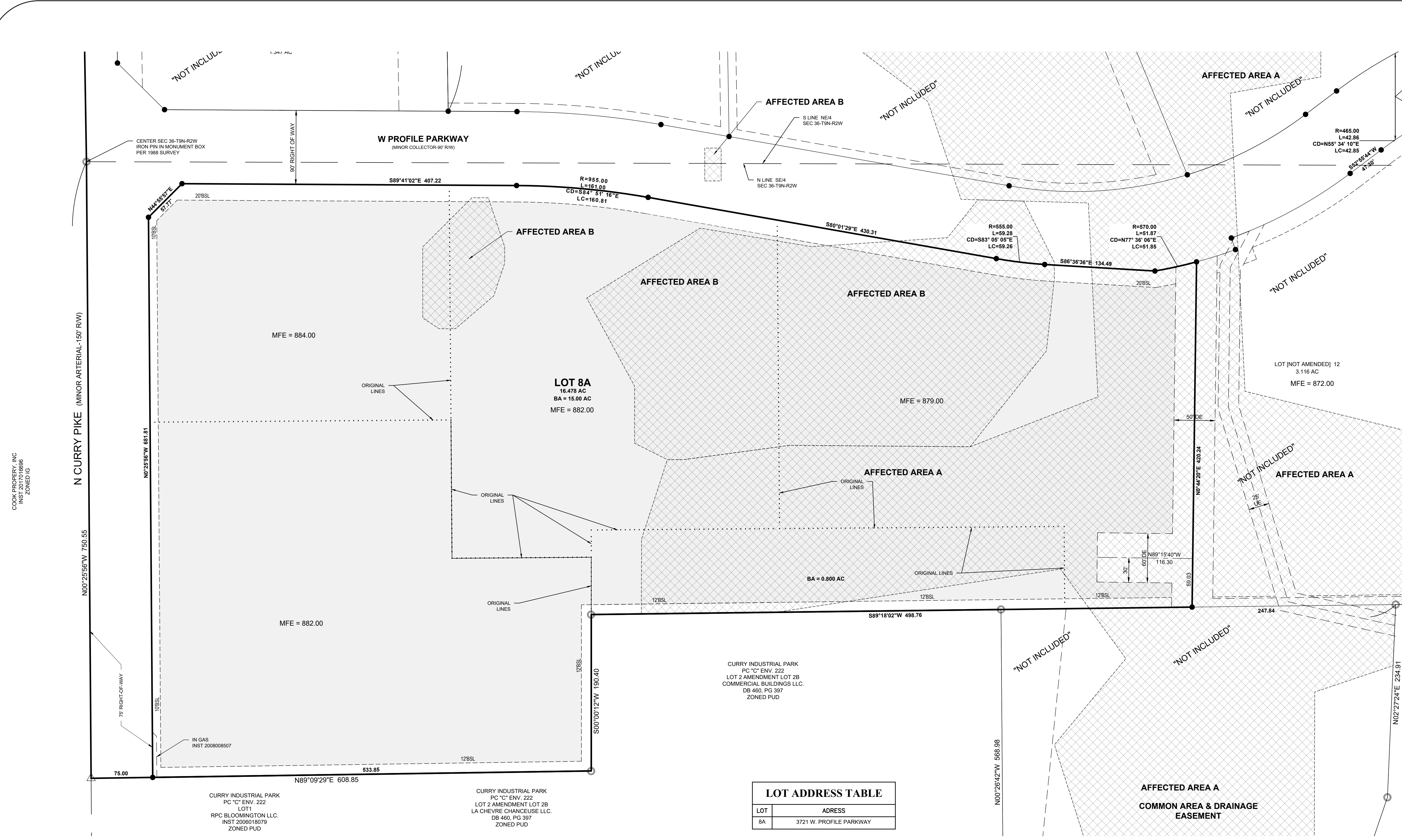
Water Quality:

- An SPCC plan is required due to the proposed 1,500 gallons of above ground fuel storage and potential to discharge to surface waters.
- An environmental consultant will be on site during construction to oversee any excavation in the 'affected areas' (contaminated soils).

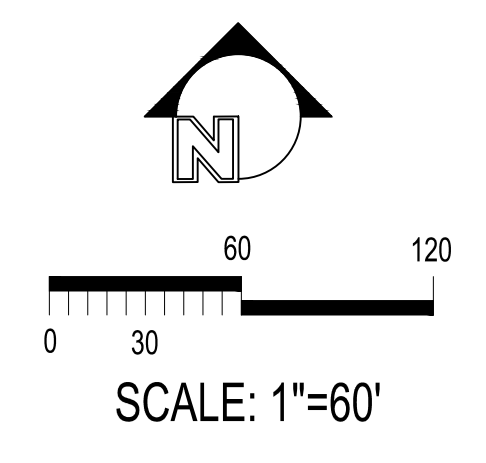
Drainage Easements:

- The Drainage Easements for the swales were removed in a plat amendment to combine the parcels. A drainage easement will remain from the outfall to the regional pond.

I recommend approval of the MacAllister Rentals site plan.



LOCATION MAP
No Scale



LEGEND

- STONE MONUMENT
- STONE WITH X
- CONCRETE MONUMENT
- 5/8" REBAR W/PLASTIC CAP SET
- REBAR CAP FOUND
- IRON ROD FOUND
- FENCE POST FOUND
- RAILROAD SPIKE FOUND
- MAG NAIL FOUND
- MAG NAIL SET
- HIGHWAY BOX
- EASEMENT LINE
- SETBACK LINE
- CENTERLINE OF ROAD
- BUILDING SETBACK LINE
- UTILITY EASEMENT
- DRAINAGE EASEMENT
- BUILDABLE AREA
- EPA EASEMENT AREA

**RICHLAND TOWNSHIP
SECTION 36
TOWNSHIP 9 NORTH
RANGE 2 WEST**

DEVELOPER(S) & APPLICANT(S)

TARBERT PROPERTIES LLC
RICH POTOSNAK, MEMBER
6300 SOUTHEASTERN AVENUE
INDIANAPOLIS, IN 46203
(317) 860-3370

DESIGNER(S) & SURVEYOR(S)

SMITH DESIGN GROUP, INC.
1647 W ARLINGTON ROAD
BLOOMINGTON, INDIANA 47404
(812) 336-6536

OWNER(S)

LOTS 8-11 & LOT 16
TARBERT PROPERTIES LLC
RICH POTOSNAK, MEMBER
6300 SOUTHEASTERN AVENUE
INDIANAPOLIS, IN 46203
(317) 860-3370
INST 2022017530

LOT ADDRESS TABLE

LOT	ADDRESS
8A	3721 W. PROFILE PARKWAY

ZONING & SETBACKS

ZONING = GENERAL INDUSTRIAL (IG)

SETBACK TABLE	PARKING SETBACK	BUILDING SETBACK
CURRY PIKE	65' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER	75' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER
PROFILE PARKWAY & GATES DRIVE	65' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER	55' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER
SIDE YARD	6'	12' (0' ALONG RAILROAD EASEMENT)
REAR YARD	10'	20' (0' ALONG RAILROAD EASEMENT)

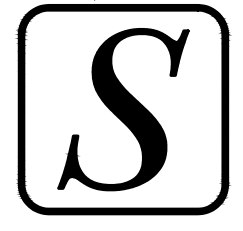
- ALL NEW CORNERS ARE TO BE MARKED WITH A 5/8"x 2' CAPPED REBAR. EXISTING MONUMENTS ARE SHOWN HEREON.
- A BOUNDARY SURVEY OF THE SUBJECT PROPERTY WAS PREVIOUSLY PERFORMED BY THIS FIRM AND RECORDED AS INSTRUMENT 2011015302.
- NO PORTION OF THE PROPERTY IS LOCATED WITH A FLOODWAY AS SHOWN ON FEMA FIRM PANEL 18105C0137D WITH AN EFFECTIVE DATE OF DECEMBER 17, 2010.
- BASIS OF BEARING IS THE ABB BOUNDARY SURVEY INSTRUMENT 2011015302.
- WHEN LOTS 1, 2, 3, 8 AND 9 ARE DEVELOPED, THE OWNERS SHALL CONSULT WITH THE MONROE COUNTY REDEVELOPMENT COMMISSION ON THE DESIGN OF THE STREETScape LANDSCAPING ALONG THE CURRY PIKE FRONTAGE TO PROVIDE SOME CONSISTENCY OF DESIGN WITH THE REDEVELOPMENT COMMISSION'S STREETScape ON THE WEST SIDE OF CURRY PIKE.
- THE INTEREST CONVEYED HEREBY IS SUBJECT TO AN ENVIRONMENTAL PROTECTION EASEMENT AND DECLARATION OF RESTRICTIVE COVENANTS, DATED FEBRUARY 2, 2012, RECORDED IN INSTRUMENT 2012020214, ENFORCEABLE BY ABB INC AS GRANTEE, AND IN FAVOR OF AND ENFORCEABLE BY THE UNITED STATES OF AMERICA AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AS THIRD PARTY BENEFICIARIES.
- ALL LOTS ARE REQUIRED TO RECEIVE MONROE COUNTY DRAINAGE BOARD APPROVAL PRIOR TO ISSUANCE OF PERMITS.
- DLZ RIGHT-OF-WAY INSTRUMENT 2020005586.

PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 2

SMITH DESIGN GROUP, INC., 1647 W ARLINGTON ROAD, BLOOMINGTON, INDIANA 47404
T: 812.336.6536 W: www.smithdgroup.com

JOB 6326
PAGE 1 OF 2

PLAT DATED: MAY __, 2023



LEGAL DESCRIPTION

LOTS 8, 9, 10, 11, AND 16 IN PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1, AS SHOWN BY THE PLAT THEREOF RECORDED OCTOBER 12, 2022, AS INSTRUMENT NUMBER 2022015005 IN THE OFFICE OF THE RECORDER ON MONROE COUNTY, INDIANA.

STATEMENT OF PLAT VACATION

THE UNDERSIGNED BEING ALL OF THE OWNERS OF LAND DESIGNATED AS LOTS 8, 9, 10, 11, & 16 IN THE PINNACLE BUSINESS PARK MAJOR SUBDIVISION PLAT AMENDMENT 1, VACATE THE PLAT LOTS 8, 9, 10, 11, & 16 IN SAID SUBDIVISION, OWNED BY TARBERT PROPERTIES LLC, AS RECORDED IN INSTRUMENT 2022017530 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

WITNESS MY HAND THIS _____ DAY OF _____, 2019.

RICH POTOSNAK, MEMBER
TARBERT PROPERTIES LLC

STATE OF INDIANA)SS:
COUNTY OF MONROE)

BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF INDIANA AND MONROE COUNTY, PERSONALLY APPEARED, RICH POTOSNAK OF TARBERT PROPERTIES LLC, PERSONALLY KNOWN TO ME TO BE THE OWNERS OF THE DESCRIBED REAL ESTATE, AND WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING SUBDIVISION OF THE REAL ESTATE AS SHOWN AS A VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AN NOTARIAL SEAL THIS _____ DAY OF _____, 2019.

MY COMMISSION EXPIRES: _____

_____, NOTARY PUBLIC A RESIDENT OF MONROE COUNTY

OWNER - LOTS 8, 9, 10, 11, & 16

THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS INSTRUMENT NUMBER 2021018423 IN THE OFFICE OF THE RECORDER OF MONROE COUNTY, INDIANA.

THE INTEREST CONVEYED HEREBY IS SUBJECT TO AN ENVIRONMENTAL PROTECTION EASEMENT AND DECLARATION OF RESTRICTIVE COVENANTS, DATED FEBRUARY 2, 2012, RECORDED IN INSTRUMENT 20120202014, ENFORCEABLE BY ABB INC AS GRANTEE, AND IN FAVOR OF AND ENFORCEABLE BY THE UNITED STATES OF AMERICA AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AS THIRD PARTY BENEFICIARIES.

THE AFFECTED AREAS ARE SHOWN AND DESCRIBED IN THAT DOCUMENT AND SHOWN GRAPHICALLY ON THIS PLAT DOCUMENT FOR REFERENCE ONLY.

ALL STREETS, ALLEYS AND DEDICATED RIGHT OF WAYS ARE HEREBY DEDICATED TO THE PUBLIC.

THERE ARE EASEMENTS AND BUILDING SETBACKS ON THE PLAT UPON WHICH NO STRUCTURES MAY BE ERECTED OR MAINTAINED.

THE UNDERSIGNED, RICH POTOSNAK, MEMBER OF TARBERT PROPERTIES LLC, BEING THE OWNER OF THE ABOVE DESCRIBED REAL ESTATE, DOES HEREBY LAYOFF, PLAT AND SUBDIVIDE THE SAME INTO LOTS AND STREETS IN ACCORDANCE WITH THIS PLAT. THIS WITHIN PLAT SHALL BE KNOWN AND DESIGNATED AS PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 2.

EXECUTED THIS _____ DAY OF _____, 2023.

RICH POTOSNAK, MEMBER
TARBERT PROPERTIES, LLC

NOTARY
STATE OF INDIANA)

COUNTY OF _____)

BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY SHOWN HEREON, PERSONALLY APPEARED RICH POTOSNAK, PERSONALLY KNOWN TO ME TO BE A MEMBER OF TARBERT PROPERTIES LLC, AND BEING THE OWNER OF THE DESCRIBED REAL ESTATE, AND WHO ACKNOWLEDGED THE EXECUTION OF THE FOREGOING PLAT FOR THE REAL ESTATE KNOWN AS PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1 AS HIS VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 2023.

MY COMMISSION EXPIRES: _____, _____, NOTARY PUBLIC
A RESIDENT OF _____ COUNTY

SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN 865 IAC 1.12 FOR THE STATE OF INDIANA.

CERTIFIED THIS 26 TH DAY OF SEPTEMBER 2022.

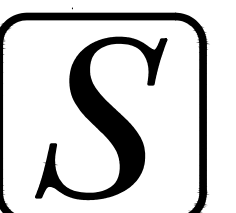
TODD M. BORGMAN
REGISTERED LAND SURVEYOR NO. LS21200021
STATE OF INDIANA

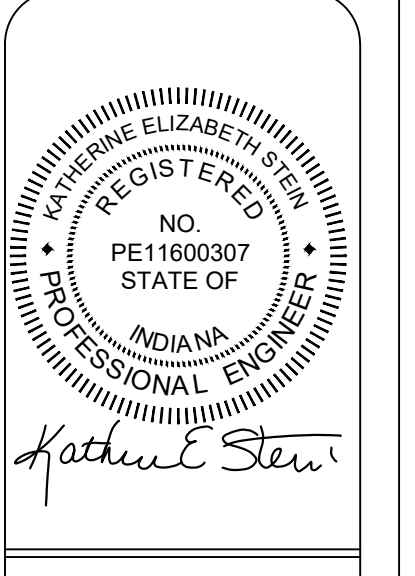
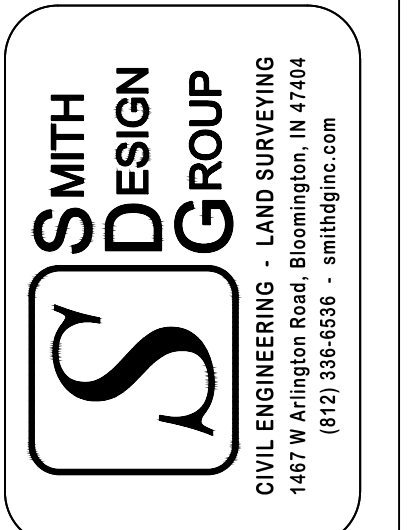
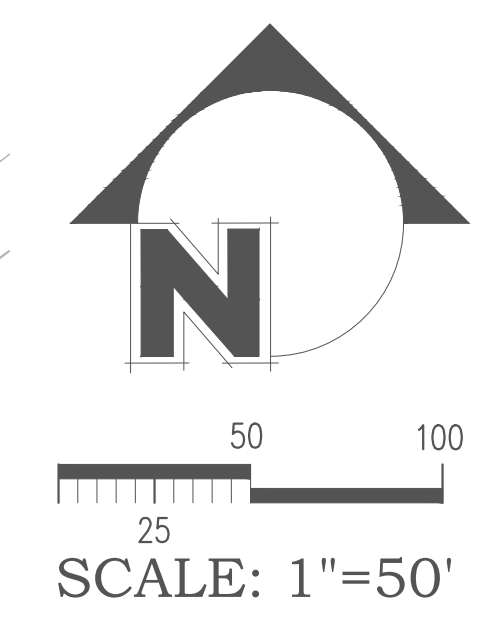
I AFFIRM UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT UNLESS REQUIRED BY LAW.
TODD M. BORGMAN

PURPOSE

THE PURPOSE OF THIS PLAT AMENDMENT IS REMOVE LOT LINES AND EASEMENTS BETWEEN LOTS 8, 9, 10, 11, AND 16, AND TO MAKE IT ALL ONE LOT. THE LOTS ARE ALL OWNED BY THE SAME OWNER.

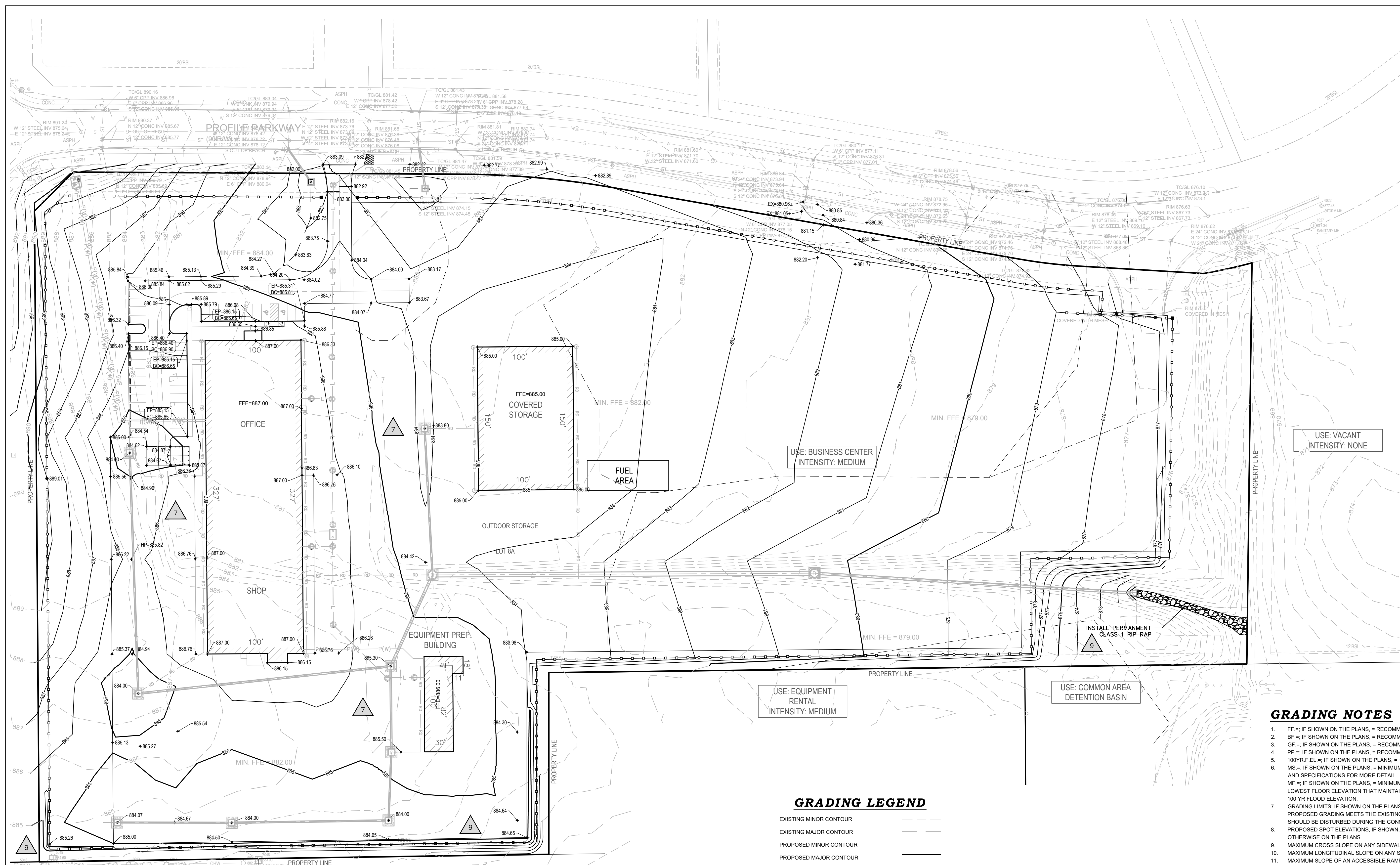
PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 2





05/26/2023

MacAllister Rentals
at Pinnacle Business Park
N. Curry Pike & W. Profile Parkway
Bloomington, Indiana 47404



GRADING LEGEND

EXISTING MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP = XXX.XX
TOP OF CURB ELEVATION	TC = XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
FINISH FLOOR ELEVATION	FF = XXX.XX
TOP OF RETAINING WALL	TW=XXX.XX
BOTTOM OF RETAINING WALL	BW=XXX.XX
TOP OF RAMP	TR=XXX.XX
BOTTOM OF RAMP	BR=XXX.XX
MATCH EXISTING GRADE	ME
PROPOSED DIRECTION OF FLOW	→

GRADING NOTES

- FF =; IF SHOWN ON THE PLANS, = RECOMMENDED FINISH FLOOR ELEVATION.
- BF =; IF SHOWN ON THE PLANS, = RECOMMENDED BASEMENT FLOOR ELEVATION.
- GF =; IF SHOWN ON THE PLANS, = RECOMMENDED GARAGE FLOOR ELEVATION.
- PP =; IF SHOWN ON THE PLANS, = RECOMMENDED PERMANENT POND ELEVATION.
- 100YR F. EL. = IF SHOWN ON THE PLANS, = 100YR. FLOOD ELEVATION.
- MS =; IF SHOWN ON THE PLANS, = MINIMUM SEWER ELEVATION. SEE UTILITY NOTES AND SPECIFICATIONS FOR MORE DETAIL.
- MF =; IF SHOWN ON THE PLANS, = MINIMUM FLOOD ELEVATION. THIS INDICATES THE LOWEST FLOOR ELEVATION THAT MAINTAINS A MINIMUM 2 FT. CLEARANCE ABOVE THE 100 YR FLOOD ELEVATION.
- GRADING LIMITS: IF SHOWN ON THE PLANS, INDICATE THE LINE AT WHICH THE PROPOSED GRADING MEETS THE EXISTING GRADE AND THE EDGE OF THE AREA THAT SHOULD BE DISTURBED DURING THE CONSTRUCTION PROCESS.
- PROPOSED SPOT ELEVATIONS, IF SHOWN, ARE AT FINISH GRADE UNLESS NOTED OTHERWISE ON THE PLANS.
- MAXIMUM CROSS SLOPE ON ANY SIDEWALK IS 2.00%.
- MAXIMUM LONGITUDINAL SLOPE ON ANY SIDEWALK IS 5.00%.
- MAXIMUM SLOPE OF AN ACCESSIBLE RAMP IS 8.00%.
- MAXIMUM SLOPE IN ALL DIRECTIONS AT LANDINGS AND 90 DEGREE CHANGE IN DIRECTION IS 2%.
- WHERE SECTIONS OF CONCRETE ARE REMOVED, NEW CONCRETE SHALL MATCH EXISTING CONCRETE WIDTH AND SLOPE.
- CONTRACTOR TO WORK CAREFULLY AROUND EXISTING TREES AS MUCH AS POSSIBLE TO NOT SEVER OR POTENTIALLY DAMAGE THE ROOT SYSTEMS. USE OF HAND TOOLS OR HAND WORK SHALL BE UTILIZED IN CLOSE PROXIMITY (WITHIN 10 FT OF THE DRIP LINE) TO EXISTING TREE LOCATIONS.

GENERAL NOTES

- CONTOURS AND BOUNDARY DATA OBTAINED FROM SMITH DESIGN GROUP, INC. SURVEY DATED 06/2022.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY. OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
- POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
- SEE SMITH DESIGN GROUP, INC. STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RIM ELEVATION
INLETS: GUTTER ELEVATION

REVISIONS	BY	DATE
1. REGRADED NEAR EACH BUILDING	KSSP	08/02/23
2. ADDED BERM ALONG SOUTH PROP. LINE. EXTENDED RIP RAP AROUND	KSSP	08/14/23

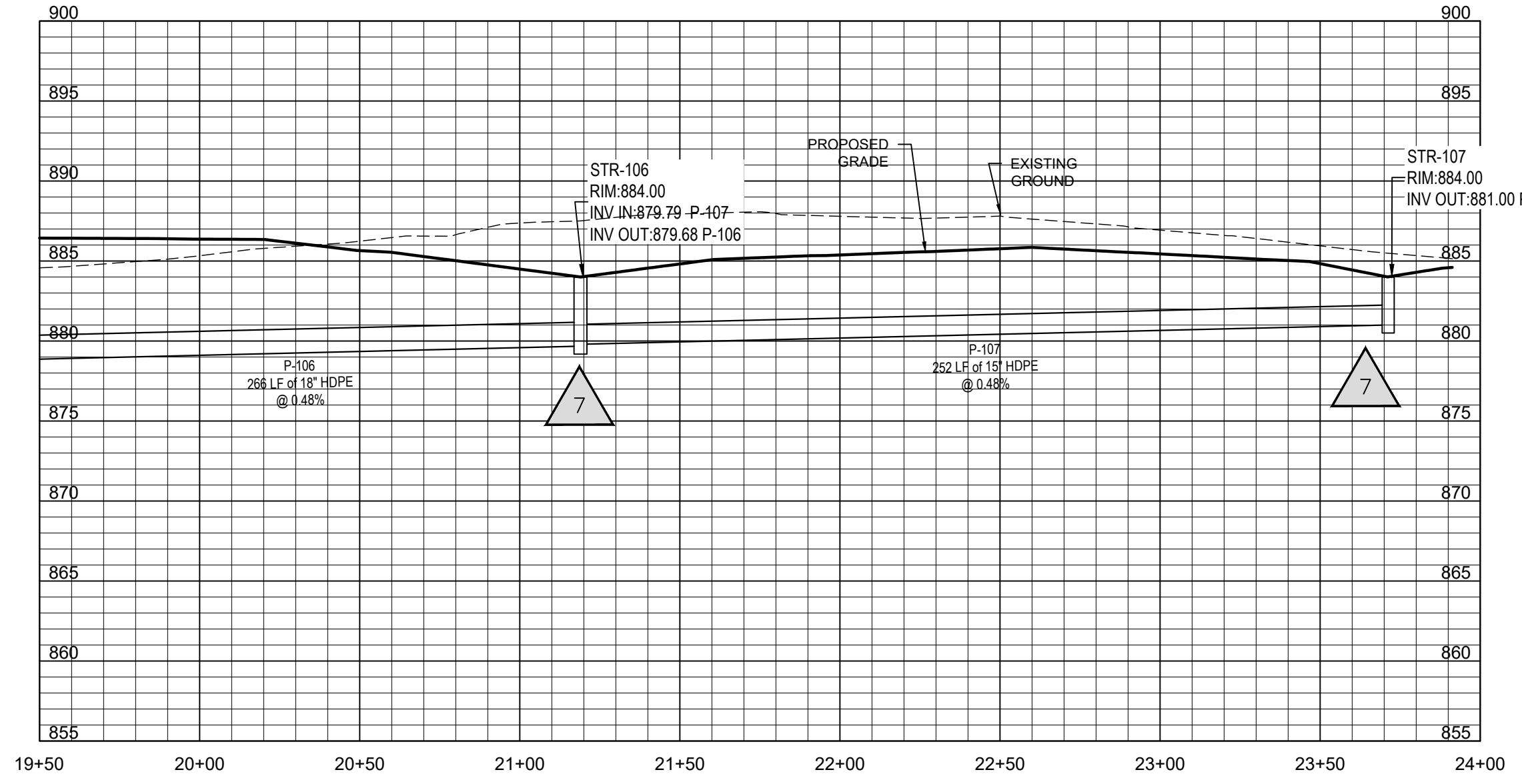
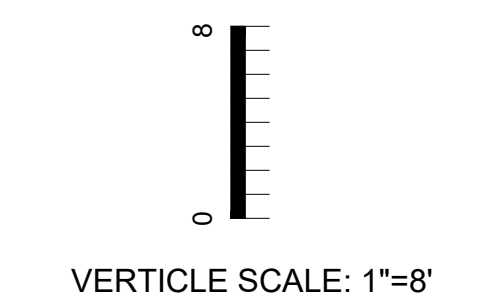
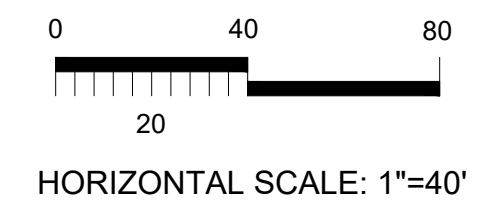
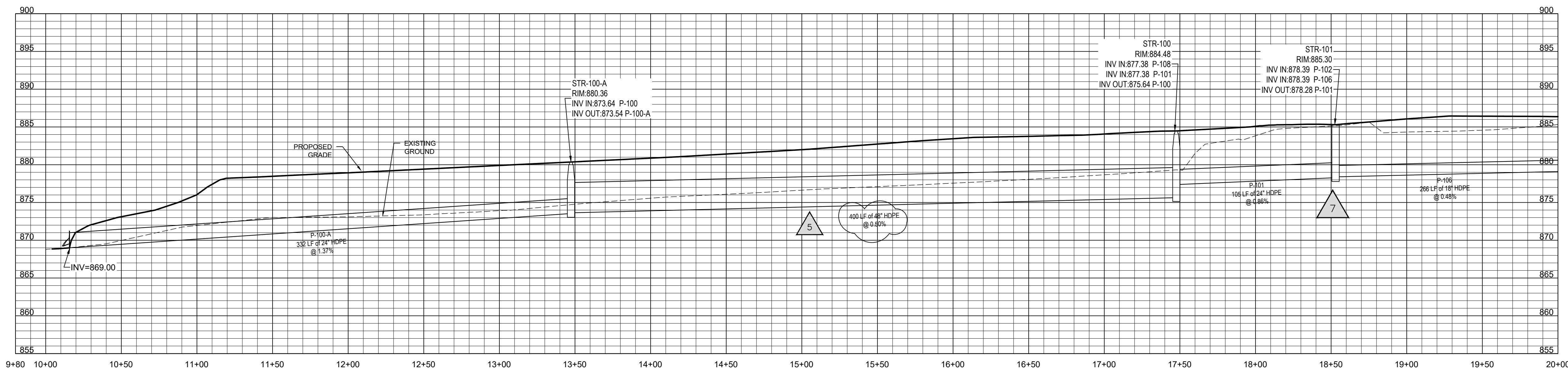
DESIGNED	KES	DATE
DRAWN	WDW	
CHECKED		

JOB NUMBER
6505

SHEET
5 OF 18

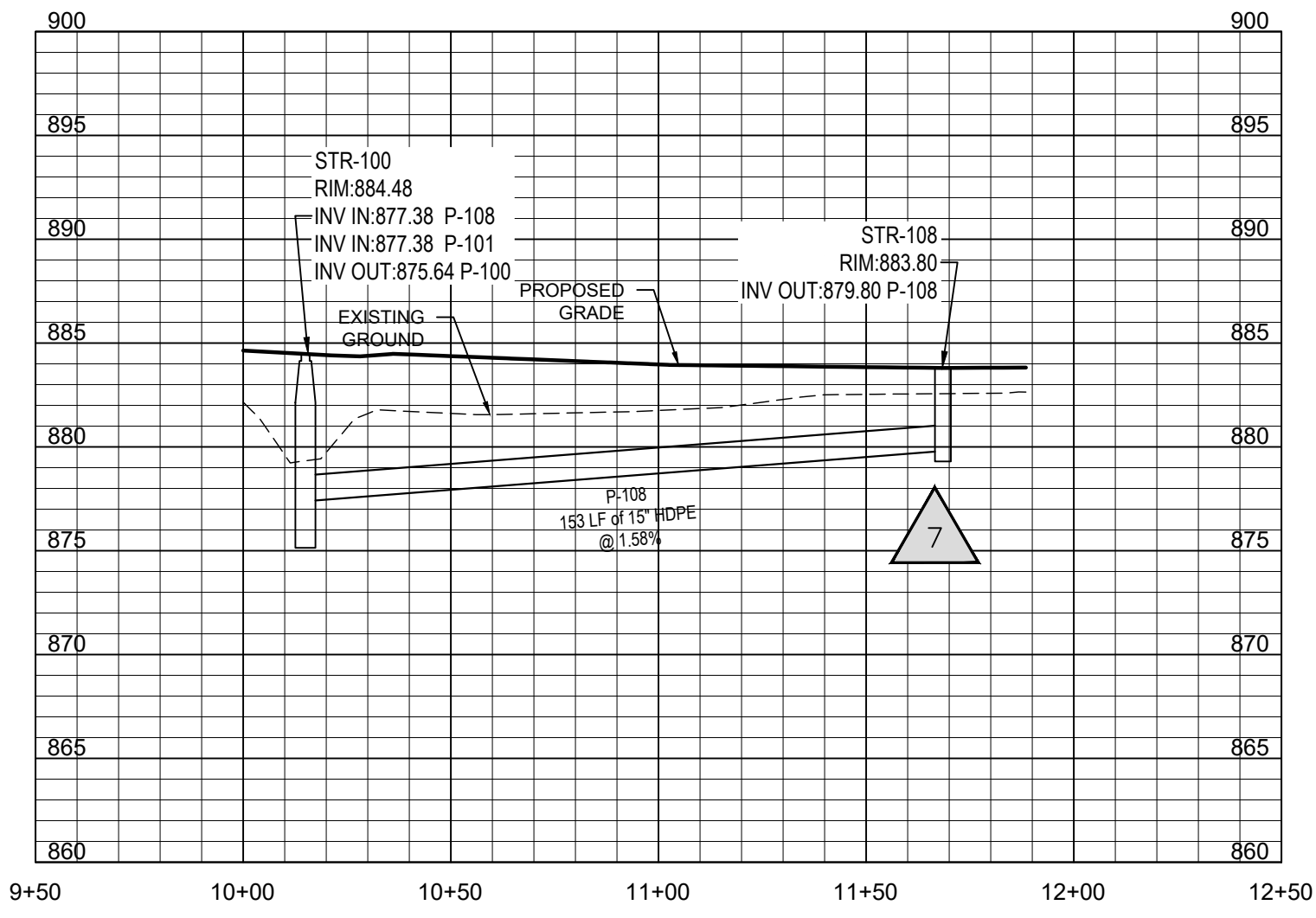
DATE
08/17/2023

GRADING PLAN

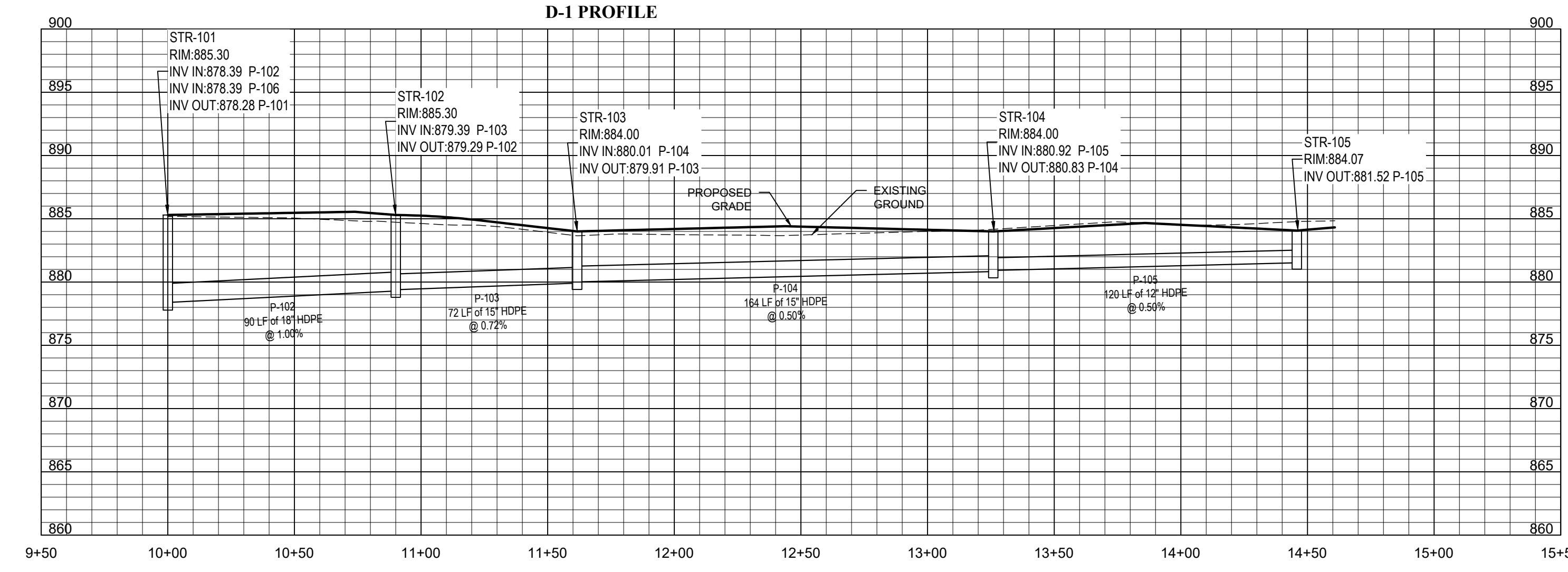


D-1 PROFILE

D-1 PROFILE

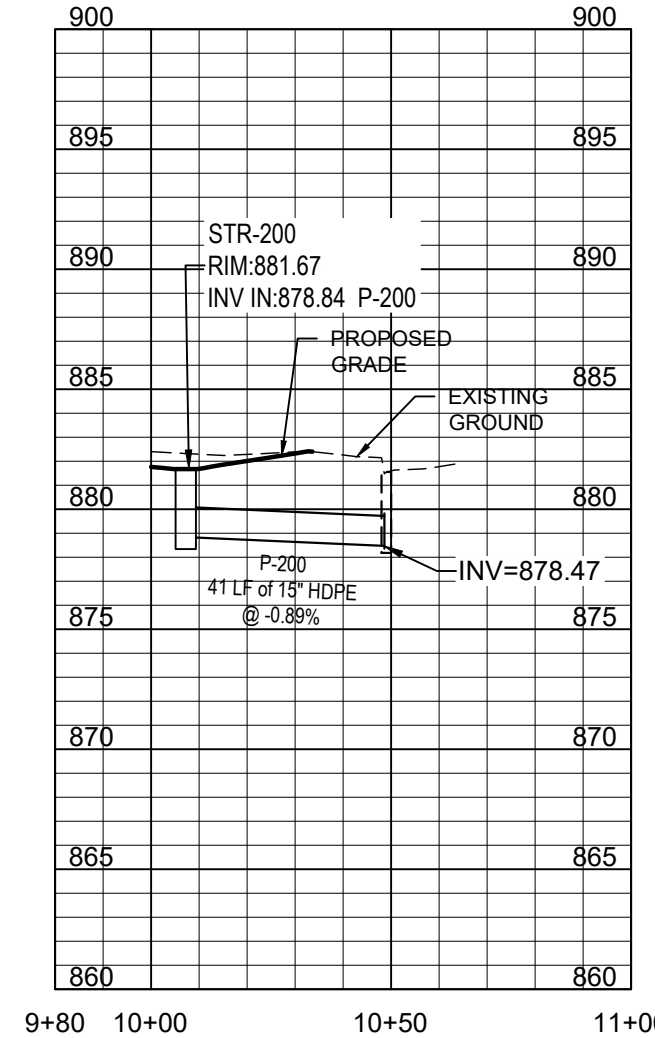


D-2 PROFILE

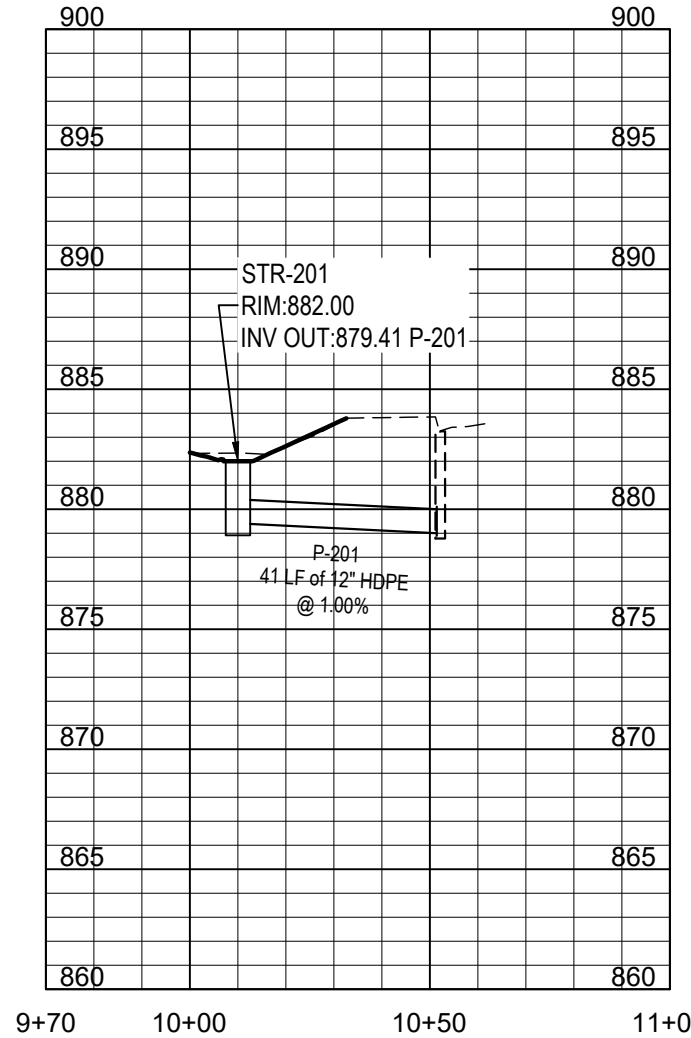


D-3 PROFILE

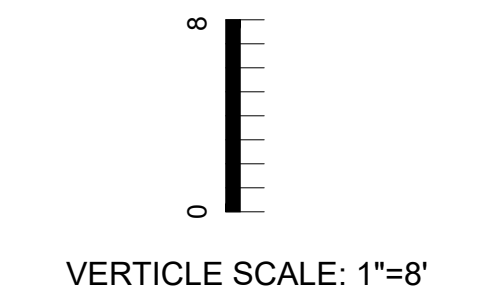
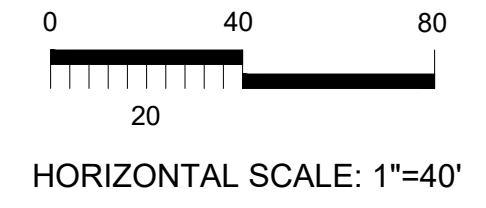
D-3 PROFILE



D-4 PROFILE



D-5 PROFILE

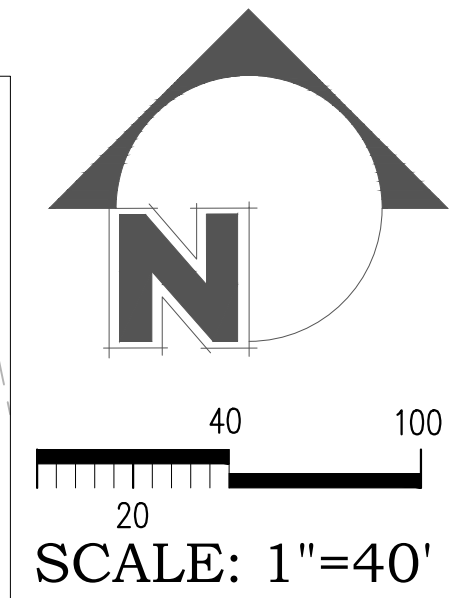
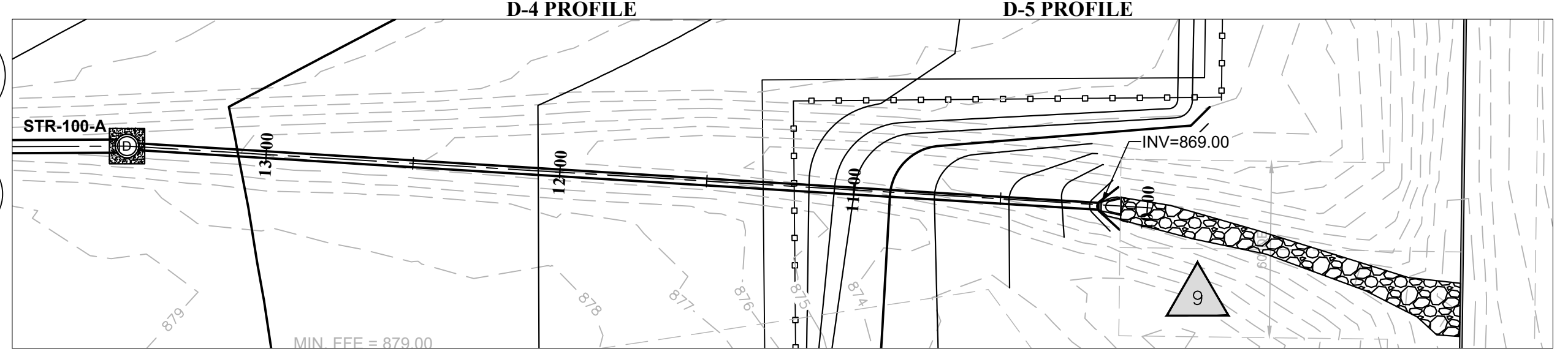


STRUCTURE DATA									
INLET NO.	CASTING	DESCRIPTION	LENGTH (ft)	SIZE (in)	TYPE	UP INV. (ft)	DN INV. (ft)	T.C. ELEV. (ft)	CONNECTION
100	1022-1	Manhole	400	48.0	HDPE	875.64	873.64	884.48	CONNECT TO STR 100A
100A	1022-1	Manhole	332	24.0	HDPE	873.54	869.00	880.36	DRAIN TO DITCH*
101	AE 5340	Grate Inlet	105	24.0	HDPE	878.29	877.38	885.30	CONNECT TO STR 100
102	AE 5340	Grate Inlet	90	18.0	HDPE	879.29	878.39	885.30	CONNECT TO STR 101
103	AE 5340	Grate Inlet	72	15.0	HDPE	879.91	879.39	884.00	CONNECT TO STR 102
104	AE 5340	Grate Inlet	164	15.0	HDPE	880.83	880.01	884.00	CONNECT TO STR 103
105	AE 5340	Grate Inlet	120	12.0	HDPE	881.52	880.92	884.07	CONNECT TO STR 104
106	AE 5340	Grate Inlet	266	18.0	HDPE	879.68	878.39	884.18	CONNECT TO STR 104
107	AE 5340	Grate Inlet	252	15.0	HDPE	881.00	879.79	884.00	CONNECT TO STR 106
108	AE 5340	Grate Inlet	153	15.0	HDPE	879.80	877.38	883.80	CONNECT TO STR 100
200	AE 6610	Yard Inlet	41	12.0	HDPE	878.84	878.47	881.67	CONNECT TO EX. STR
201	AE 6610	Yard Inlet	41	12.0	HDPE	879.41	879.04	882.00	CONNECT TO EX. STR

* Class I Riprap. See Grading Plan for location

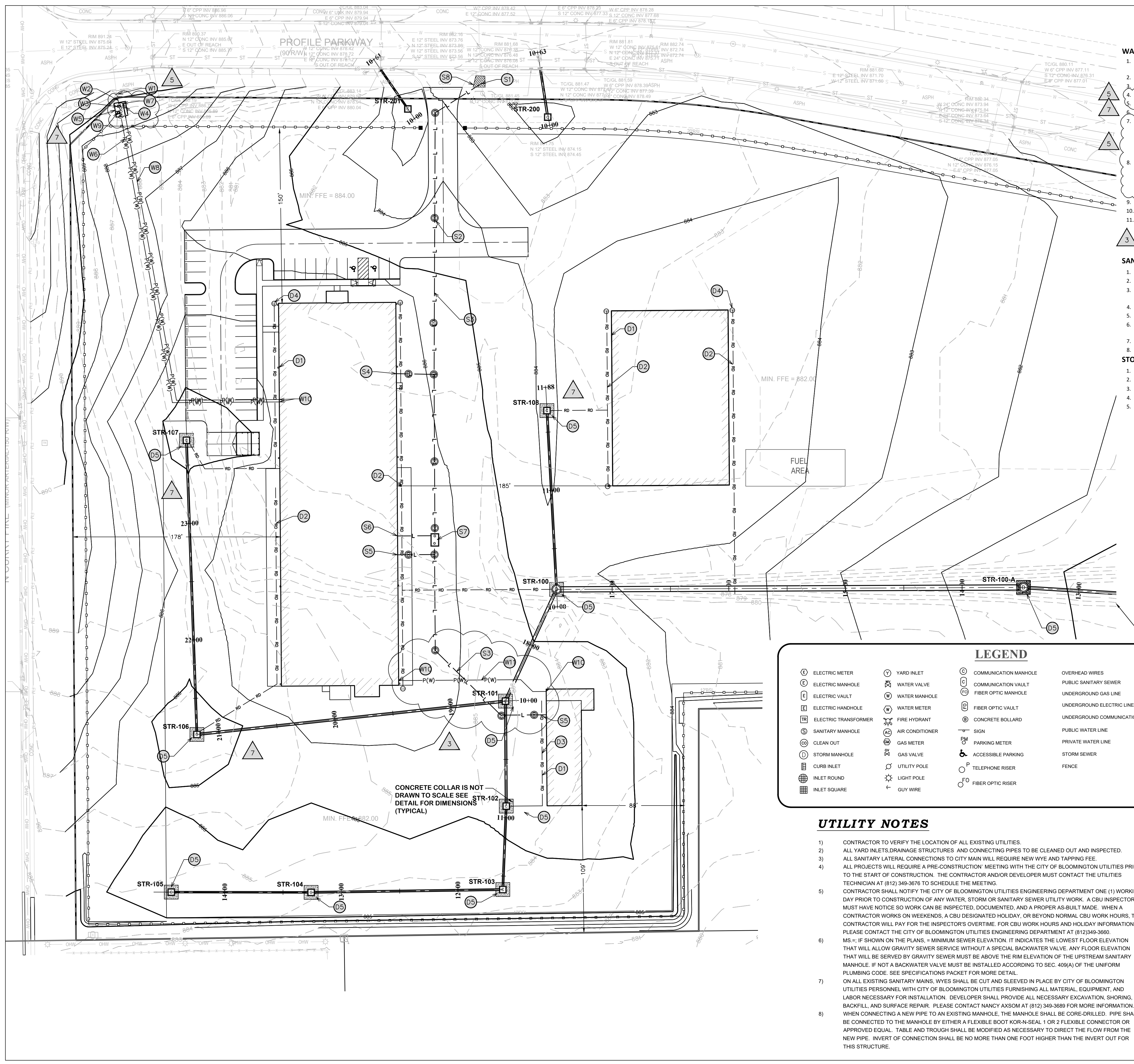
APPENDIX D - INDOT COURSE AGGREGATE SIZE SPECIFICATIONS

Size, in. (mm)	Retention	Riprap Gradation Requirements (Percent Smaller)	
		Class 1	Class 2
30 (750)		100	100
24 (600)		100	85-100
18 (450)	100	85-100	60-80
12 (300)	90-100	35-50	20-40
8 (200)			100
6 (150)	20-40	10-30	0-20
3 (75)	0-10	0-10	0-10
1 (25)			0-20



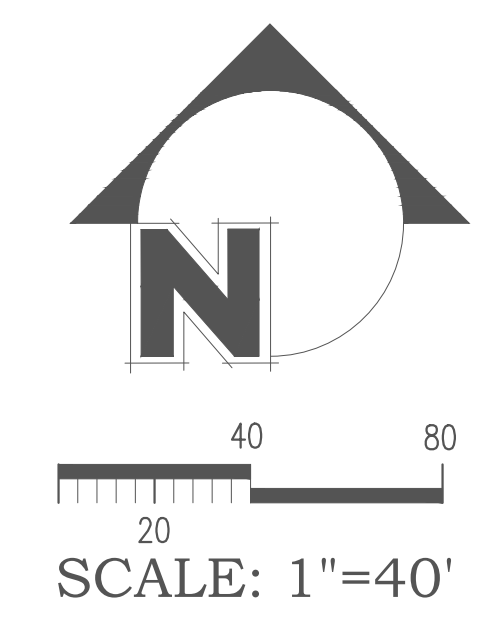
UTILITY NOTES

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
- ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812) 349-3635 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CBU DESIGNATED HOLIDAY, OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812) 349-3660.
- WHENEVER C900 PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARCO, SIZED FOR C900 ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM C900 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARCO C900 TO SDR-35 ADAPTER WYES.
- ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 40 MILS. AND SHALL BE PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE 3-MIL LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASEMENT OR 4-MIL HIGH-DENSITY CROSS-LAMINATED (HDCL) POLYETHYLENE ENCASEMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANSIAWWA C-106/A21.5, USING PLASTIC TIE STRAPS OR CIRCUMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
- ALL GRATES AND CASTINGS WITHIN THE PUBLIC RIGHT OF WAY MUST BE EJ (FORMERLY EAST JORDAN IRON WORKS).
- ALL DRAINS MUST HAVE THE PHRASE "DUMP NO WASTE - DRAINS TO STREAM" OR SIMILAR STAMPED ON THEM.



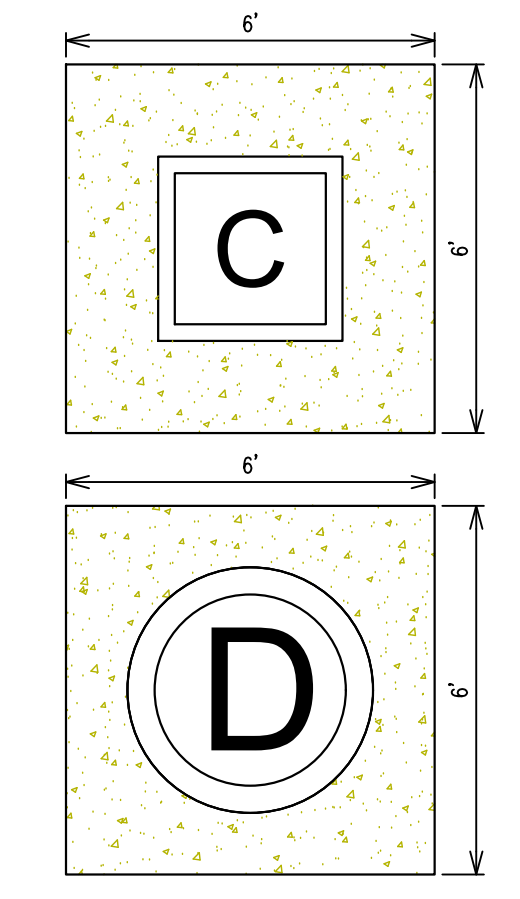
UTILITY KEY NOTES

- WATER LINE NOTES (W)**
- CONNECT TO EXISTING 8" STUB AND VALVE WITH 6" D.I.P. COORDINATE WORK WITH CBU INSPECTOR.
 - 8" x 6" x 6" TEE
 - POST INDICATOR VALVE
 - 1.5" DOMESTIC METER, TO BE SIZED BY CBU. WATER VAULT WITH DCA. SEE CBU DETAIL 7A
 - 6" D.I.P. LINE, FULLY RESTRAINED, DIAL SIZE TO BE DETERMINED BY MEP.
 - 2" DOMESTIC WATER SERVICE OR SIZE PER CBU/MEP SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61) TO METER. BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET), 48" OF COVER MINIMUM. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MEP.
 - 2" DOMESTIC WATER SERVICE SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET), 48" OF COVER MINIMUM. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MEP.
 - FIRE DEPARTMENT CONNECTION
 - REFER TO PLUMBING PLANS FOR CONTINUATION INTO BUILDING
 - 1.5" DOMESTIC WATER SERVICE OR SIZE PER MEP SHALL BE EITHER TYPE "K" COPPER IN CONFORMANCE WITH ASTM B88 OR BLUE POLYETHYLENE AWWA 901 PE4710, ASTM D2737, CTS SDR9 PC250 (NSF 61). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET), 48" OF COVER MINIMUM. CONTRACTOR TO VERIFY SERVICE LINES TO EACH BUILDING WITH THE MEP.
- SANITARY SEWER NOTES (S)**
- CONNECT SANITARY LATERAL TO 8" SANITARY MAIN WITH NEW WYE.
 - SANITARY CLEANOUT PER CBU STANDARD DETAIL 19 (SEE DETAIL ON DETAILS SHEET).
 - 6" SDR-35 PVC SANITARY SEWER LATERAL (SLOPE @ 1.00% MIN). BACKFILL PER CBU DETAIL 11 (SEE DETAIL ON DETAILS SHEET).
 - SEE PLUMBING PLAN FOR CONTINUATION INTO BUILDING
 - FLOOR DRAIN CONNECTION. SEE PLUMBING PLAN FOR CONTINUATION INTO BUILDING
 - VENT PIPE (IF NECESSARY) FROM OIL & SAND SEPARATOR. SEE PLUMBING PLAN FOR CONTINUATION INTO BUILDING.
 - OIL & SAND SEPARATOR. TO BE SIZED, DETAILED AND SPEC'D BY MEP.
 - PATCH ASPHALT PATH FOR LATERAL CONNECTION.
- STORM SEWER NOTES (D)**
- CONNECT DOWNSPOUTS TO ROOF DRAIN LEADER
 - 8" SDR-35 PVC STORM SEWER PIPE (SLOPE @ 0.50% MIN).
 - 6" SDR-35 PVC STORM SEWER PIPE (SLOPE @ 0.50% MIN.)
 - STORM CLEANOUT PER DETAIL ON DETAILS SHEET.
 - 6" x 6" CONCRETE COLLAR
6" THICK CONCRETE, 4000 PSI
8" INDOT #53 BASE COMPACTED AGGREGATE BASE



UTILITY LEGEND

- FIRE HYDRANT SINGLE
- WATER METER PIT
- FIRE DEPARTMENT CONNECTION
- WATER VALVE
- WATER AIR RELEASE VALVE
- STORM SEWER MANHOLE
- STORM SEWER INLET
- STORM YARD INLET
- STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT
- WATER LINE
- SEWER LINE
- SEWER LATERAL
- UNDERGROUND ELECTRIC
- STORM SEWER



LEGEND

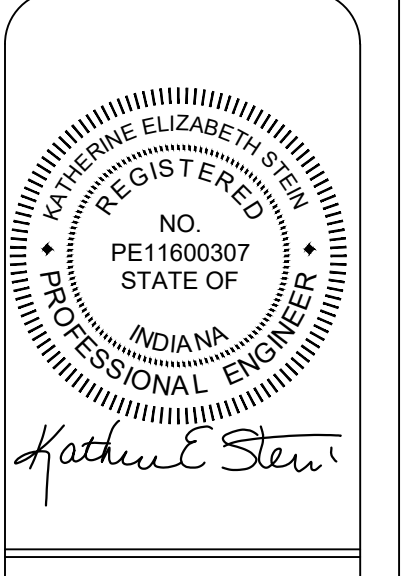
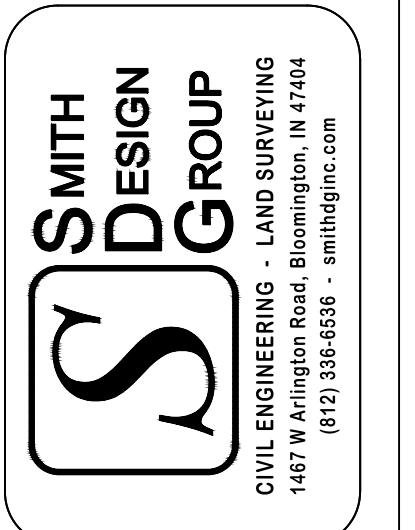
(E) ELECTRIC METER	(V) YARD INLET	(C) COMMUNICATION MANHOLE	OVERHEAD WIRES	— OHW —
(EM) ELECTRIC MANHOLE	(WV) WATER VALVE	(CV) COMMUNICATION VAULT	PUBLIC SANITARY SEWER	— S —
(EV) ELECTRIC VAULT	(WM) WATER MANHOLE	(RM) REINFORCED MANHOLE	UNDERGROUND GAS LINE	— G —
(EH) ELECTRIC HANDHOLE	(WMT) WATER METER	(FO) FIBER OPTIC MANHOLE	UNDERGROUND ELECTRIC LINE	— E —
(ET) ELECTRIC TRANSFORMER	(FH) FIRE HYDRANT	(CB) CONCRETE BOLLARD	UNDERGROUND COMMUNICATION LINE	— C —
(SM) SANITARY MANHOLE	(AC) AIR CONDITIONER	(S) SIGN	PUBLIC WATER LINE	— W —
(CO) CLEAN OUT	(GM) GAS METER	(PM) PARKING METER	PRIVATE WATER LINE	— P(W) —
(SMH) STORM MANHOLE	(GV) GAS VALVE	(AP) ACCESSIBLE PARKING	STORM SEWER	— ST —
(CI) CURB INLET	(UP) UTILITY POLE	(T) TELEPHONE RISER	FENCE	— X — X —
(IR) INLET ROUND	(LP) LIGHT POLE	(FR) FIBER OPTIC RISER		
(IS) INLET SQUARE	(GW) GUY WIRE			

GENERAL NOTES

- CONTOURS AND BOUNDARY DATA OBTAINED FROM SMITH DESIGN GROUP, INC. SURVEY DATED 06/20/22.
- LOCATION OF EXISTING UTILITIES ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER IF FIELD ADJUSTMENTS ARE NECESSARY.
- OFF-STREET PARKING AREAS (INC. PARKING SPACES, DRIVEWAYS AND AISLES) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITHIN ONE (1) YEAR OF THE DATE ON WHICH THE IMPROVEMENT LOCATION PERMIT FOR THE PARKING AREA IS ISSUED.
- POURED IN PLACE CONCRETE CURBS SHALL BE INSTALLED TO SEPARATE OFF-STREET PARKING AREAS FROM THE FRONT AND SIDES OF ANY ABUTTING BUILDING OR STRUCTURE. OTHERWISE BARRIER CURBS MAY BE INSTALLED AS NECESSARY TO SAFELY AND EFFICIENTLY DIRECT THE MOVEMENT AND PARKING OF MOTOR VEHICLES.
- SEE SMITH DESIGN GROUP, INC STANDARD SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- TOP OF CASTING ELEVATIONS ARE GIVEN IN THE FOLLOWING LOCATIONS:
MANHOLES: RIM ELEVATION
INLETS: GUTTER ELEVATION

UTILITY NOTES

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
- ALL YARD INLETS, DRAINAGE STRUCTURES AND CONNECTING PIPES TO BE CLEANED OUT AND INSPECTED.
- ALL SANITARY LATERAL CONNECTIONS TO CITY MAIN WILL REQUIRE NEW WYE AND TAPPING FEE.
- ALL PROJECTS WILL REQUIRE A PRE-CONSTRUCTION MEETING WITH THE CITY OF BLOOMINGTON UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR AND/OR DEVELOPER MUST CONTACT THE UTILITIES TECHNICIAN AT (812) 349-3676 TO SCHEDULE THE MEETING.
- CONTRACTOR SHALL NOTIFY THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT ONE (1) WORKING DAY PRIOR TO CONSTRUCTION OF ANY WATER, STORM OR SANITARY SEWER UTILITY WORK. A CBU INSPECTOR MUST HAVE NOTICE SO WORK CAN BE INSPECTED, DOCUMENTED, AND A PROPER AS-BUILT MADE. WHEN A CONTRACTOR WORKS ON WEEKENDS, A CBU DESIGNATED HOLIDAY, OR BEYOND NORMAL CBU WORK HOURS, THE CONTRACTOR WILL PAY FOR THE INSPECTOR'S OVERTIME. FOR CBU WORK HOURS AND HOLIDAY INFORMATION, PLEASE CONTACT THE CITY OF BLOOMINGTON UTILITIES ENGINEERING DEPARTMENT AT (812)349-3660.
- MS. = IF SHOWN ON THE PLANS, = MINIMUM SEWER ELEVATION. IT INDICATES THE LOWEST FLOOR ELEVATION THAT WILL ALLOW GRAVITY SEWER SERVICE WITHOUT A SPECIAL BACKWATER VALVE. ANY FLOOR ELEVATION THAT WILL BE SERVED BY GRAVITY SEWER MUST BE ABOVE THE RIM ELEVATION OF THE UPSTREAM SANITARY MANHOLE. IF NOT A BACKWATER VALVE MUST BE INSTALLED ACCORDING TO SEC. 409(A) OF THE UNIFORM PLUMBING CODE. SEE SPECIFICATIONS PACKET FOR MORE DETAIL.
- ON ALL EXISTING SANITARY MAINS, WYES SHALL BE CUT AND SLEEVED IN PLACE BY CITY OF BLOOMINGTON UTILITIES PERSONNEL WITH CITY OF BLOOMINGTON UTILITIES FURNISHING ALL MATERIAL, EQUIPMENT, AND LABOR NECESSARY FOR INSTALLATION. DEVELOPER SHALL PROVIDE ALL NECESSARY EXCAVATION, SHORING, BACKFILL, AND SURFACE REPAIR. PLEASE CONTACT MANDY AXSON AT (812) 349-3668 FOR MORE INFORMATION.
- WHEN CONNECTING A NEW PIPE TO AN EXISTING MANHOLE, THE MANHOLE SHALL BE CORE-DRILED. PIPE SHALL BE CONNECTED TO THE MANHOLE BY EITHER A FLEXIBLE BOOT KOR-NS-EAL 1 OR 2 FLEXIBLE CONNECTOR OR APPROVED EQUAL. TABLE AND TROUGH SHALL BE MODIFIED AS NECESSARY TO DIRECT THE FLOW FROM THE NEW PIPE. INVERT OF CONNECTION SHALL BE NO MORE THAN ONE FOOT HIGHER THAN THE INVERT OUT FOR THIS STRUCTURE.
- IN ACCORDANCE WITH SECTION 4.5.2.1.5.1. OF THE CBU CONSTRUCTION SPECIFICATIONS ALL SEWER LATERALS SHALL HAVE A CLEAN-OUT AT LEAST EVERY 90 FEET. ALL CLEAN-OUTS, WEATHER IN GRASSY AREAS OR IN PAVEMENT, SHALL BE SUB-SURFACE AND PROTECTED BY A SUITABLE METAL CASTING SUCH AS EAST JORDAN CATALOGUE NO. 2975 OR NEENAH CATALOGUE NO. R-1974-A. IN GRASSY AREAS, THE CASTING SHALL BE PROVIDED WITH A CIRCULAR CONCRETE COLLAR FLUSH WITH THE TOP OF THE CASTING AND THE GROUND SURFACE. THE COLLAR SHALL BE MINIMUM 6" THICK AND SHALL EXTEND AT LEAST 8" BEYOND THE OUTSIDE OF THE CASTING ON ALL SIDES. IN PAVEMENT, THE TOP OF THE CASTING SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT. TOP OF CLEAN-OUT SHALL BE NO MORE THAN 3" BELOW THE TOP OF THE CASTING. A #10 INSULATED SOLID COPPER LOCATOR WIRE SHALL BE WRAPPED AROUND ALL NON-METALLIC PIPES SO THAT ONE REVOLUTION IS MADE AT LEAST EVERY PIPE JOINT. SPLICES ARE TO BE MADE WITH AN APPROVED CONNECTOR, AND ARE TO BE SUITABLY PROTECTED AGAINST CORROSION. THE WIRE IS TO BE BROUGHT TO THE SURFACE WITH A CLEAN-OUT IN A CASTING. ALSO SEE THE CBU CONSTRUCTION SPECIFICATIONS FOR THE "STANDARD SANITARY LATERAL CLEAN-OUT DETAIL #19".
- WHEREVER C900 PIPE IS USED FOR SEWER, ALL WYES SHALL BE HARCO, SIZED FOR C900 ON THE RUN AND SDR-35 ON THE BRANCH. TRANSITION FROM C900 TO SDR-35 PIPE SHALL BE MADE BY USE OF A HARCO C900 TO SDR-35 ADAPTER WYES.
- ALL D.I.P. USED FOR SANITARY SEWER SHALL HAVE CERAMIC EPOXY LINING, MINIMUM THICKNESS 40 MILS, AND SHALL BE PROTECTO 401, AS MANUFACTURED BY INDURON PROTECTIVE COATINGS. WYES FOR D.I.P. SHALL BE HARCO D.I.P. TO SDR-35 ADAPTER WYES.
- ALL DUCTILE IRON PIPE (DIP) WILL REQUIRE POLYETHYLENE ENCASEMENT SLEEVES AND SHALL BE 8-MIL LINEAR LOW-DENSITY (LLD) POLYETHYLENE ENCASEMENT OR 4-MIL HIGH-DENSITY (HDC) POLYETHYLENE ENCASEMENT MATERIAL, INCLUSIVE OF VALVES AND FITTINGS. THE MATERIAL SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH ANS/AWWA C-1054.21.5, USING PLASTIC TIE STRIPS OR CIRCUIMFERENTIAL OR ADHESIVE TAPE PROVIDING THE PIPE WITH A SECURE PROTECTIVE ENCLOSURE.
- ALL GRATES AND CASTINGS WITHIN THE PUBLIC RIGHT OF WAY MUST BE E1 (FORMERLY EAST JORDAN IRON WORKS).
- ALL DRAINS MUST HAVE THE PHRASE "DUMP NO WASTE - DRAINS TO STREAM" OR SIMILAR STAMPED ON THEM. CONTRACTOR TO AVOID TREES WITH ROUTE OF WATER LINES AND SEWER LATERALS WHEREVER POSSIBLE.



05/26/2023

MacAllister Rentals
at Pinnacle Business Park
N. Curry Pike & W. Profile Parkway
Bloomington, Indiana 47404

BY	DATE
WDW	08/02/23
WDW	08/02/23
KEE	07/07/23
KEE	08/02/23
KEE	08/02/23

DESIGNED BY: KES
DRAWN BY: WDW
CHECKED BY: WDW

JOB NUMBER: 6505

SHEET: 8 OF 18

DATE: 08/17/2023

UTILITY PLAN

Project Name:	CI&L Clear Creek	Watershed:	Clear Creek
Engineer/Design Firm:	Katie Stein, Smith Design Group	Karst Report:	Not Completed
Address:	4831 & 4833 S Rogers St.	Wetland Delineation:	Not Completed
Acres:	1.8 acres disturbed		

Project Summary

The CI&L Clear Creek project (Joseph Greene PUD) is located in the Clear Creek Critical Watershed. The project site is surrounded by residential development on all sides, including the Bloomington Rail Trail to the north and west. The site contains mapped floodplain. This site plan includes a mixed use commercial/one unit residential building, a 15-unit multifamily residential building, and a walking trail through the wooded area in the floodplain.

Project Drainage

The southern portion of this site drains south towards Clear Creek. There will be permeable pavers and a detention pond on the south side, discharging to new storm sewers on S Rogers St. The property owner will be responsible for regular inspections and maintenance of their infrastructure.

CI&L Clear Creek (Joseph Greene PUD) – Drainage Comments

Critical Watershed:

- This project is in the Clear Creek critical watershed.

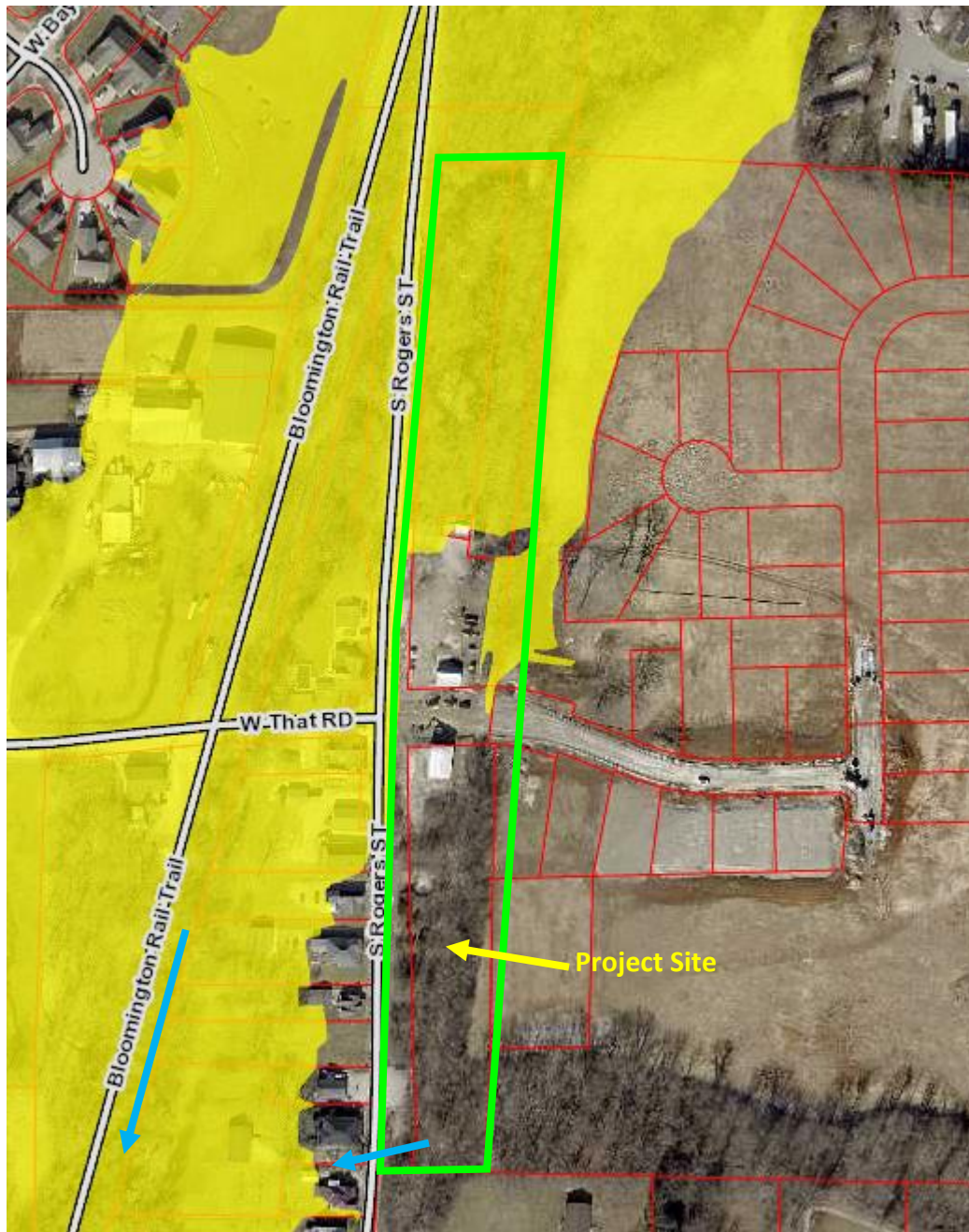
Adequacy of outlets/receiving infrastructure:

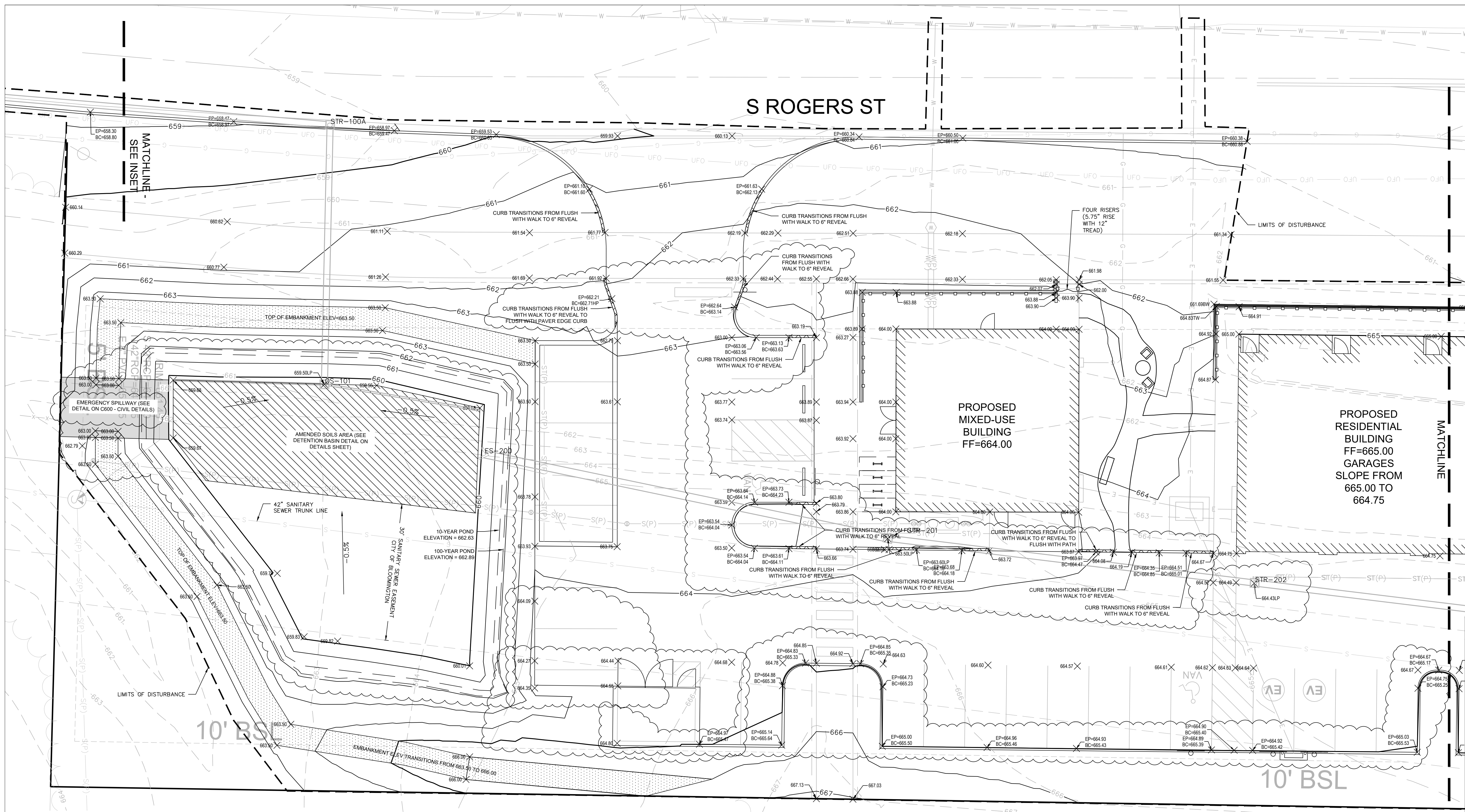
- The detention pond on the south side of the project will discharge via new storm sewers on S Rogers Rd. The outlet for the new storm sewer is located at a County culvert under S Rogers Rd. and does not extend to Clear Creek.

Easements:

- There will be a recorded Encroachment Agreement between the property owner and City of Bloomington Utilities for the sewer line conflict with the detention pond.

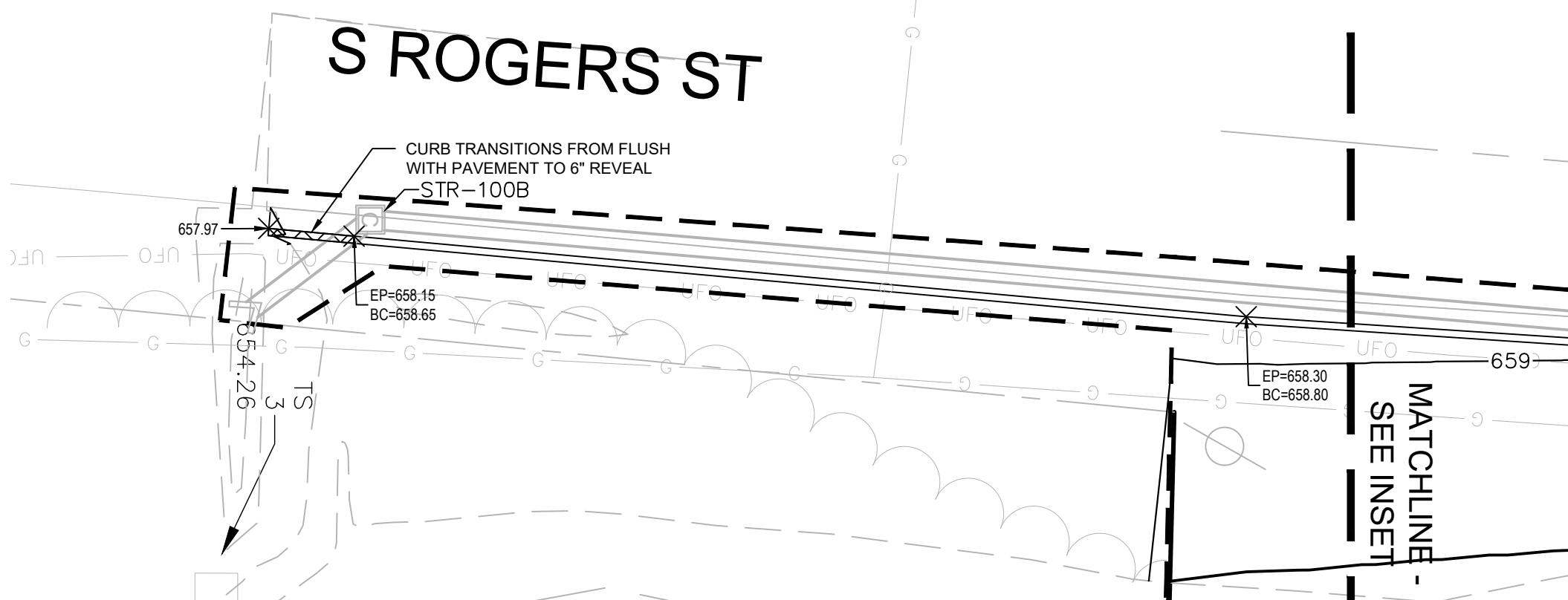
CI&L Clear Creek Project Location:





GRADING LEGEND

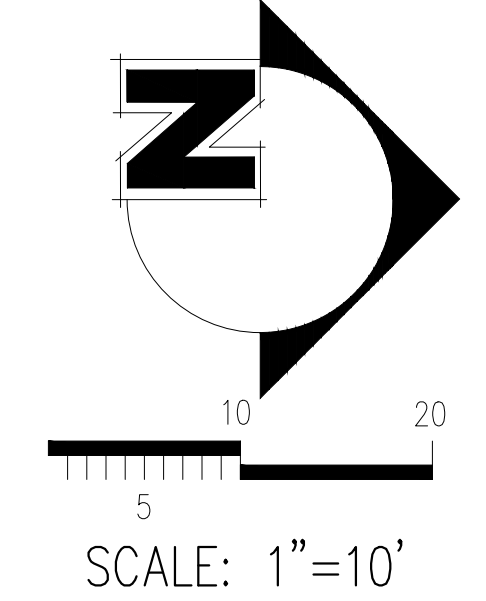
EXISTING MINOR CONTOUR	----
EXISTING MAJOR CONTOUR	-----
PROPOSED MINOR CONTOUR	----
PROPOSED MAJOR CONTOUR	-----
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION (GUTTER LINE)	EP = XXX.XX
BACK (TOP) OF CURB ELEVATION	BC = XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
BOTTOM OF WALL (GROUND SURFACE ELEVATION, STRUCTURAL PORTION OF WALL MAY EXTEND BELOW GRADE. (SEE WALL CERTIFIED SHOP DRAWINGS/STRUCTURAL PLANS TO CONFIRM EXACT ELEVATIONS))	XXX.XX BW
TOP OF WALL (SEE WALL CERTIFIED SHOP DRAWINGS/STRUCTURAL PLANS TO CONFIRM EXACT ELEVATIONS)	XXX.XX TW
RETAINING WALL/EXPOSED FOUNDATION WALL	=====
CURB TRANSITIONS FROM 6" TO FLUSH WITH PAVEMENT AT CURB RAMP	=====

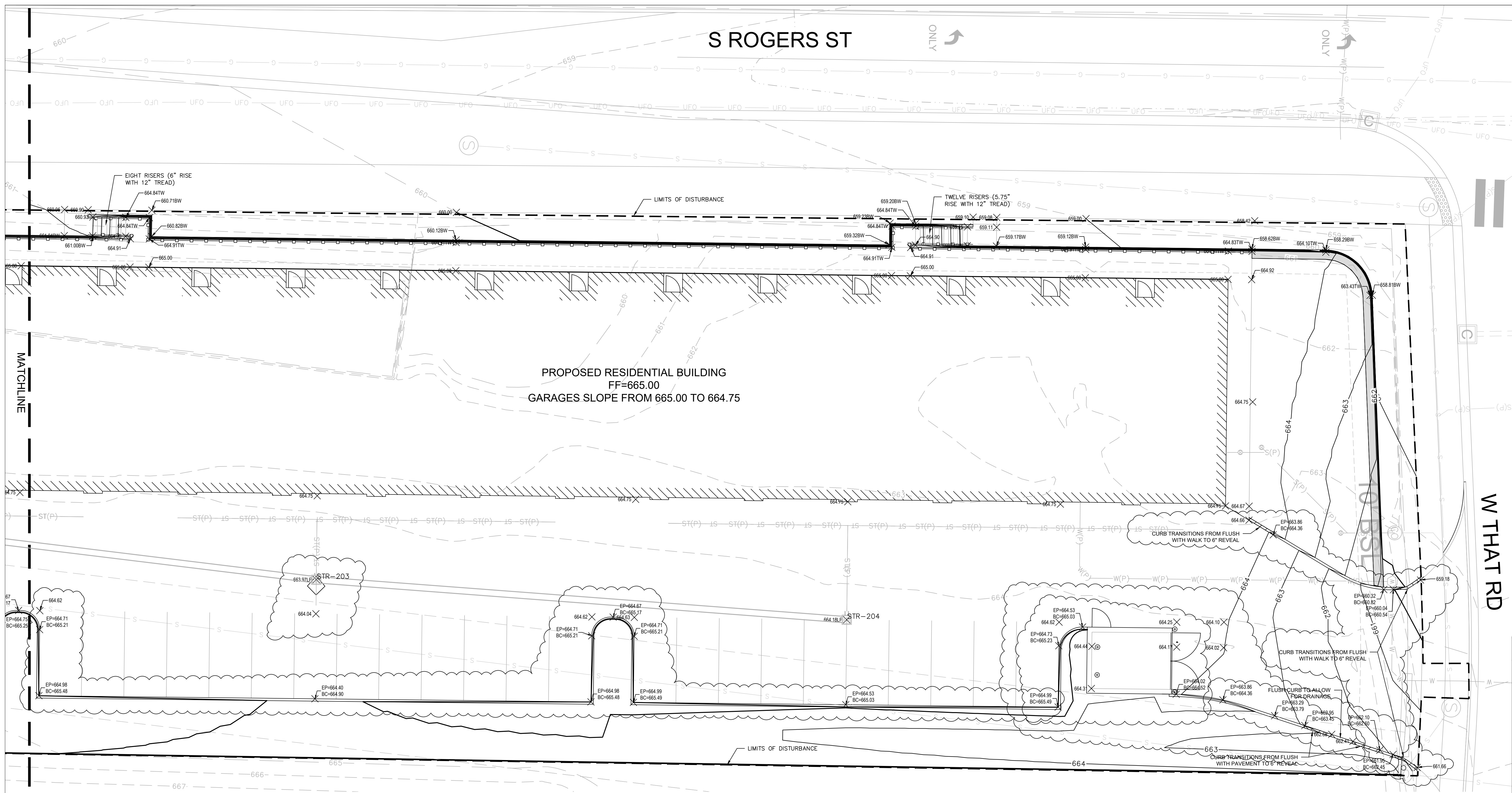


REVISIONS	BY	DATE
ADDED BARRIER CURB AND RECYCLING AREA GRADING	KCK	06/17/2023
REVISED GRADING FOR STORM SEWER AND TRASH ENCLOSURE ADJUSTMENTS	KCK	04/22/2023
ADDED POND ELEVATIONS	KCK	07/21/2023
REVISED EMERGENCY SPILLWAY NOTE	KCK	06/17/2023

DESIGNED	DRAWN	CHECKED	DATE
KCK	KCK	KCK	

JOB NUMBER	5920
SHEET	C300
DATE	08/17/2023
AREAS C. D. E.	GRADING PLAN





S ROGERS ST

ONLY

ONLY

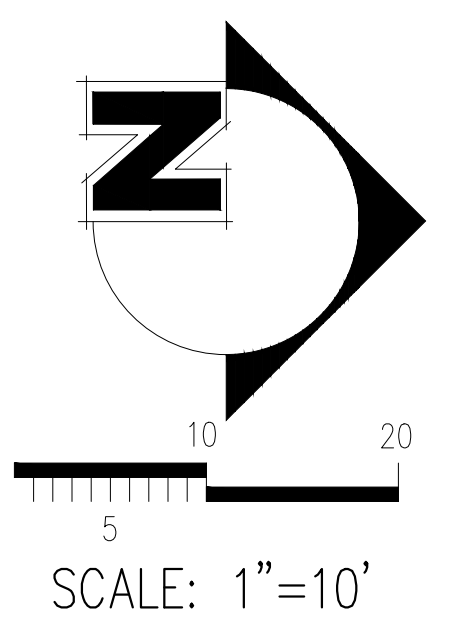
PROPOSED RESIDENTIAL BUILDING
FF=665.00
GARAGES SLOPE FROM 665.00 TO 664.75

MATCHLINE

W THAT RD

GRADING LEGEND

EXISTING MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
EXISTING ELEVATION	EX XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION (GUTTER LINE)	EP = XXX.XX
BACK (TOP) OF CURB ELEVATION	BC = XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
BOTTOM OF WALL (GROUND SURFACE ELEVATION, STRUCTURAL PORTION OF WALL MAY EXTEND BELOW GRADE. (SEE WALL CERTIFIED SHOP DRAWINGS/STRUCTURAL PLANS TO CONFIRM EXACT ELEVATIONS))	XXX.XX BW
TOP OF WALL (SEE WALL CERTIFIED SHOP DRAWINGS/STRUCTURAL PLANS TO CONFIRM EXACT ELEVATIONS)	XXX.XX TW
RETAINING WALL/EXPOSED FOUNDATION WALL	▬
CURB TRANSITIONS FROM 6" TO FLUSH WITH PAVEMENT AT CURB RAMP	▬



S SMITH DESIGN GROUP
 CIVIL ENGINEERS LAND SURVEYORS
 2155 S. STATE ST. SUITE 400, CLEAR CREEK, IN 47101
 (812) 338-8538 - smithdesign.com

KEVIN WALL CHARLES WAKE
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA
 PE12000253

04/26/2023

CI & L CLEAR CREEK
 CLEAR CREEK, INDIANA

REVISIONS	BY	DATE
ADDED BARRIER CURB AND RECYCLING AREA GRADING	KCK	08/17/2023
REVISED GRADING FOR STORM SEWER AND TRASH ENCLOSURE ADJUSTMENTS	KCK	08/22/2023

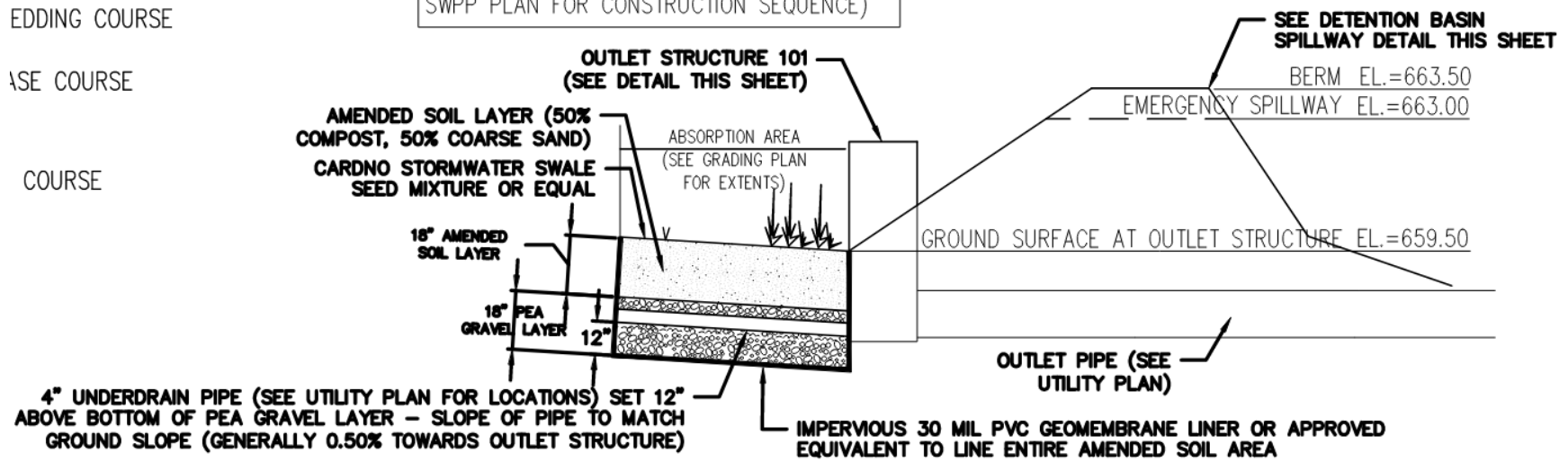
DESIGNED	DRAWN	CHECKED	DATE
KCK	KCK	KCK	

JOB NUMBER
5920
 SHEET
C301
 DATE
 08/17/2023
 AREA C GRADING PLAN

CI&L Clear Creek Pond Detail:

EDDING COURSE
 ASE COURSE
 COURSE

PEA GRAVEL AND AMENDED SOIL TO BE INSTALLED AFTER SITE HAS BEEN STABILIZED TO PREVENT CLOGGING WITH SEDIMENT (SEE SWPP PLAN FOR CONSTRUCTION SEQUENCE)



REFER TO GRADING PLAN FOR LOCATION
DETENTION BASIN DETAIL
 NO SCALE

Project Name: Heitink Properties LLC
Engineer/Design Firm: Daniel Butler, Bynum Fanyo
Address: 1141 N Sunrise Greetings Ct.
Acres: 0.81 acres disturbed

Watershed: Sinking Creek
Karst Report: Not Completed
Wetland Delineation: Not Completed

Project Summary

The Heitink Properties project is located in the Sinking Creek Critical Watershed. The project site is surrounded by residential to the west and commercial/industrial properties to the north and east. The Vernal Pike Connector Project will extend Sunrise Greetings Ct south, over the railroad, to W Profile Pkwy.

The site does not contain mapped floodplain. The project area is on HSG B soils, although there are HSG D soils to the west and south of the existing building. This site plan includes a new building addition, new parking addition, and driveway reconfiguration due to the Vernal Pike Connector project.

Project Drainage

One (1) bioretention pond is proposed on the project site to capture runoff from 2.05 acres. The pond should be placed in a drainage easement and an O&M Manual recorded with the property. The property owner will be responsible for regular inspections and maintenance of their infrastructure.

The pond outlet is located at the ~~southwest~~ northwest corner of the property and discharges directly to the rip rap lined ditch on the west side of the existing building. This site will eventually discharge under the railroad, similar to the Central Supply Co. project the Drainage Board reviewed in January 2023.

Heitink Veneers – Drainage Comments

Critical Watershed:

- This project is in the Sinking Creek critical watershed.

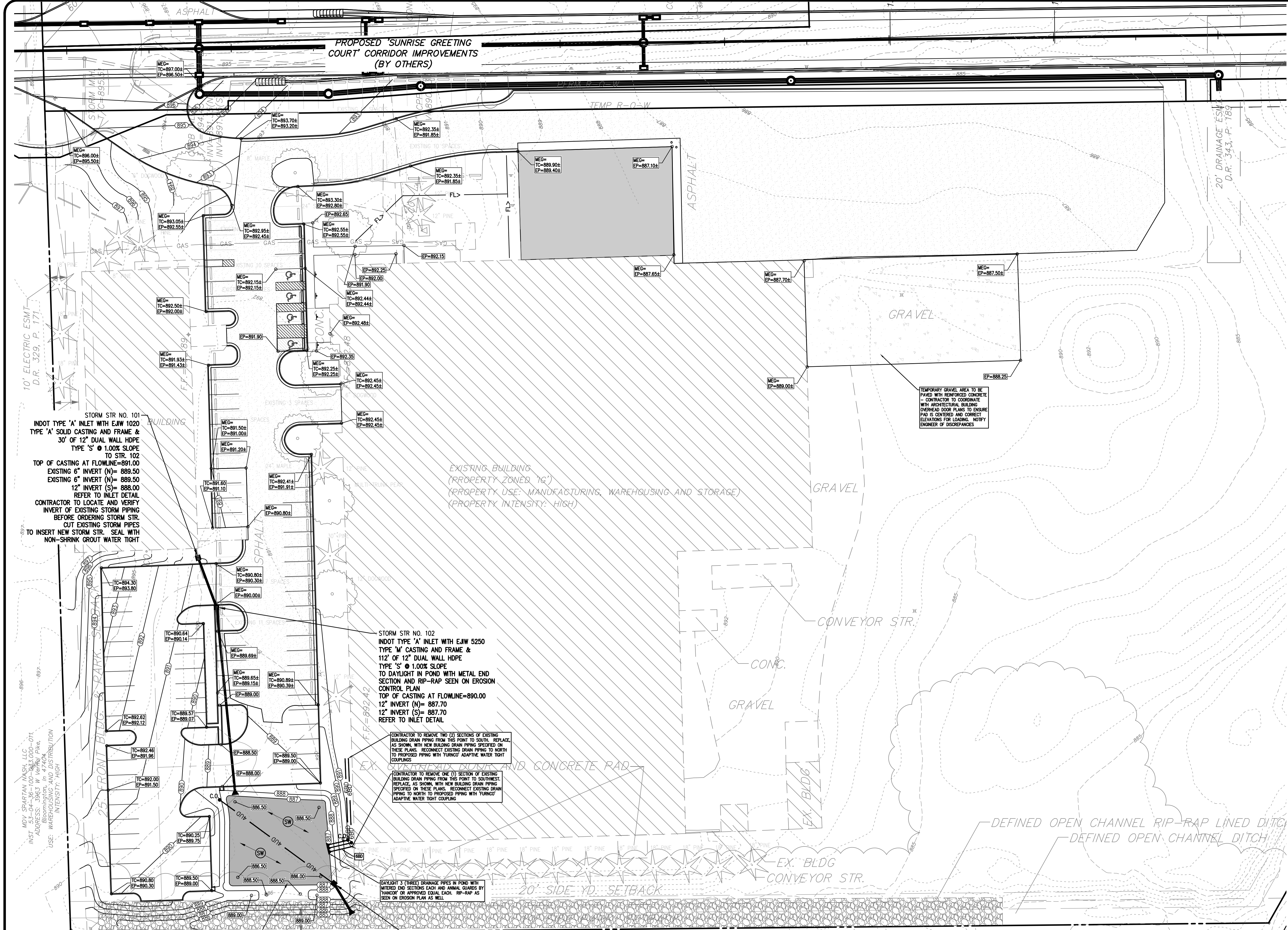
Adequacy of outlets/receiving infrastructure:

- The detention pond is discharging to an existing rip rap lined channel, however the current condition of the rip rap channel has not been determined. Ensure runoff doesn't impact homes on W Merle Ave.

Easements:

- The detention pond and receiving rip rap channel should be placed in a drainage easement.





EXISTING LEGEND

EXISTING FENCE	- X - X - X -
EXISTING WATER LINE	- W -
EXISTING OVERHEAD UTILITY LINES	- OHU -
EXISTING UNDERGROUND ELECTRIC LINES	- UGE -
EXISTING UNDERGROUND TELEPHONE LINES	- UGT -
EXISTING UNDERGROUND FIBER OPTIC LINES	- FO -
EXISTING GAS LINE	- GAS -
EXISTING SANITARY FORCEMAIN	- FM -
EXISTING ELEVATION CONTOUR LINE	- XXX -
EXISTING SANITARY SEWER AND MANHOLE	- (Symbol) -
EXISTING STORM SEWER AND INLET	- (Symbol) -
PROPERTY LINE	- (Symbol) -

GRADING/DRAINAGE LEGEND

EXISTING CONTOUR	- XXX -
PROPOSED CONTOUR	- (Symbol) -
PROPOSED INTENDED FLOWLINE DIRECTION	- FL ->
PROPOSED SPOT GRADE ELEVATION	- XXX.XX -
TC=PROPOSED TOP OF CURB ELEVATION EP=PROPOSED EDGE OF PAVEMENT ELEVATION AT BOTTOM OF CURB	- TC=XXX.XX EP=XXX.XX -
TW=PROPOSED TOP OF WALL ELEVATION AT GRADE BW=PROPOSED BOTTOM OF WALL ELEVATION AT GRADE	- TW=XXX.XX BW=XXX.XX -
FINISH FLOOR ELEVATION	- FF=XXX.XX -
FINISH EDGE OF PAVEMENT AT GRADE	- EP=XXX.XX -
MATCH THE EXISTING'S CONDITIONS GRADES ELEVATION FOR BEST FIT OF PROPOSED GRADING ADJACENT TO THE EXISTING CONDITION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.	- MEG=XXX.XX -
PROPOSED STORM PIPE AND INLET/MANHOLE. REFER TO PLAN FOR INLET DESIGN AND DETAILS FOR BACKFILL SPECIFICATIONS AND INLET/MANHOLE SPECIFICATIONS PER MONROE COUNTY STANDARDS	- (Symbol) -
PROPOSED DUAL WALL TYPE 'S' HOPE PERFORATED STORM PIPE UNDERDRAIN WRAPPED IN A SOCK SLOPED AT 1.0% MIN. TO CONNECT TO OUTLET CONTROL STRUCTURE. REFER TO PLAN FOR LOCATIONS AND STORM SEWER CLEAN-OUT. REFER TO POND DETAILS FOR MORE INFORMATION AND STORM CLEAN-OUT DETAIL	- (Symbol) -
PROPOSED STORM BUILDING DRAIN: 6" MIN. SCHEDULE 40 PVC DRAIN PIPE TO POINT OF DISCHARGE AT STORM STRUCTURE OR DAYLIGHT IN POND WITH MITERED END SECTION AND ANIMAL GUARD BY 'HANCOR' OR APPROVED EQUAL. PLACE RIP-RAP PER EROSION CONTROL PLAN IN POND. 1.0% SLOPE MIN. WITH 24" COVER MIN. AND BEDDING AND BACKFILL PER DETAIL IN THIS PLAN SET. 6" MIN. DOWNSPOUT CONNECTIONS AND SCHEDULE 40 DOWNSPOUT BOOTS ARE REQUIRED AT ALL DOWNSPOUT LOCATIONS. SHOP PRIME AND PAINT, COLOR PER ARCHITECT. REFER TO 'X' SERIES DRAWINGS FOR EXACT LOCATION OF ALL DOWNSPOUTS. NOTIFY ENGINEER OF ANY DISCREPANCIES. REFER TO THE STORM CLEAN-OUT DETAIL FOR ALL BUILDING DRAIN CLEAN-OUTS SHOWN	- (Symbol) -
STORMWATER QUALITY POND SOIL MIXTURE LIMITS. THIS IS FOR FILTRATION AND FOR GROWING GRASSES, SEDGES, PERENNIALS AND FORBS AS SPECIFIED ON THE LANDSCAPE PLAN. SEE SHEET C701 FOR DEPTH AND ADDITIONAL SPECIFICATIONS OF SOIL MIXTURE	- (Symbol) -

NOTE:
CONTRACTOR IS RESPONSIBLE TO VERIFY WITH TESTING THROUGH GEOTECHNICAL ENGINEERING FIRM THAT COMPACTION THROUGHOUT THE SITE HAS ADEQUATE LOAD ANALYSIS UNDER PROPOSED BUILDING, PAVEMENTS, AND PARKING LOTS BEFORE PAVING FOR PROPOSED DRIVES OR PARKING LOTS HAVE BEGUN

NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

BYNUM FANYO & ASSOCIATES, INC.
Bloomington, Indiana
(812) 339-2990 (Fax)

BBB
BYNUM FANYO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

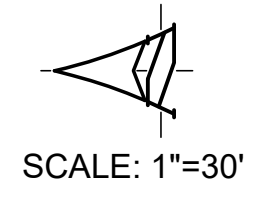
JEFFREY S. FANTON
No. 18283
STATE OF INDIANA
PROFESSIONAL ENGINEER
08.18.23

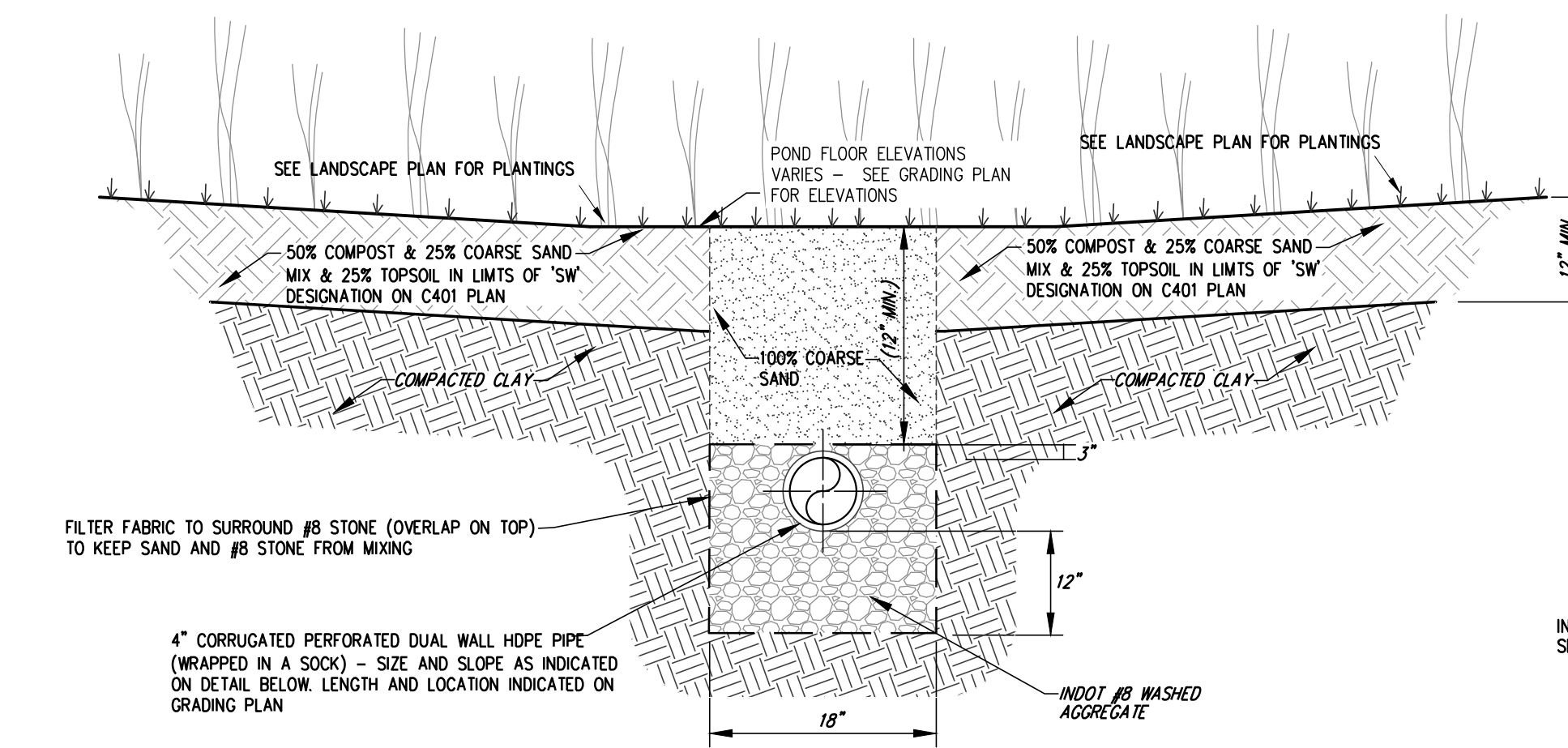
certified by: *[Signature]*

PROPOSED HEITINK VENEERS INC.
1141 NORTH SUNRISE GREETINGS COURT
BLOOMINGTON, INDIANA 47404

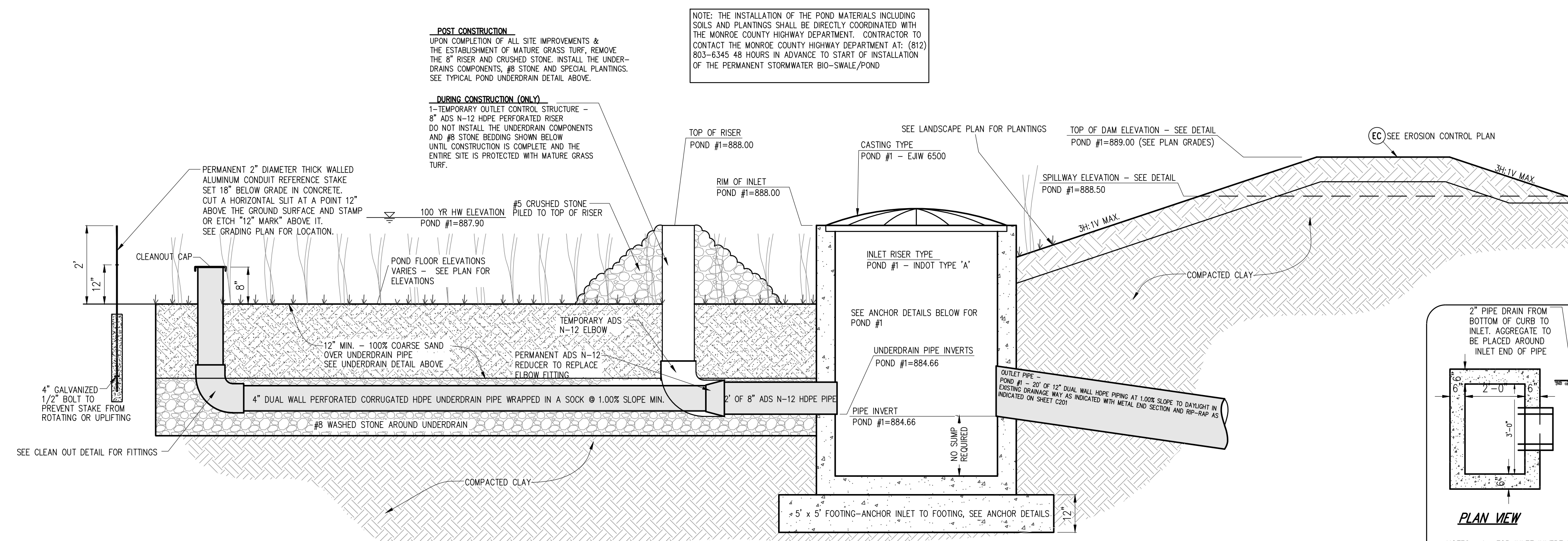
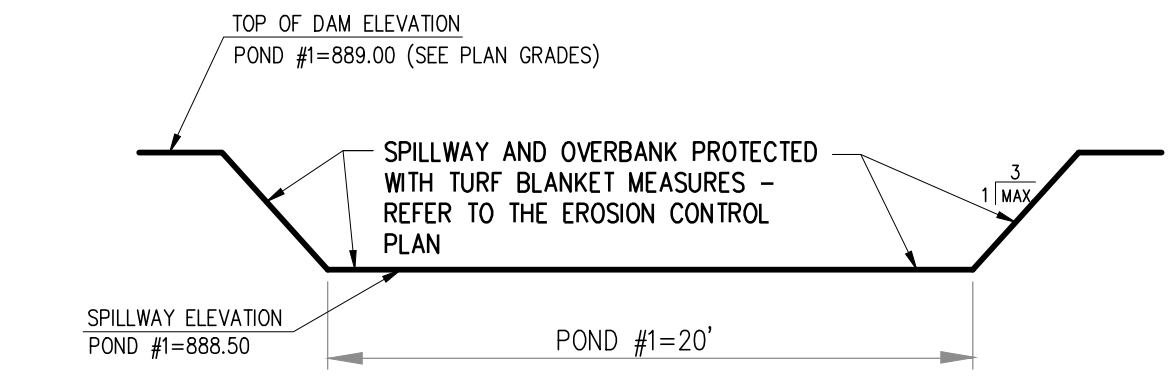
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designed by: DJB
drawn by: DJB
checked by: JSF
sheet no: C401
project no.: 401911

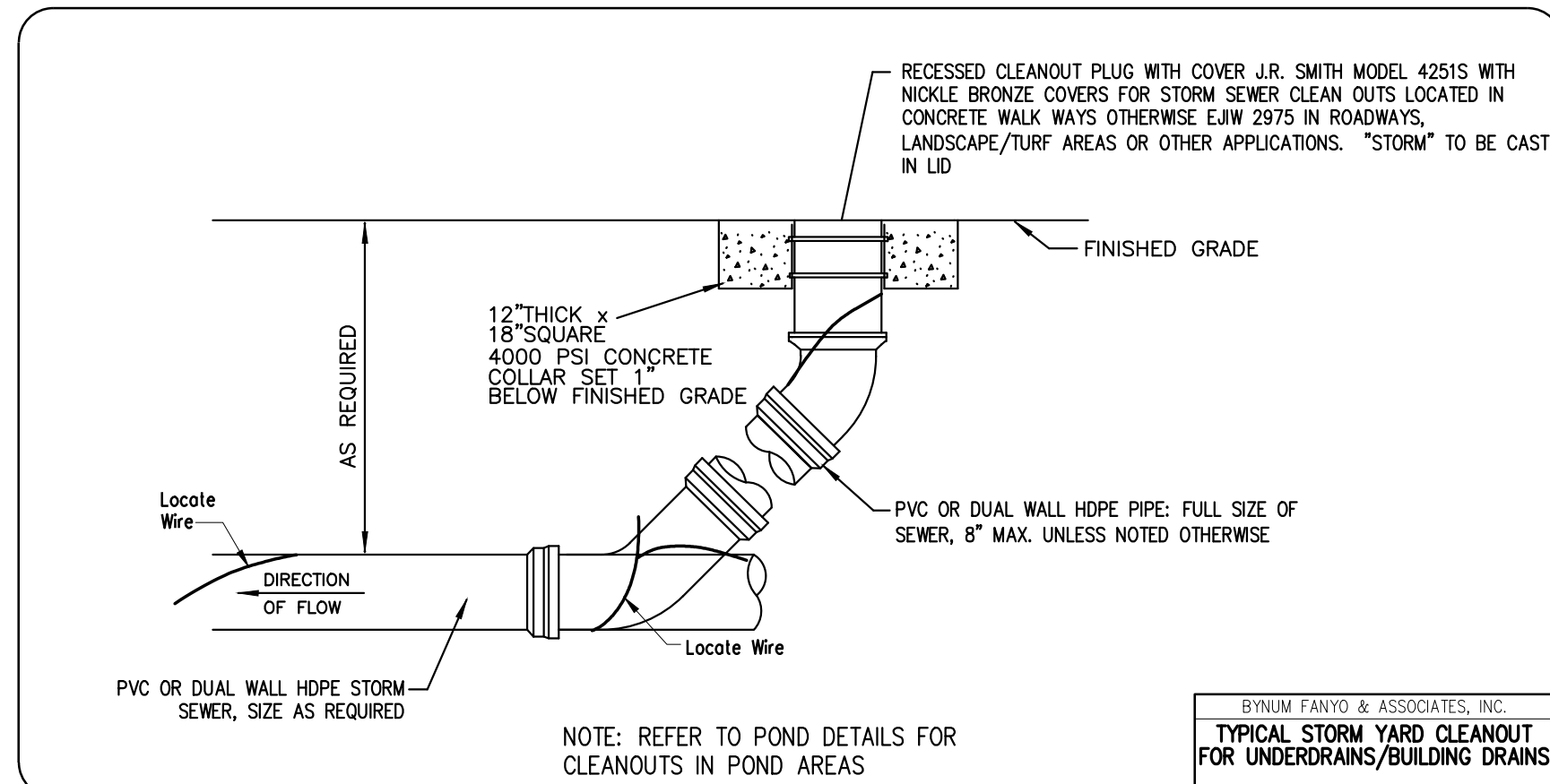




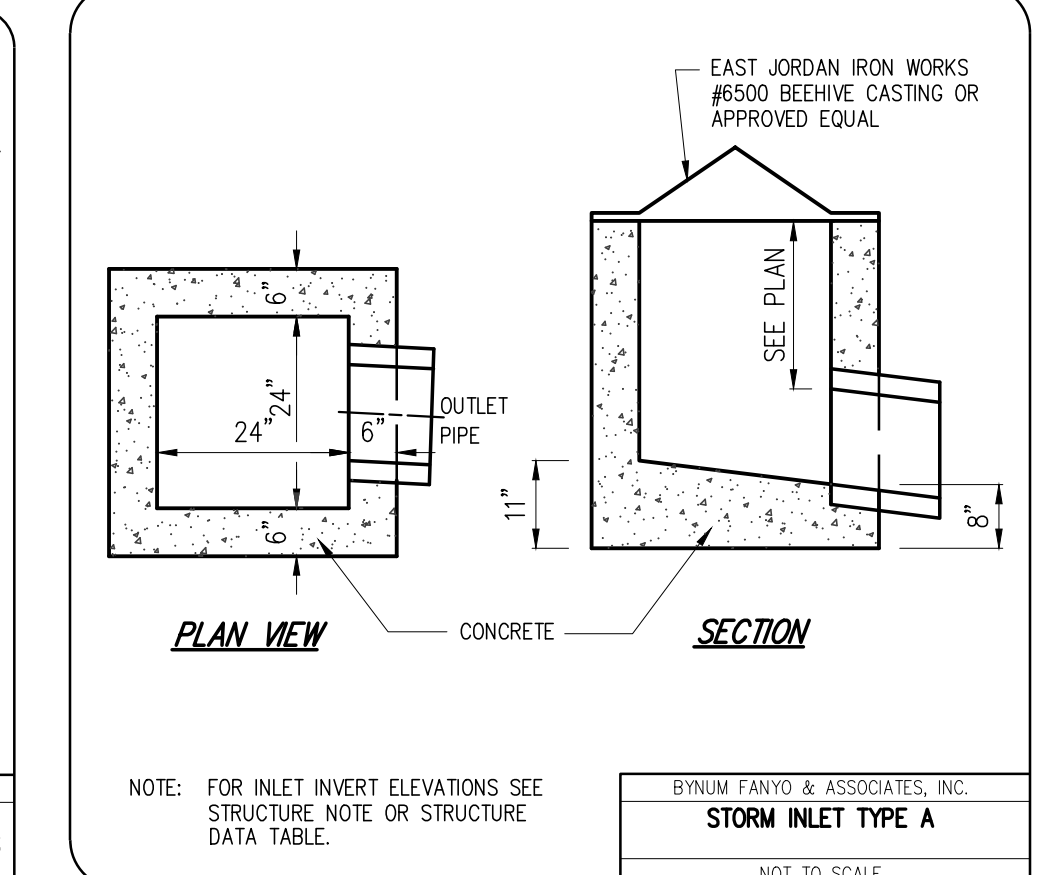
UD TYPICAL BIO-SWLE/WATER QUALITY POND UNDERDRAIN SYSTEM
NOT TO SCALE



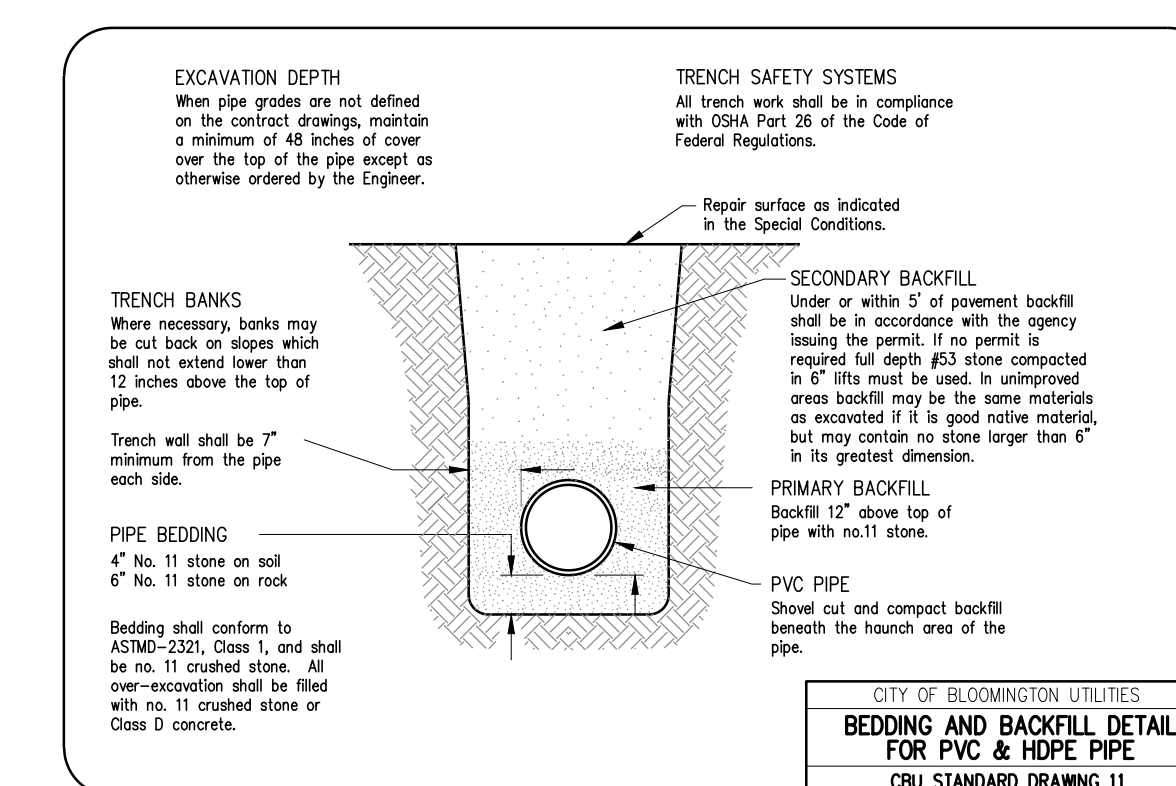
TEMPORARY AND PERMANENT WATER QUALITY POND DETAIL
NOT TO SCALE



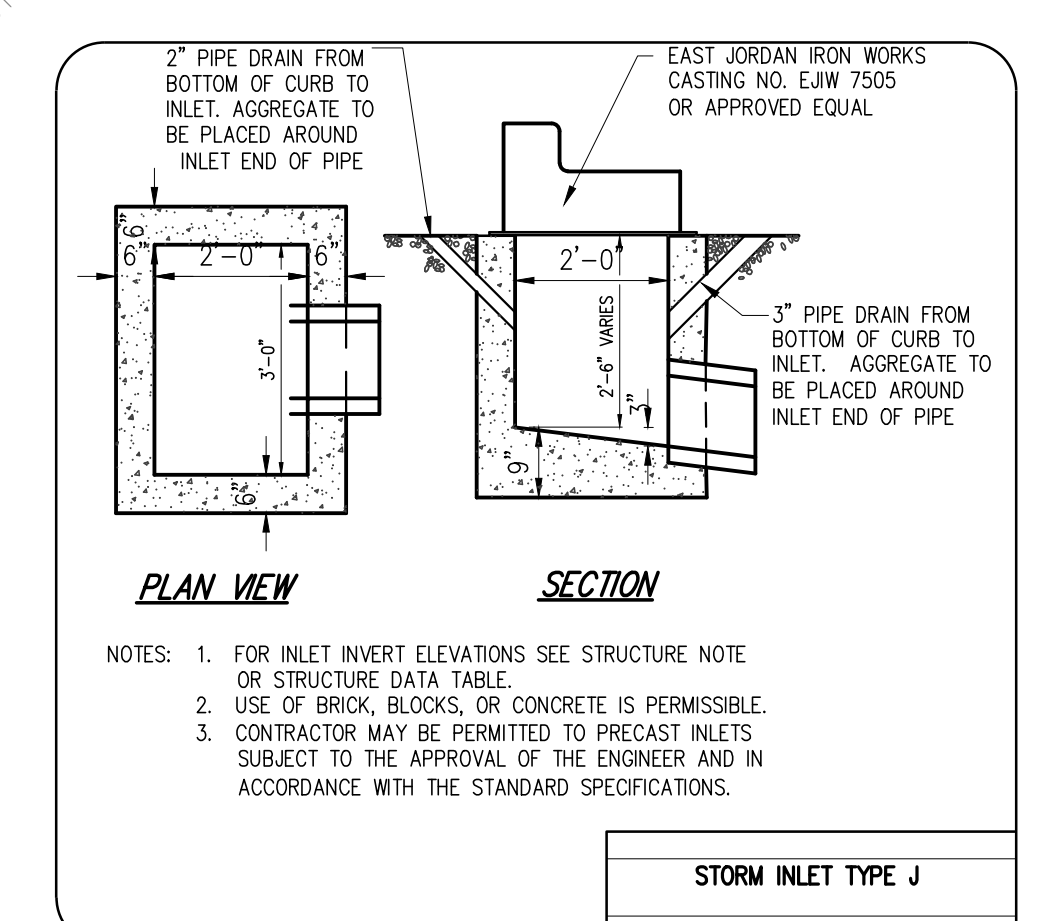
TYPICAL STORM YARD CLEANOUT FOR UNDERDRAINS/BUILDING DRAINS



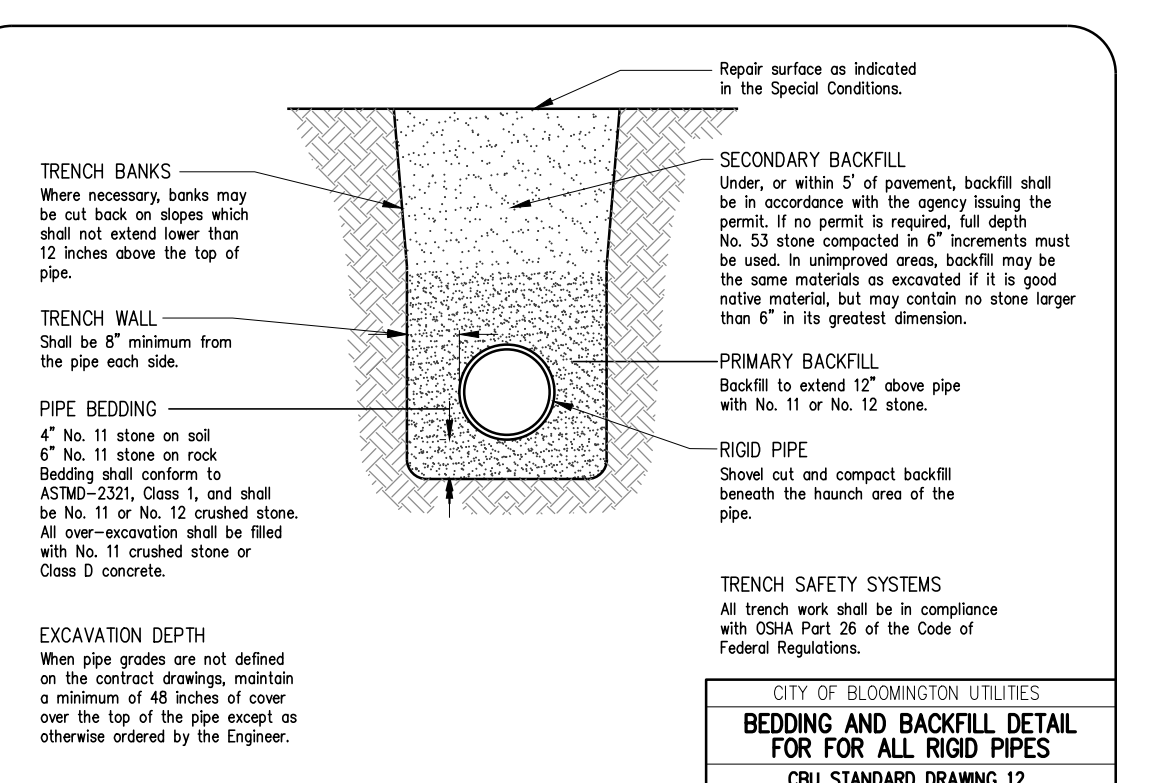
STORM INLET TYPE A
NOT TO SCALE



**CITY OF BLOOMINGTON UTILITIES
BEDDING AND BACKFILL DETAIL FOR PVC & HDPE PIPE
CBU STANDARD DRAWING 11**



STORM INLET TYPE J
NOT TO SCALE



**CITY OF BLOOMINGTON UTILITIES
BEDDING AND BACKFILL DETAIL FOR ALL RIGID PIPES
CBU STANDARD DRAWING 12**

revisions:

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JEFFREY S. FANYO
Professional Engineer
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08.18.23
certified by *[Signature]*

PROPOSED
HEITINK VENEERS INC.
1141 NORTH SUNRISE GREETINGS COURT
BLOOMINGTON, INDIANA 47404

title: SITE DRAINAGE DETAILS
designed by: DJB
drawn by: DJB
checked by: JSF
sheet no: C701
project no.: 401911