

MONROE COUNTY PLAN COMMISSION MEETING



**Tuesday, January 16, 2024
5:30 PM**

PART 1

Hybrid Meeting

In-person

Monroe County Courthouse
Nat U. Hill III Meeting Room
100 W Kirkwood Ave
Bloomington, Indiana

Virtual

[Virtual Video Conference Link](#)

Meeting ID: 259 277 005 89

Passcode: t5Qvy7

If calling into the video conference meeting (audio only), dial: +1 872-242-9432

When prompted, enter the Phone Conference ID: 966 973 645#

**MONROE COUNTY PLAN COMMISSION
AGENDA**

The Monroe County Plan Commission will hold a **hybrid** public meeting on **Tuesday, January 16, 2024, at 5:30 PM** in the Judge Nat U. Hill III Meeting Room, 100 West Kirkwood Avenue, Bloomington, Indiana and virtually via a video conference (https://www.co.monroe.in.us/egov/apps/events/calendar.egov?view=cal&eGov_searchDepartment=13). The public may attend and provide comments virtually or in-person. For information about the meeting, you may call (812) 349-2560 or email (PlanningOffice@co.monroe.in.us) our office. For information about the video conference meeting, you may call (812) 349-2560 or email (PlanningOffice@co.monroe.in.us). We will be taking public comment at each public hearing and consider the following agenda items and requests regarding the following described properties in Monroe County, Ind.:

CALL TO ORDER

ROLL CALL

INTRODUCTION OF EVIDENCE

APPROVAL OF AGENDA

APPROVAL OF MINUTES None.

ADMINISTRATIVE BUSINESS:

- 1. SIA-22-15 Kemp Minor Subdivision** **PAGE 4**
Request for Release of Performance Guaranty

UNFINISHED BUSINESS:

- 1. RD-23-2 N Maple Grove RD Name Change to John Irvine Way**
Final Hearing.
Washington Township, Section 30 and Bloomington Township, Section 31.
Contact: drbrown@co.monroe.in.us
*****WITHDRAWN BY PETITIONER*****

NEW BUSINESS:

- 1. PUO-23-1 Whaley PUD Outline Plan Amendment 2** **PAGE 13**
Preliminary Hearing. Waiver of Final Hearing
Two (2) parcels totaling 12.34 +/- acre in Van Buren Township, Section 14 at 4810 W State Road 45, Parcel # 53-09-14-102-001.000-015.
Owner: K & S Rolloff Holdings LLC
Zoned PUD. Contact: shawnsmith@co.monroe.in.us
- 2. REZ-23-5 U-Haul Rezone From IG to GB** **PAGE 62**
Preliminary Hearing. Waiver of Final Hearing Requested.
Two (2) 12.84 total +/- parcels in Richland Township, Section 36 at 3274 and 3300 W Profile PKWY, parcels #53-04-36-100-054.007-011 and #53-04-36-100-054.006-011. Owner: BB Profile LLC
Zoned IG. Contact: shawnsmith@co.monroe.in.us
- 3. SPP-23-4 Spring Woods Major Subdivision Preliminary Plat** **PAGE 119**
Preliminary Hearing. Waiver of Final Hearing Requested.
One (1) parcel on 2.65 acres in Section 24 of Richland Township at 4050 W Carmola DR, parcel #53-04-24-200-135.000-011.
Owner: Blackwell Contractors Inc
Zoned MR. Contact: drbrown@co.monroe.in.us

- 4. PUO-23-7 The Trails at Robertson Farm PUD Outline Preliminary Hearing. PART 2**
 One (1) 42.97 +/- parcel in Perry Township, Section 20 at 4691 S Victor Pike, parcel #53-08-20-400-102.000-008.
 Owner: White Oak Endeavors LLC
Zoned RE1. Contact: drbrown@co.monroe.in.us
- 5. PUO-23-8 Bloomington Technology Park PUD Outline Plan Amd. 7 Preliminary Hearing. Waiver of Final Hearing Requested. PART 3**
 One (1) 3.8 +/- parcel in Van Buren Township, Section 1 at 1444 S Liberty DR. parcel #53-09-01-402-017.000-015
 Owner: Liberty Drive Medical Office Facility LLC
Zoned PUD. Contact: dmyers@co.monroe.in.us
- 6. ZOA-23-3 Amendment to the Monroe County Zoning Ordinance: Chapter 807- Signs Preliminary Hearing. Waiver of Final Hearing Requested. PART 3**
 Amendment to add timeline and procedure for sign permits.
 Contact: jnester@co.monroe.in.us

- REPORTS:**
1. Planning: Jackie Jelen
 2. County Attorney: David Schilling

Said hearing will be held in accordance with the provisions of: IC 36-7-4-100 et seq.; & the County Code, Zoning Ordinance, and the Rules of the Plan Commission of Monroe County, Ind. All persons affected by said proposals may be heard at this time, and the hearing may be continued as necessary.

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of Monroe County, should contact Monroe County Title VI Coordinator Angie Purdie, (812)-349-2553, apurdie@co.monroe.in.us, as soon as possible but no later than forty-eight (48) hours before the scheduled event.

Individuals requiring special language services should, if possible, contact the Monroe County Government Title VI Coordinator at least seventy-two (72) hours prior to the date on which the services will be needed.

The meeting will be open to the public.

PLANNER	Drew Myers
CASE NUMBER	SIA-24-1; SIA-22-15 (2009-SMN-08, SFP-21-9, IG-22-1, R-22-960)
PETITIONER	Joe Kemp Construction, LLC (c/o Lana Allen)
ADDRESS	4119 and 4123 W Carmola DR, Parcel #s: 53-04-24-200-026.001-011, 53-04-24-200-026.000-011
REQUEST	Partial Performance Bond Reduction Request
ACRES	0.84 acres
TOWNSHIP	Richland
SECTION	24
PLATS	Platted, Kemp Minor Subdivision Final Plat

EXHIBITS

1. Petitioner Statement
2. Petitioner As-Builts
3. Petitioner Grading Plan
4. Petitioner Written Assurances
5. Plat Bond Estimate – Smith Design Group
6. Kemp Minor Subdivision Final Plat (2022)

RECOMMENDATION TO THE PLAN COMMISSION

Staff recommends approval of the releasing the performance bond guaranty for public improvements of \$19,555 and holding the 2-year \$10,000 maintenance bond.

SUMMARY

The petitioner has applied to release the performance bond guaranty related to the Kemp Minor Subdivision. The summary of the current financial guarantee that was submitted to the County at the beginning of the project was \$24,695.00 dated 02/28/2023. The petitioner is requesting to reduce the performance bond by \$14,695 leaving a balance of \$10,000 for the required 2-year maintenance bond.

The Irrevocable Letter of Credit dated February 28, 2023, indicates the bond amount of \$24,695.00 being held by the County for the public improvements of the Kemp Minor Subdivision (see Exhibit 5). The ordinance states that a 2-year maintenance bond is required after the construction has been completed to the specifications laid out in the approved construction plans. According to Chapter 858-8(B):

“...in no event may the performance bond be reduced to less than ten percent (10%) of the original performance bond amount or ten thousand dollars (\$10,000), whichever is greater, until all required improvements for the subdivision or the approved subdivision section have been completed and accepted.”

The Monroe County Highway Department, Stormwater Division, and Planning Department conducted site inspections and ensured improvements were satisfactory (reference SIA-22-15, IG-22-1, R-22-960). The petitioner does meet the ordinance requirements for a performance bond release.

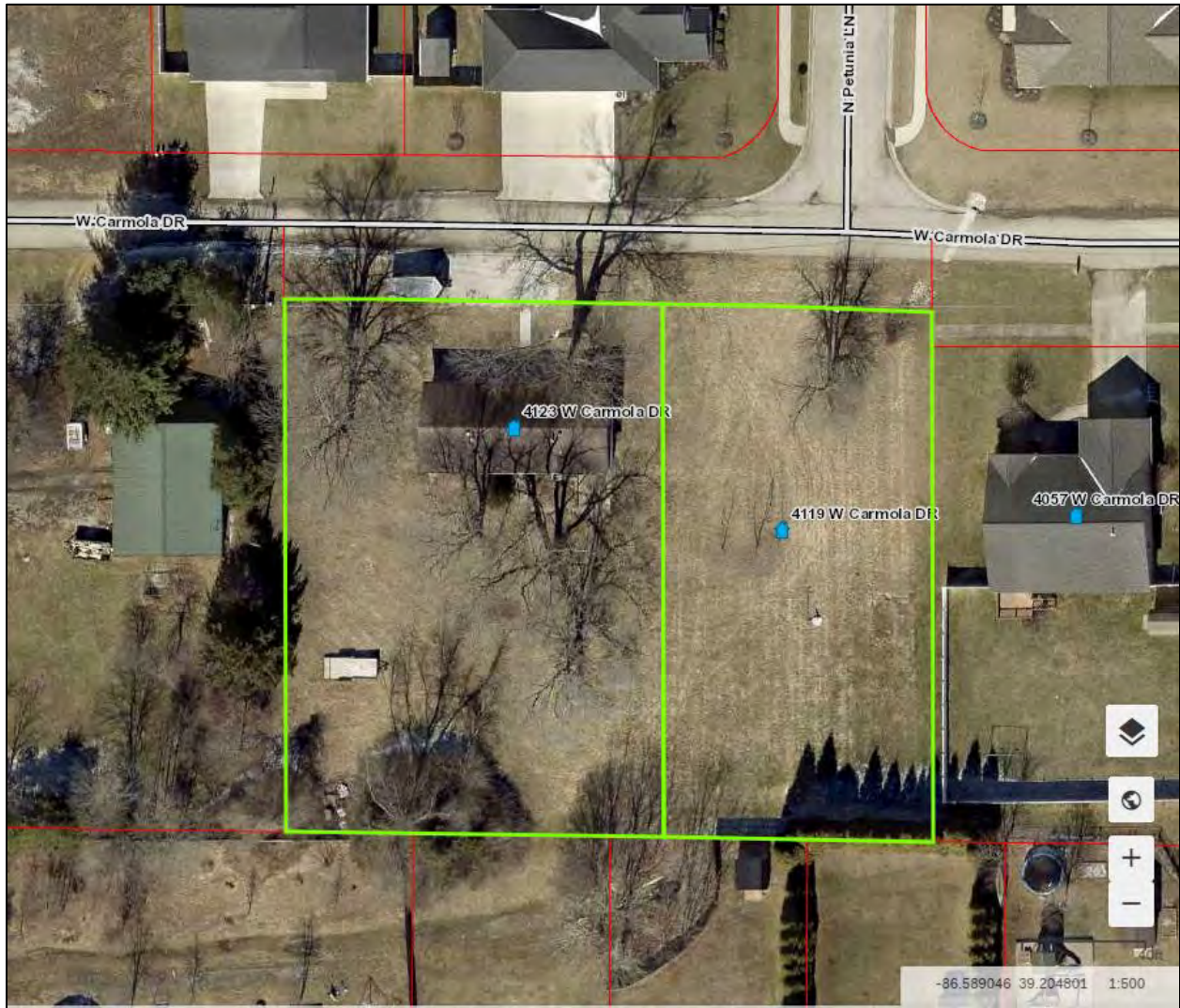
858-8. Release or Reduction of Performance Bond and Financial Guaranty

(A) The Commission may release or reduce the performance bond and financial guaranty, but only if:

- (1) the Subdivider applies to the Commission, in writing, for the release or reduction of the performance bond and financial guaranty and provides the Commission with a certificate, signed by the Subdivider's engineer, stating that all required improvements, or a portion of

such improvements in the case of a reduction, have been completed in the manner prescribed by these regulations, by preliminary approval and by the subdivision improvement agreement. The certification of the Subdivider's engineer shall be accompanied by detailed "as-built" plans of the required improvements. Such as-built plans must be prepared and signed by the Subdivider's engineer;

See Exhibits 1, 2, and 5. The petitioner was required to plant 6 street trees and did so according to the as-built plans and verified by site visits. The petitioner installed the required sidewalk in accordance with the preliminary plat. The petitioner submitted the necessary as-built plans that were reviewed and approved by the Monroe County Highway Engineer.



- (2) the County Engineer reviews the as-built plans and the subdivision site and reports to the Commission, in writing, that all required improvements, or a portion of such improvements in the case of a reduction, have been completed in the manner prescribed by these regulations, by preliminary approval and by the subdivision improvement agreement;

See Exhibit 4 for the as-built plans for the road and drainage infrastructure. The MS4 Coordinator communicated to the petitioner that additional modifications to the 30-

foot drainage easement as needed to adequately convey discharge from the new storm sewers should the Highway Department implement the Carmola Drive reconstruction project.



Kelsey Thetonia

Remove Comment · Jan 9, 2024 at 2:25 pm

The Carmola Dr. reconstruction project will not be implemented in the immediate future, but the drainage easement was designed with this project in mind. When the Highway Department decides to continue the Carmola Dr. project, they can require modifications to grading in the drainage easement to adequately convey discharge from the new storm sewers. Please pass this information on to the property owner. Thanks

- (3) the Subdivider provides the Commission with written assurances, in the form of affidavits, releases or waivers of liens from all contractors, subcontractors and materialmen, that liens will not be filed against the dedicated land and/or improvements after they are accepted; and,

See Exhibit 4.

- (4) the Subdivider provides the Commission with the maintenance bond required by Section 858-9.

The petitioner will need to retain \$10,000 for the minimum requirement for the maintenance bond. The petitioner is requesting a release of \$14,695 leaving a balance of \$10,000. See Exhibit 1 & 5.

EXHIBIT 1: Petitioner Statement



Todd M. Borgman, P.L.S.
Katherine E. Stein, P.E.
Don J. Kocarek, R.L.A.
Stephen L. Smith, Founder

January 08, 2024

Monroe County Board of Commissioners
Monroe County Court House
100 W Kirkwood Ave.
Bloomington, IN 47401

RE: Kemp Minor Subdivision Release of Financial Guarantee Statement

Dear Board of Commissioners,

Kemp Minor Subdivision is a 2-lot residential subdivision on Carmola Drive, West of Natasha Drive on the South side of Carmola Drive. The preliminary plat was approved by Plan Commission on December 17, 2020 and the Final Plat recorded on June 23, 2022.

As a part of the subdivision approval, public improvements of a sidewalk, street trees, and a pipe extension were proposed with the subdivision.

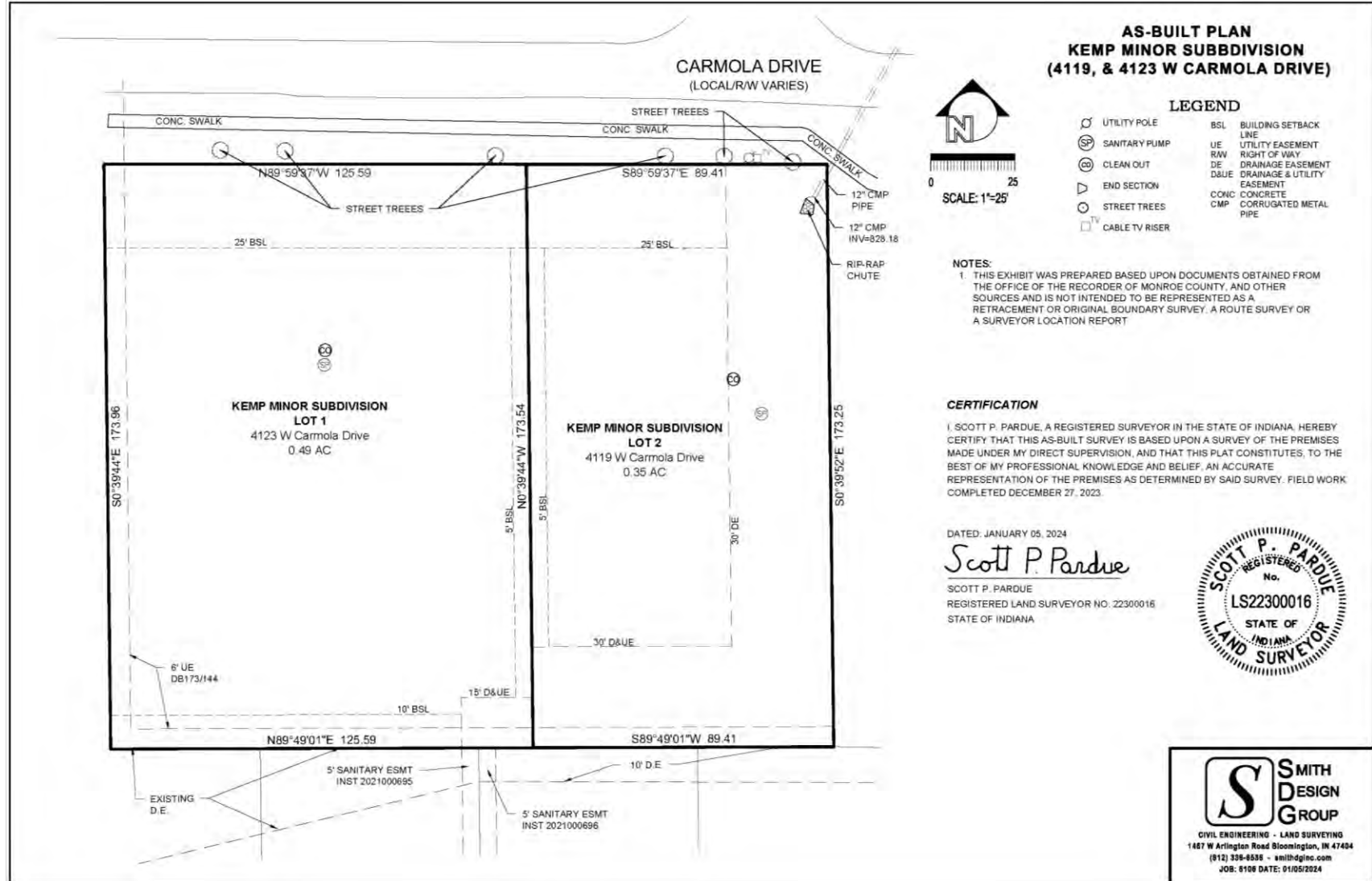
As-built plans were prepared for this development on January 05, 2024. To the best of my knowledge, the proposed improvements were completed in the manner prescribed by the regulations of Monroe County, by the approved preliminary plat and the subdivision improvement agreement.

Sincerely,

Scott P. Pardue

Scott P. Pardue, PS
Smith Design Group, Inc.
spardue@smithdginc.com

EXHIBIT 2: Petitioner As-Builts



**AS-BUILT PLAN
KEMP MINOR SUBDIVISION
(4119, & 4123 W CARMOLA DRIVE)**



LEGEND

- | | |
|----------------|-----------------------|
| UTILITY POLE | BUILDING SETBACK LINE |
| SANITARY PUMP | UTILITY EASEMENT |
| CLEAN OUT | RIGHT OF WAY |
| END SECTION | DRAINAGE EASEMENT |
| STREET TREES | D&UE |
| CABLE TV RISER | CONCRETE |
| | CORRUGATED METAL PIPE |

NOTES:

- THIS EXHIBIT WAS PREPARED BASED UPON DOCUMENTS OBTAINED FROM THE OFFICE OF THE RECORDER OF MONROE COUNTY, AND OTHER SOURCES AND IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT

CERTIFICATION

I, SCOTT P. PARDUE, A REGISTERED SURVEYOR IN THE STATE OF INDIANA, HEREBY CERTIFY THAT THIS AS-BUILT SURVEY IS BASED UPON A SURVEY OF THE PREMISES MADE UNDER MY DIRECT SUPERVISION, AND THAT THIS PLAT CONSTITUTES, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, AN ACCURATE REPRESENTATION OF THE PREMISES AS DETERMINED BY SAID SURVEY. FIELD WORK COMPLETED DECEMBER 27, 2023.

DATED: JANUARY 05, 2024

Scott P. Pardue

SCOTT P. PARDUE
REGISTERED LAND SURVEYOR NO. 22300016
STATE OF INDIANA



**SMITH
DESIGN
GROUP**
CIVIL ENGINEERING • LAND SURVEYING
1487 W Arlington Road Bloomington, IN 47404
(317) 339-8536 • smithdgroup.com
JOB: 6108 DATE: 01/05/2024

EXHIBIT 4: Petitioner Written Assurances

January 8, 2024

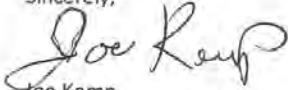
Monroe County Board of Commissioners
Monroe County Court House
100 W Kirkwood Ave.
Bloomington, IN 47401

Re; Kemp Minor Subdivision – Release of Financial Guarantee Written Assurance

Dear Board of Commissioners,

This is written assurance that there are no affidavits, releases, or waivers of liens from contractors, subcontractors, or materialmen who have provided services and/or improvements for the Kemp Minor Subdivision.

Sincerely,



Joe Kemp

Joe Kemp Construction, LLC

EXHIBIT 5: Plat Bond Estimate – Smith Design Group

Carmola Drive Minor Subdivision

Plat Bond Estimate Exhibit A

Job No. 6106

SMITH DESIGN GROUP

NO.	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	Sidewalk, Concrete, 4'	100	SYS	\$80.00	\$8,000.00
2	Pipe, SDR-35 PVC, 6" Lateral	340	LFT	\$35.00	\$11,900.00
3	Cleanout, Sanitary	3	EA	\$550.00	\$1,650.00
4	Street Trees	6	EA	\$150.00	\$900.00
Bond amount shown is for items yet to be completed.				Subtotal	\$22,450.00
				10% Bonding	\$2,245.00
				Total	\$24,695.00

CASE NUMBER	PUO-23-1
PLANNER	Shawn Smith
PETITIONER	K & S Rolloff c/o Daniel Butler, Bynum Fanyo & Assoc.
REQUEST	Planned Unit Development Outline Plan Amendment 2 to Whaley PUD Waiver of Final Hearing Requested
ADDRESS	4810 W State Road 45, Parcel #: 53-09-14-102-001.000-015
ACRES	12.34 +/-
ZONE	PUD Whaley
TOWNSHIP	Van Buren
SECTION	14
PLATS	Platted
COMP PLAN DESIGNATION	MCUA Phase 1: Mixed Use MCUA Phase 2: Mixed Use

EXHIBITS

1. Petitioner Outline Plan Statement
2. Site Plan (Conceptual)
3. 1998 Whaley PUD Ordinance
4. Whaley Permitted Uses
5. Hydrogeology Report
6. IDEM Report
7. Enforcement Letter
8. Petitioner Written Commitment Letter
9. Aerial imagery 2010-2019

RECOMMENDATION

(See map illustration on the following page for the location of each recommendation made by Staff, numbered 1-5)

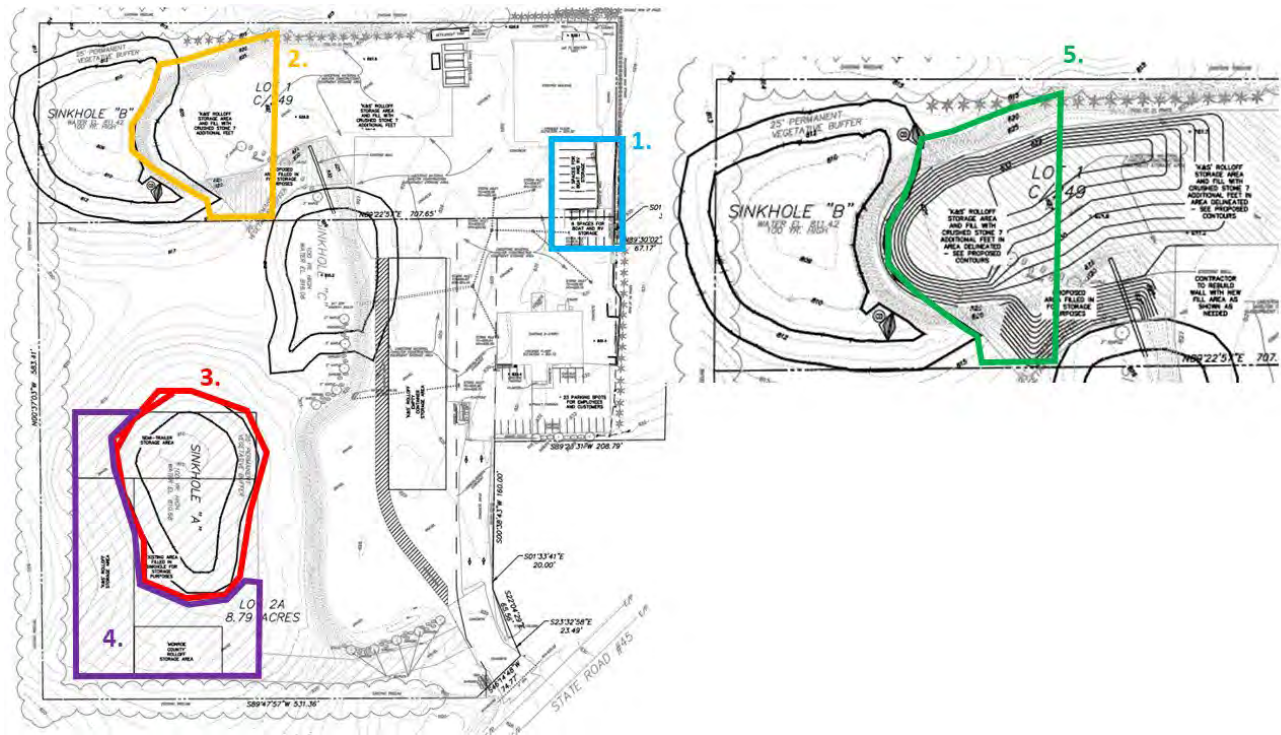
Staff recommends both a “Positive” and “Negative” recommendation to the Plan Commission, subject to the MS4 Coordinator’s reports:

1. Staff recommends forwarding a “**positive recommendation**” to the County Commissioners for adding the use of Boat and RV Storage only in the allocated area per the petitioner’s submitted site plan (Exhibit 2) due to its compatibility with the Comprehensive Plan.
2. Staff recommends forwarding a “**positive recommendation**” to the County Commissioners for the after-the-fact disturbance of designated Sinkhole “B” in its current state with no further disturbance and subject to the Hydrogeology Incorporated and the Indiana Department of Environmental Management reports.
3. Staff recommends forwarding a “**positive recommendation**” to the County Commissioners for the after-the-fact disturbance of designated Sinkhole “A” in its current state with no further disturbance and subject to the Hydrogeology Incorporated and the Indiana Department of Environmental Management reports.
4. Staff recommends a “**positive recommendation**” for allowing storage in the area outside of sinkhole “A”.
5. Staff recommends forwarding a “**negative recommendation**” to the County Commissioners to allow for the proposed additional 7ft of fill to be placed on Sinkhole “B”.
6. Staff recommends forwarding a “**negative recommendation**” to the County Commissioners to allow for any new disturbance or storage of materials within any of the Sinkholes located on the property as requested in the petitioner’s Outline Plan statement.

The following conditions are recommended by Planning Staff based on plan review, and the MS4 comments as a result of the Drainage Board review:

1. Petitioner comply with Drainage Borad conditions stated at the 4/5/2023 meeting, including:

- a. Bioretention design criteria for the site should include release rates aligned with the critical watershed levels.
 - b. Use amended soils and deep-rooted vegetation with limited maintenance requirements for bioretention infrastructure.
2. Petitioner creates a definition which includes boat and RV storage.



MEETING SCHEDULE

PLAN REVIEW COMMITTEE – June 8, 2023

No motion was forwarded by PRC. List of questions to petitioner – see response below:

1. No more fill in the Sinkhole Conservancy Areas – maybe consider making this a written commitment. Staff directly talked with Kelsey Thetonia about this after the PRC meeting.
2. Provide a definition for Boat and RV Storage and provide any conditions associated with that use. Monroe County does not have a definition for RV Storage, but there is one for Boat Storage ([See definition in the report under Use Review](#)).
3. Do you plan to use the sinkholes for any of the permitted uses? MS4 Coordinator would require sufficient Stormwater management for anything of concern. You might want to consider making this off limits for storage. [Sinkhole areas have been altered, but storage is proposed in the prior SCA area. See Staff Recommendation #6.](#)
4. Do you know where Boat and RV Storage will occur on the property? There are concerns that fluids make leak from boats and RVs into the sinkholes untreated. [Site plan updated to show location of proposed Boat and RV Storage. See Staff Recommendation #1.](#)

PLAN COMMISSION ADMINISTRATIVE – January 2, 2024 (CDO SESSION)

PLAN COMMISSION Regular – January 16, 2024 (Preliminary Hearing)

Waiver of Final Hearing requested.

PLAN COMMISSION ADMINISTRATIVE – February 6, 2024 (if not waived)

PLAN COMMISSION REGULAR (Final Hearing) – February 20, 2024 (if not waived)

BOARD OF COMMISSIONERS – TBD

SUMMARY

The petition site is located at 4810 W State Road 45, in Section 14 in Van Buren Township. The site contains 12.34 +/- acres and is developed. The petitioner is requesting a Planned Unit Development Outline Plan Amendment to allow for the filling of all sinkholes on the Western portion of the property for the after-the-fact filling of two Sinkhole Conservancy Areas (SCA) and to add one new use to the permitted use list:

1. Boat and RV Storage

Should the petitioner be permitted to keep the fill within Sinkholes A and B, and/or add Boat and RV storage to the site, a full development plan amendment must be pursued meeting all requirements.

BACKGROUND

Timeline:

1997 – Property rezoned to PUD 9712-PIO-02

1998 – PUD amended to change a condition that moved the area of permitted grading further west, and not to exceed the defined line located on Exhibit 3 of the PUD ordinance.

2014 -- K&S Purchased property and received development plan approval and Land Use Certificate.

2015 – Grading over Sinkhole “A” is evident per aerial imagery.

Post 2016 – fill over Sinkhole “B” is evident per aerial imagery.

2022 – May 18th: Use Determination USE-22-27 submitted to inquire about convenience storage (no longer being pursued).

2022 – June 8th: Enforcement Case AC-22-21 opened due to fill in sinkhole.

2022 – August 24th: Grading Permit IG-22-24 submitted (still active).

2023 – January 20th: Outline Plan Submitted PUO-23-1 to address conflict with the Outline Plan and aforementioned fill without proper permits.

2023 – April 5th: Drainage Board Reviewed and provided comments.

The area was rezoned to Whaley PUD in 1997 from Light Industrial. The 1997 PUD rezone closely relate to the Light Industrial uses, with the inclusion of “Cut Stone and Stone Products” to accommodate the use at the time (3D Stone Company). In 1998, the PUD was amended to change one of the conditions on the petition. The outline plan included language specifically prohibiting development within 25 feet of the Sinkhole Conservancy Areas. At the May 19, 1998 Regular Session, the Plan Commission requested the following language be included at the time of approval:

1. That the petitioner submit drainage information required for the Drainage Board to the Planning Department as part of the development plan file; and

2. That no further development west of the demarcated areas of disturbance, as shown on Exhibit 3, be enabled except through the outline plan amendment process.

The latest development plan was approved in 2014 (Figure 1). Since the approval of the development plan and the issuance of the Land Use Certificate, the property has expanded and filled in two areas (circled in red) of the property that were noted as “Sinkhole A” and “Sinkhole B”. According to our records, there were no grading permits issued for this. Therefore, the filling in of the two sinkholes is a violation of the PUD. A separate letter has been mailed to the owner on 6/8/2022 under AC-22-21 (Exhibit 7).

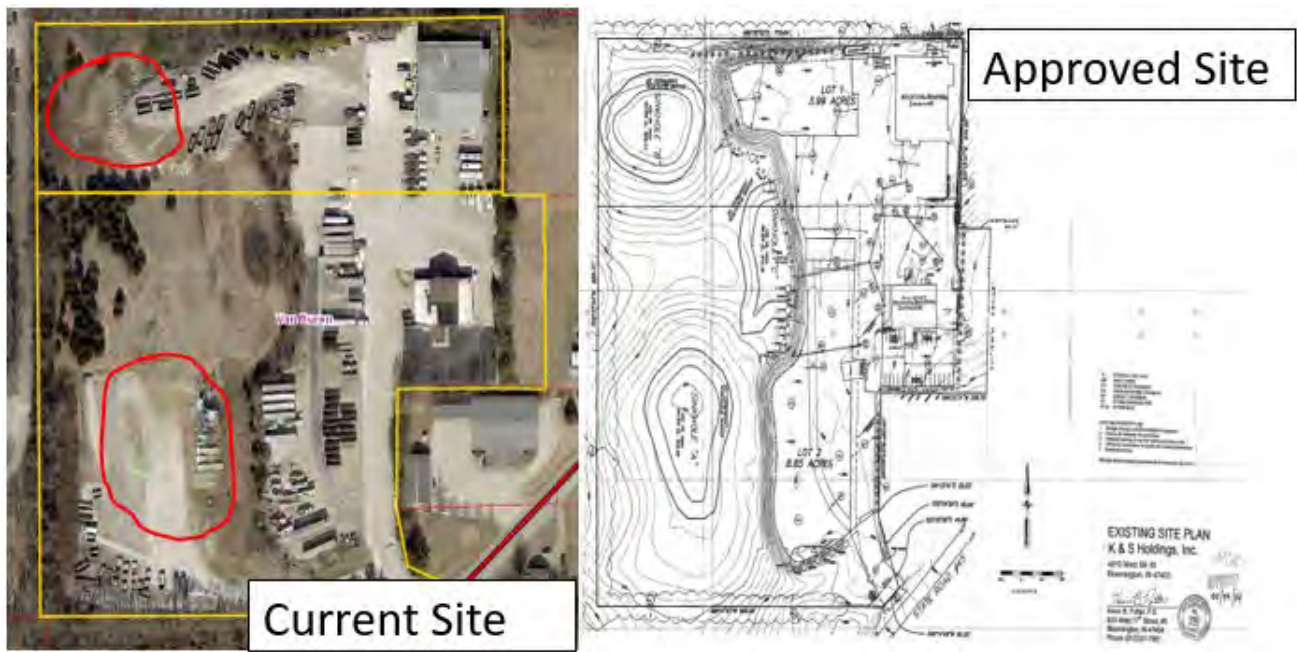


Figure 1. Current Site and Approved Site

Sinkhole Conservancy Area Review

According to a report provided by Hydrogeology inc., they identified sinkhole 1 (Sinkhole A) to show no obvious impacts from the existing lay-down area for parking (Exhibit 5). They identified sinkhole 2 (Sinkhole B) to have been partially filled with pulverized concrete. No obvious impacts were observed during the field study, however, they did mention that due to the elevation of the fill site being higher than the surrounding properties, those properties could be impacted via surface run-off.

According to the Indiana Department of Environmental Management, much of the site contained unpainted concrete dumped on the west and north banks of the lot, some of which had black plastic sticking out, which was noted as likely being the linear material in the bed of the roll off. Because no loose black plastic material had been observed and concrete material was not identified to be within a sinkhole, their investigation was closed out with no violations having been observed (Exhibit 6).

The Drainage Board reviewed this petition on April 5, 2023 and provided the following comments:

1. Condition to approve the bio retention design criteria provided by the MS4 Coordinator.
2. Recommendation to look at certain types of plantings with amended soils and deep rooting vegetation.

Petitioner currently has a grading permit on file (IG-22-42) pending the completion of the PUO. As mentioned above, a full development plan amendment filing will be required pending the outcome of this petition.

Use Review

The 1998 PUD Outline Plan (Exhibit 3) currently allows the following uses on the petition site:

Agricultural Uses
Agricultural Uses (22)
Feed Mill (6, 25)
Stockyard (24)
Public, Semipublic, and Office Facilities
Day Care Facility (30)
Office
Office Showroom
Telecommunications Tower (32)
Telephone and Telegraph Services (32)
Utility Service Facility (31)
Wastewater Treatment Facility (15)
Water Treatment Facility
Business and Personal Services
Air Cargo and Package Service (6)
Aircraft Charter Service
Appliance Repair (6)
Auction House
Convenience Storage (4, 6, 21)
Dry Cleaning and Laundry Service
Electrical Repair (6)
Exterminating Service
Gunsmith
Industrial Equipment Repair (7, 16)
Locksmith
Office Equipment Repair (6)
Parking Facility (31)
Real Estate Sales Office (9)
Remote Garbage/Rubbish Removal Facility (34)
Small Engine and Motor Repair (6, 21)
Taxidermist (6)
Upholstery Service
Veterinary Service (10)
Retail and Wholesale Trade
Bakery (Wholesale) (7, 15)
Building Materials (7, 31)
Cabinet Sales
Fertilizer Sales (Packaged) (7, 21)
Florist (Wholesale)
Garden Center
Heavy Machinery Sales (7)
Industrial Supplies
Automotive and Transportation Services Automotive Paint Shop
Automotive/Boat Repair Shop (6)
Automotive Tire Repair (7, 21)

Cold Storage Plant
Transfer or Storage Terminal (7)
Wrecker Service (7)
Manufacturing, Mining, Construction, and Industrial Uses
Apparel (7, 16)
Appliance Assembly (7, 16)
Beverage Products (7, 16)
Bottling Machinery (7, 16)
Commercial Printing (6)
Construction Trailer (17)
Cut Stone and Stone Products (15)
Electronic Devices and Instruments (7, 16)
Engineering and Scientific Instruments (7, 16)
Food Products (15)
Furniture (15)
General Contractor (15)
Jewelry Products (7, 16)
Laboratories (16, 17)
Leather Goods (7, 16)
Machine Assembly (15)
Machine Shop (15)
Metal Fabrication (15)
Metalworking Machinery (15)
Musical Instruments (7, 16)
Office and Computer Equipment (7, 16)
Optical Instruments and Lenses (7, 16)
Paper Products (15)
Plastic Products Assembly (7, 16)
Plating and Polishing (15)
Sign and Advertising Displays (7, 15)
Warehousing and Distribution Activities (7, 16)
Watches and Clocks (7, 16)
Welding (7, 15)
Wood Products (7, 15)

The proposed use ‘RV and Boat Storage’ somewhat aligns with the convenience storage already on the list of permitted uses. Staff would need the petitioner to submit a definition and any proposed conditions that might be related to the proposed use. RV Storage currently is not a permitted use in the ordinance and does not have a definition. The current definition for Boat Storage is as follows:

Boat Storage. A storage facility utilizing enclosed buildings and/or unenclosed outdoor areas for the seasonal or year-round storage of four or more boats. This is subject to the following:

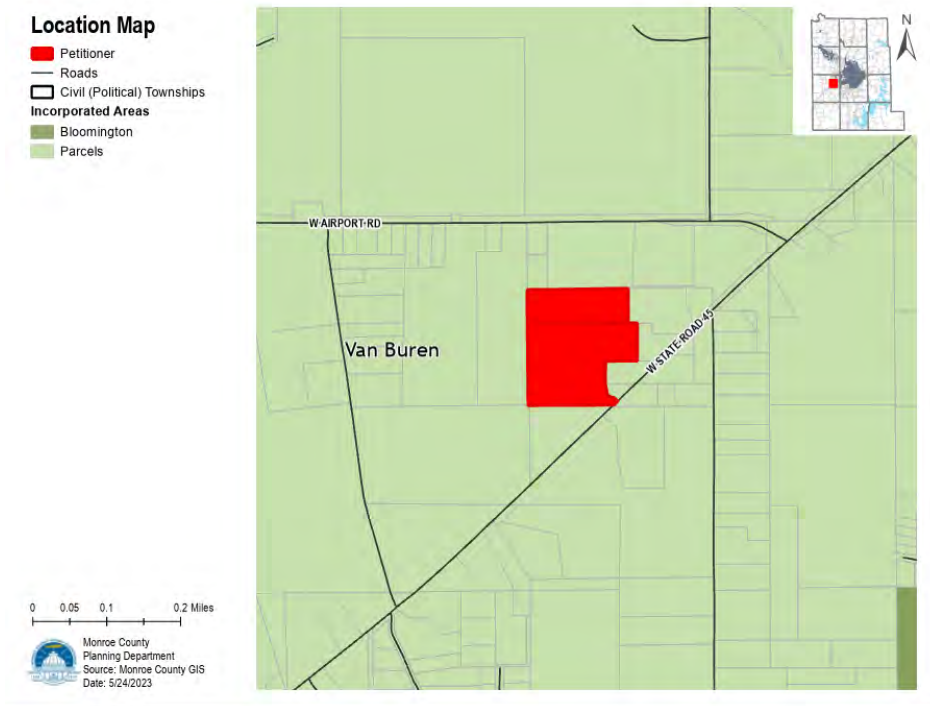
41. Boat Storage facilities shall be permitted subject to the following conditions:
 - A. the required building setbacks shall be applied to all boats stored outside
 - B. all boats stored outside of enclosed buildings shall be screened from adjoining properties by a double staggered row of evergreen trees, installed in conformance with Chapter 830, or a 6 ft. high opaque fence or wall.
 - C. boat repair services and accompanying sales of repair merchandise is allowed only as an accessory use

D. compliance with all applicable local, State and Federal regulations for the disposal of hazardous materials.

Current uses of the property include Remote Garbage/Rubbish Removal Facility and Offices. To date, the petitioner has stated that they do not plan to develop the site for convenience storage due to the remediation efforts using current resources.

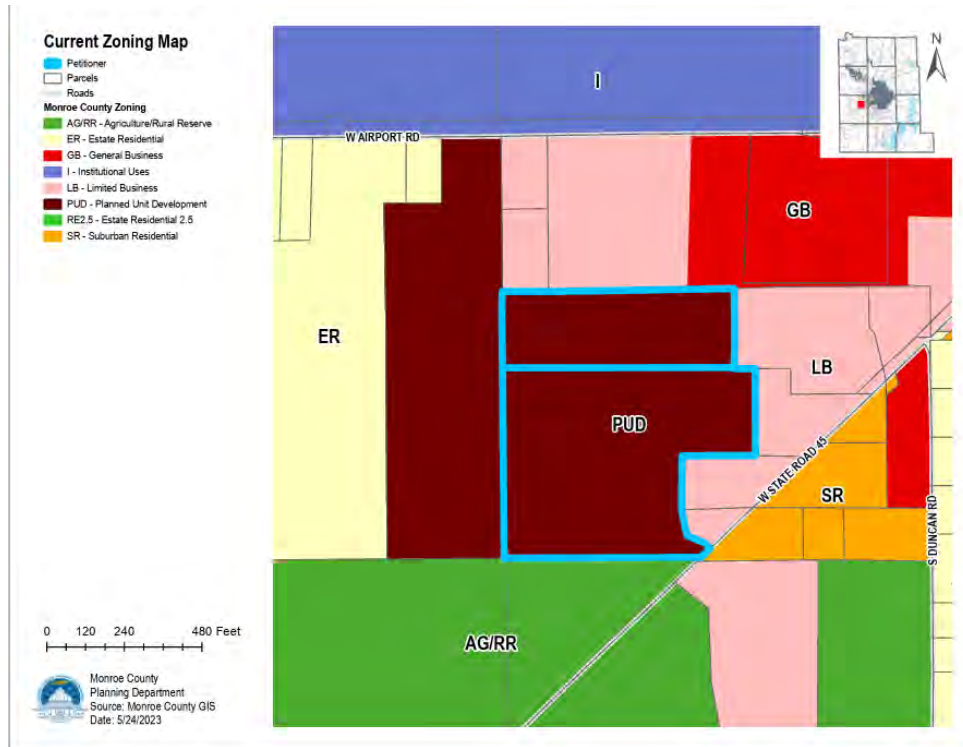
LOCATION MAP

The petition site is located west of the City of Bloomington, with frontage along West State Road 45 in Section 14 of Van Buren Township. The site 12.34 +/- acres and is currently the site of K & S Rolloff Holdings LLC, Parcel #53-09-14-102-001.000-015.



ZONING AND ADJACENT USES






The petition site is zoned PUD. All surrounding properties are in County jurisdiction. The adjacent properties are zoned PUD, Limited Business (LB), General Business (GB), Agricultural Rural Reserve (AG/RR) and Suburban Residential (SR).




SITE CONDITIONS

The site is a flagpole shape and has frontage along W State Road 45 (major arterial) at approximately 75' and does not have sidewalks. The site utilizes CBU water, not sewer. The property has three Sinkhole Conservancy Areas (SCAs) – at least two of these have been disturbed. The petition site is located within the Sinking Stream watershed.

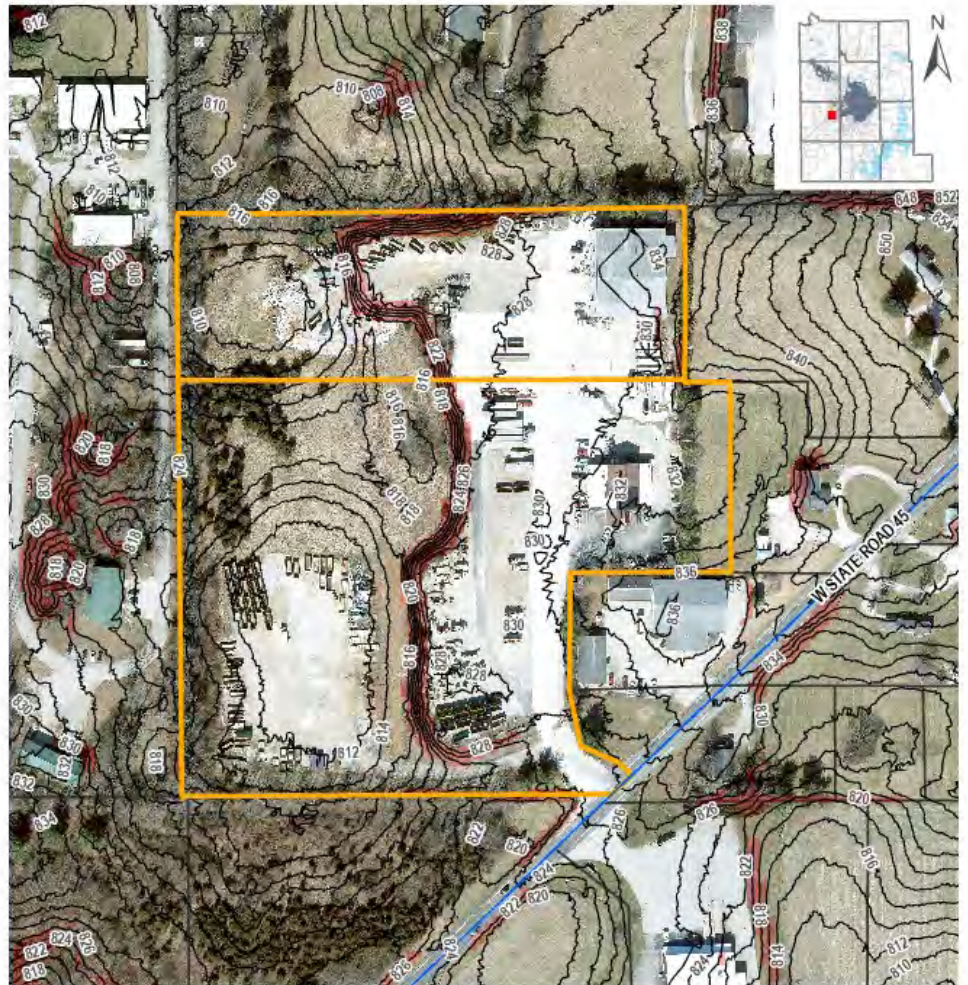
Site Conditions Map

-  Major Arterial [150']
-  Petitioner
-  2-Foot Contours
- 15% Slope (County/ECO2)**
-  0 - 15
-  > 15
-  Local Roads [50']
-  Parcels

0 80 160 320 Feet



 Monroe County
Planning Department
Source: Monroe County GIS
Date: 5/24/2023



SITE PICTURES



Photo 1. Pictometry from Feb-Mar 2022, facing north.



Photo 2. Pictometry from March 2022, Facing East.



Photo 3. Site of Sinkhole 'A' (Facing Northwest)



Photo 4. Site of Sinkhole 'A' (Facing North)



Photo 5. Site of Sinkhole 'B' (Facing West)



Photo 5. Site of Sinkhole 'B' (Facing East)



Photo 6. Concrete washout debris used to fill Sinkhole ‘B’

COMPREHENSIVE PLAN DISCUSSION – PHASE I

The petition site is located in the **Mixed-Use** district on the Monroe County Urbanizing Area Plan portion of the Monroe County Comprehensive Plan. Points that align with the proposed PUD outline plan are highlighted in **green**. Points that differ from the MCUA districts are highlighted in **grey**.

Mixed-Use districts are the densest, most pedestrian oriented development types in the Urbanizing Area. **This land use type will vary in terms of form, scale, character, and the specific mix of uses, depending on location, access considerations and existing development context.** Uses may be integrated vertically within buildings, such as residential or office over ground-floor retail, or horizontally among single-use buildings that are closely coordinated with one another. Mixed-Use areas may take the form of linear corridors along major roadways, large districts that serve as regional destinations for commerce, dining and entertainment, or small nodes at crossroads that serve nearby residential neighborhoods or employment areas. **Mixed-Use areas offer the greatest flexibility in terms of land use.** Individual parcels of land within a larger Mixed-Use area may be developed with a single use, so long as the site is designed in a way to integrate with surrounding sites to create a whole that is greater than the sum of parts. Most areas designated as mixed-Use on the land Use map are in locations with existing suburban-style development. These locations offer opportunities for reinvestment, infill, redevelopment, and transformation into more walkable centers of activity within the Urbanizing Area. Examples include the Third Street corridor, the Tapp Road/SR-45/Curry Pike Area, and key intersections along the South Walnut Street corridor.

A. Transportation

Streets: Developments should be designed to create a system of interconnected streets and blocks. ideally, new streets should be platted as public rights-of way through the subdivision process; however, private streets may also be acceptable, provided that they are designed and maintained to public street standards and are made publicly accessible through dedicated easements.

Bike, Pedestrian, and Transit modes: **mixed-use streets should incorporate the full suite of complete street and “green” street design techniques.** Streets should safely accommodate pedestrian and bicycle travel, as appropriate to the larger context of the transportation system and the surrounding scale and character of development. Wider sidewalks or an enhanced buffer along the street will provide a safer environment for pedestrians while allowing greater access to businesses in mixed-use areas. Streets should not be designed with a “one-size fits all” approach. Local streets may accommodate cyclists through an overall design that discourages high travel speeds by motorists, such as the use of narrower travel lanes (10 to 11 feet), on-street parking, and smaller curb radii at intersections (15 to 25 feet). These streets may simply require pavement markings or signage indicating that cyclists may use the travel lane. on the other hand, multi-

lane roads should provide enhanced bicycle infrastructure, such as on-street bicycle lanes, cycletrack facilities, or off-street shared use paths, with special attention to transitions between different facility types. As the most likely to support transit service in the future, mixed-use streets should be designed to accommodate potential transit expansion.

B. Utilities

Sewer and water: Most areas designated for mixed-use development in the land Use Plan are already served by sewer and water infrastructure. All new developments should conduct water and sewer capacity analyses and contribute to system upgrades if necessary. Major sewer line extensions or upgrades, should be coordinated with other roadway or streetscape improvements where possible to minimize traffic disruption and improve cost efficiency of capital improvements. A major advantage to mixed-use development is that it reduces the peak usage in the area due to the diversity of building uses.

Power: Overhead utility lines should be buried in mixed-use areas to eliminate visual clutter of public streetscapes and to minimize system disturbance from major storm events.

Communications: Communications needs will vary within mixed-use developments, but upgrades to infrastructure should be a key consideration for future development sites. The county should create a standard for development of communications corridors to supplement and complement University research and development and the existing information technology sector.

C. Open space

Park Types: Small-scale parks and open spaces should be integrated into new developments and streetscapes. mixed-use districts may have a variety of park types, from small plazas and pocket parks along public sidewalks, to moderately-sized greens, squares, and neighborhood parks. Greenway connections should be provided wherever possible.

Urban Agriculture: Encourage the creation of community gardens and small scale urban agricultural systems, integrated with parks and open spaces. These may serve and be operated by residents, employees and businesses within a mixed use neighborhood. examples include restaurants with on-site gardens, or apartments and office buildings with common garden space. Attention should be paid to location and maintenance to ensure garden spaces remain well-kempt and attractive throughout the year.

D. Public Realm Enhancements

Lighting: Lighting needs will vary by street type and width but safety, visibility and security are important. Two-lane streets should provide lamp posts at a pedestrian scale (16 to 18 feet in height). Wider streets will require taller fixtures (up to 30 feet).

Street/Site Furnishings: Successful mixed-use streets require a vibrant, pedestrian-oriented public realm with an emphasis on amenities and aesthetics. Streets should have planters, benches, information kiosks, and public bicycle parking racks. These elements may occur within the public right-of-way, or on private development sites, if located at the front of the lot between the building and right-of-way, oriented toward the sidewalk, and available for public use.

E. Development guidelines

Open Space: The amount and type of open space appropriate for mixed-use areas will vary by the location and scale of individual developments. Large consolidated developments should include prominent open spaces with public street frontage. For residential uses, open space should generally be provided with a target of 200 square feet per dwelling unit. Commercial uses over 25,000 square feet of gross floor area should provide small pocket parks or plazas.

Parking ratios: Parking requirements will vary depending on the scale and mixture of uses within individual mixed-use areas. Shared parking arrangements should be encouraged to minimize the size of surface parking lots. On-street parking should be permitted to contribute to required parking maximums

as a means to reduce surface parking and enliven mixed-use streets with foot traffic.

Site Design: Front setbacks should range from zero to 15 feet, with streetscape plazas and landscape treatments between the sidewalk and building face. buildings should frame the street, with a high amount of building frontage. Parking should be located to the rear or side of buildings, but not between the building and street. Side-oriented parking should be screened with landscaping and/ or a low street wall. vehicular curb cuts should be used sparingly, and avoided on major thoroughfares. Access should instead be provided from the side or rear of the site. mixed-use districts should be designed with compatible mixtures of buildings, but with architectural variety as well.

Building form: The scale, form and character of buildings will vary depending on the specific location and surrounding context of existing development and infrastructure. mixed-use areas are appropriate locations for more urban-style buildings with flat roof designs, but pitched roofs may also be used. buildings may range from one to four stories in height, depending on location. Ground floors of mixed-use buildings should have taller floor to ceiling heights (14 to 18 feet) to accommodate retail and dining uses, with high amounts of window transparency (60 to 70 % of the front facade). building facades should be designed with a clear base, middle, and top. buildings and tenant spaces should have prominent main entrances on the front facade, accessible from the public sidewalk.

LAND USE PLAN & POLICIES

The Land Use Plan is to be used when making public and private decisions about development, redevelopment, and related infrastructure investments. The Land Use Plan provides a framework to create a more organized pattern of development within the Urbanizing Area. Based on the preferred development scenario the Land Use Plan is illustrated and provides descriptions of each land use category, with specific policies related to transportation, infrastructure, open space, and development standards.

- MIXED-USE**
Mixed-use Districts are the densest, most pedestrian-oriented development types in the Urbanizing Area.
- MIXED-RESIDENTIAL**
Mixed residential neighborhoods accommodate a wide array of both single-family and attached housing types, integrated into a cohesive neighborhood. They may also include neighborhood commercial uses as a local amenity.
- SUBURBAN RESIDENTIAL**
Suburban residential includes existing low-density single-family subdivisions and isolated multi-family apartment complexes.
- CONSERVATION RESIDENTIAL**
Conservation communities are master planned developments designed to preserve significant amounts of open space as a community amenity.
- EMPLOYMENT**
Employment-oriented uses include light industrial, manufacturing and assembly, research and development facilities, flex/office space, construction trades, warehousing and other types of commercial uses.
- INSTITUTIONAL**
Civic and institutional uses include educational and religious facilities and other types of public and private facilities intended for public assembly and gathering.
- QUARRY LANDSCAPES**
Quarry landscapes are found throughout the Urbanizing Area, primarily in the south and west portions of the area. These include both actively mined and abandoned quarries, a number of which are either listed or eligible for inclusion on the National Register of Historic Places Landscape District Registry.
- RURAL TRANSITION**
Portions of the Urbanizing Area, primarily to the east and south, are not suitable for intensive development due to access, infrastructure and environmental constraints.
- PARKS AND OPEN SPACE**
Protected open space includes public parks and privately-owned lands dedicated for active or passive recreation or environmental preservation.

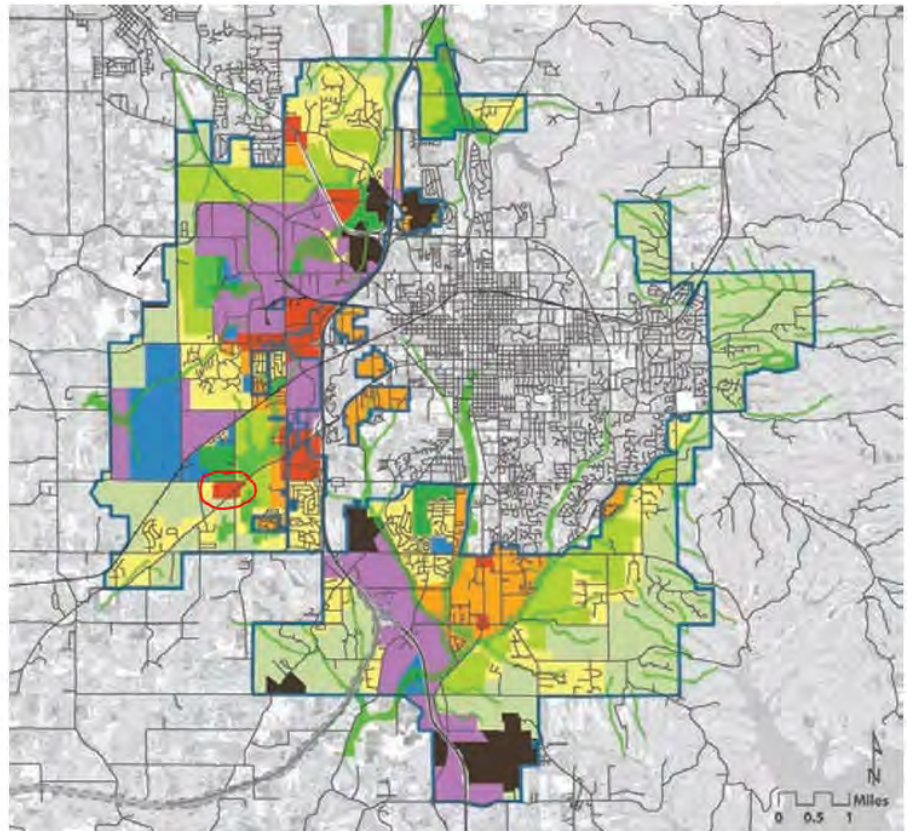


Figure 2. Comprehensive Plan Map (Area circled in red)

COMPREHENSIVE PLAN DISCUSSION – PHASE II

Gateway West

This district includes properties with frontage along major roadway corridors on the west side of the Urbanizing Area, in locations that serve as important areas of transition between the Urbanizing Area and adjacent jurisdictions, most notably the City of Bloomington as well as the Town of Ellettsville. This district is primarily intended to implement the vision for new mixed-use development and redevelopment in the Third Street Corridor and North Park focus areas of the Urbanizing Area Plan, as well as other mixed use nodes identified in the land use plan.

Existing Planned Unit Developments

In general, it is the intent of this zoning framework to eliminate the need to establish new Planned Unit Developments by creating an expedited, consistent and predictable set of zoning requirements and approval procedures. However, existing planned developments represent a significant investment by property owners in establishing specific development plans and standards for their properties in conformance with pre-existing development approval procedures. All planned developments in effect prior to the creation of new zoning districts and standards should continue to be considered in effect, similar to an overlay zone. Opportunities to eliminate the planned unit development overlay will also be accommodated and should be encouraged. PUDs with expired outline plans or without development plans may be reviewed and rezoned entirely, subject to recommendations of this zoning framework.

Proposed County Development Ordinance

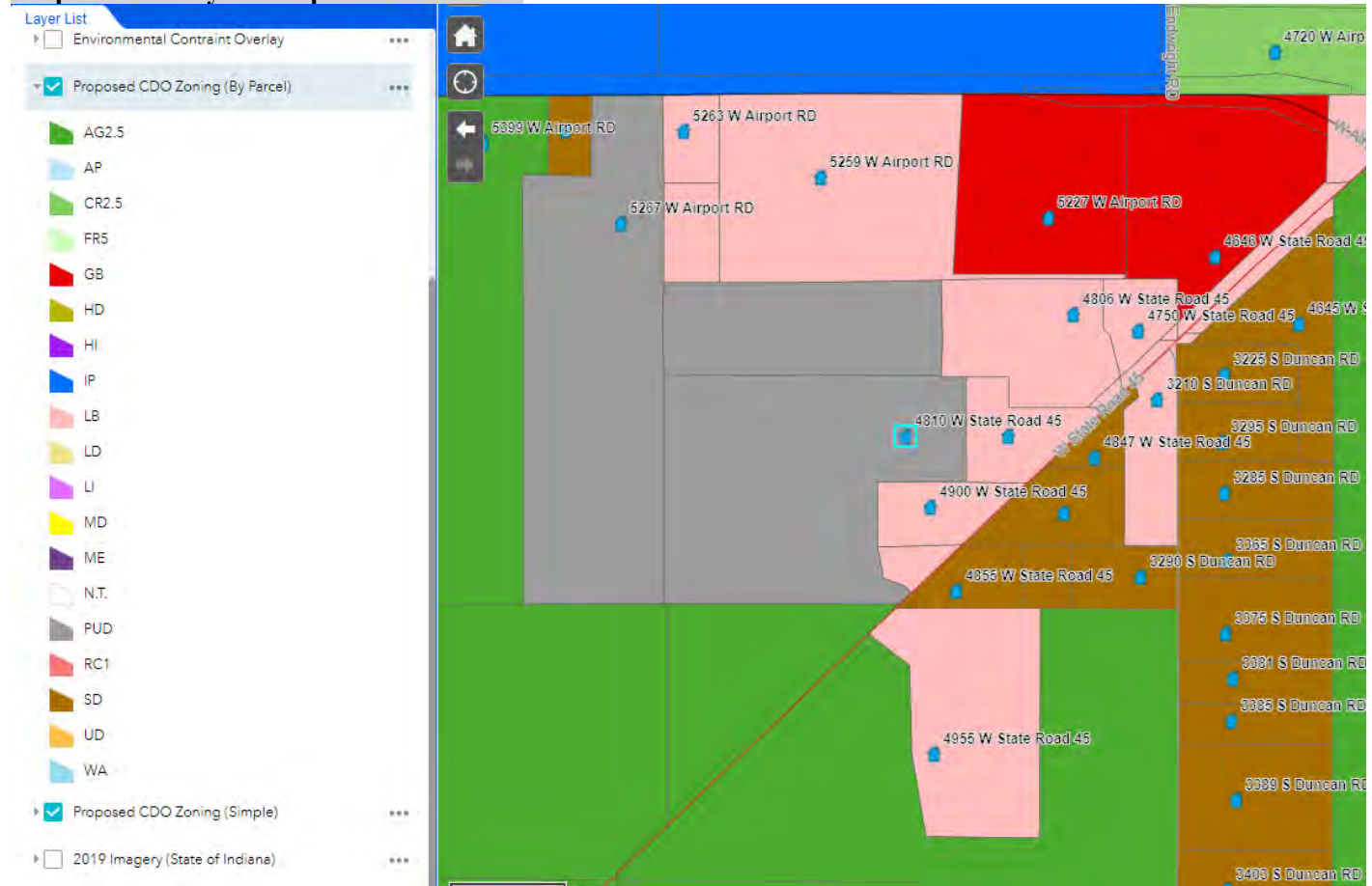


Figure 3. CDO Draft Zoning Map

PUD REVIEW CONSIDERATIONS

Section 811-6 (A) of the Monroe County Zoning Ordinance states: “The Plan Commission shall consider as many of the following as may be relevant to the specific proposal:

(1) The extent to which the Planned Unit Development meets the purposes of the Zoning Ordinance, the Comprehensive Plan, and any other adopted planning objectives of the County.

Findings:

- The existing and proposed development appears to be consistent with the Comprehensive Plan per the Employment zone;
- The current use and potential expansion of the site would support Employment uses;
 - The MCUA Phase I plan designates the petition site as “Mixed-Use”;
 - Mixed-Use districts are the densest, most pedestrian-oriented development types in the Urbanizing Area;
 - The MCUA Phase II plan designates that site as “Gateway West”;
 - This district includes properties with frontage along major roadway corridors on the west side of the Urbanizing Area, in locations that serve as important areas of transition between the Urbanizing Area and adjacent jurisdictions, most notably the City of Bloomington as well as the Town of Ellettsville. This district is primarily intended to implement the vision for new mixed-use development and redevelopment in the Third Street Corridor and North Park focus areas of the Urbanizing Area Plan, as well as other mixed-use nodes identified in the land use plan;
- The current zoning is Whaley PUD created in 1997; The Comprehensive Plan designates the property as MCUA Mixed-Use;
- The current approved uses for the petition parcel have been determined to be Chapter 802 uses, including ‘Agriculture Uses’, ‘Public, Semipublic, and Office Facilities’, ‘Business and Personal Services’, ‘Retail and Wholesale Trade’, ‘Automotive and Transportation Services Automotive Paint Shop’, ‘Manufacturing, Mining, Construction, and Industrial Uses’;
- The petition parcel has remained active since that time;
- The petitioner requests to add one (1) Business and Personal Services Use “Boat Storage”;

(2) The extent to which the proposed plan meets the requirements, standards, and stated purpose of the Planned Unit Development regulations.

Findings:

- The proposed plan will need use definitions to be defined;
- One design standard (25-foot buffer of the compound sinkhole located on the west portion of the site) was found specifically listed in the PUD documentation;
- The site does not currently meet the requirements of the PUD ordinance due to the disturbance of at least two (2) of the three sinkholes on the property;
- The petitioner has not indicated that any other deviation from the Zoning Ordinance would be sought at this time related to density, dimension, bulk, use, required improvements, and construction and design standards;
- Site plan improvements including bioretention requirements will be addressed at the development plan stage;
- See Findings under section A, regarding use;

(3) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, bulk, use, required improvements, and construction and design standards and the reasons, which such departures are or are not deemed to be in the public interest.

Findings:

- See Findings under section A;

- One of the purposes of the PUD, under Chapter 811, is to encourage a harmonious and appropriate mixture of uses;
- (4) **The proposal will not be injurious to the public health, safety, and general welfare.**
Findings:
- See Findings (1), (2) and (8);
- (5) **The physical design and the extent to which it makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects common open space, and furthers the amenities of light, air, recreation and visual enjoyment.**
Findings:
- The property is an as-built - no change in current use of the site;
 - Parking already exists on site;
 - Much of the property already consists of open space due to the three SCAs.
- (6) **The relationship and compatibility of the proposal to the adjacent properties and neighborhoods, and whether the proposal would substantially interfere with the use of or diminish the value of adjacent properties and neighborhoods.**
Findings:
- See Findings (a), (b) & (d);
 - Other immediately surrounding uses include Dillman Farm to the south, Specialty CNC to the East, an auto repair shop and furniture restoration shop to the west, and Westside Community Church to the northeast.;
 - Much of the surrounding area is zoned Planned Unit Development, Limited Business, and General Business, Suburban Residential, and Agriculture Rural Reserve;
 - Development plan requirements including bioretention requirements will be addressed at the development plan stage.
- (7) **The desirability of the proposal to the County’s physical development, tax base, and economic well-being.**
Findings:
- See Findings under Section 1;
- (8) **The proposal will not cause undue traffic congestion and can be adequately served by existing or programmed public facilities and services.**
Findings:
- Access is derived from W State Road 45 which is designated as a Major Arterial in the Thoroughfare Plan;
 - All utilities except for sewer are available to the petition site;
 - See findings under (d);
- (9) **The proposal preserves significant ecological, natural, historical and architectural resources to the extent possible.**
Findings:
- There are at least 3 sinkhole conservancy areas on the property;
 - Drainage will be reviewed under a PUD Development Plan if the this petition is adopted;
 - The area was originally listed as a ‘light industrial’ prior to rezoning to PUD.

EXHIBIT 1: Petitioner Outline Plan Statement



BYNUM FANYO & ASSOCIATES, INC.

ARCHITECTURE
CIVIL ENGINEERING
PLANNING

May 5, 2023

Monroe County Planning Department
And Monroe County Plan Commission
501 N. Morton Street, Suite 224
Bloomington, Indiana 47404

SUBJECT: Donald Wiley PUD Outline Plan
Two (2) PUD Amendments

Monroe County Plan Commission or To Whom It May Concern:

On behalf of K&S Rolloff, Bynum Fanyo & Associates, Inc. would like to request approval of two PUD amendments to the SUBJECT PUD ordinance due to an existing site plan and new improvements being proposed in the PUD area. The property is located at 1,700' southwest of the intersection of W Airport Rd and SR 45 in Monroe County, Indiana. The approval request would make a way for current operations to stay on-site for trash/rubble removal and add some boat storage and RV storage area as well. This PUD ordinance was originally approved by Monroe County in 1998. This property currently contains 12.70 acres and is currently 2 lots. This is the NW quarter of the NW quarter of section 14, T8N, R2W, Van Buren township.

The proposed existing and proposed plan would require two (2) amendments to the ordinance approved in 1998 as follows:

- 1) Zones Permitted: Add 'Boat Storage' and 'RV storage' uses to the property that will accompany current use of the trash rolloff service
- 2) Disturbed Area: Fill would be allowed in all sinkholes to the west of the property subject to IDEM, Monroe County Highway and Drainage, Geotechnical, and Monroe County Solid Waste reports and approvals

Also, on behalf of K&S Rolloff, Bynum Fanyo & Associates, Inc. would like to request, if possible, the Plan Commission waive the need for a 2nd hearing and make a determination for these PUD amendments after the 1st hearing.

Let us know if you have any questions or concerns for this request and use of this parcel of land.

Sincerely, Bynum Fanyo & Associates, Inc.

Daniel Butler, PE, Project Engineer

COPY: BFA FILE #402207

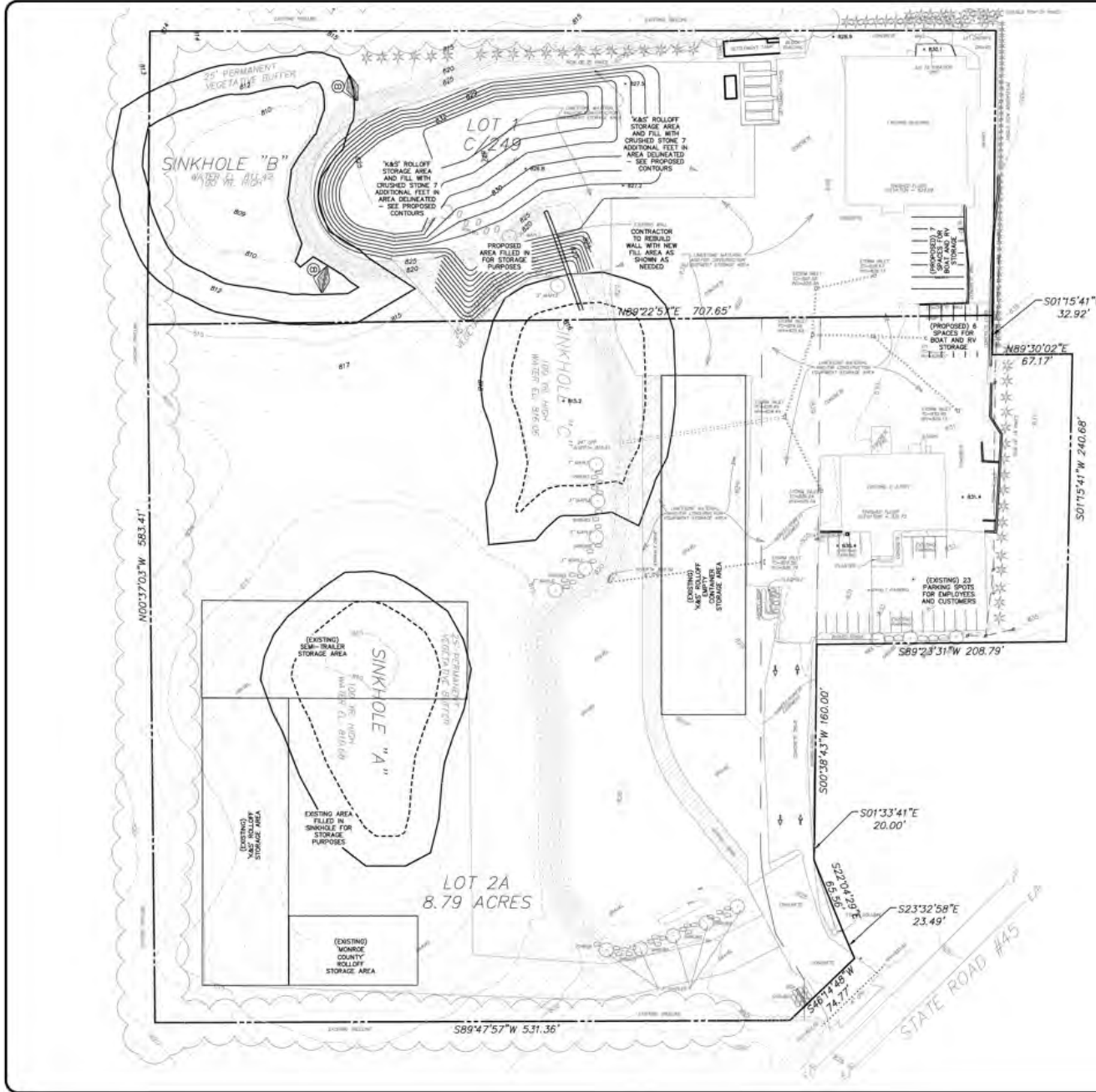
528 NORTH WALNUT STREET

812-332-8030

BLOOMINGTON, INDIANA 47404

FAX 812-339-2990

EXHIBIT 2: Site Plan (Conceptual)



VICINITY/LOCATION MAP
SCALE: 1"=2000'

ADJACENT PROPERTIES USE
EXISTING PROPERTIES SURROUNDING THIS PROPERTY TO THE NORTH, SOUTH AND EAST ARE CURRENTLY USED AS SINGLE FAMILY RESIDENTIAL LOTS OF VARIOUS PROPERTIES. THE PROPERTY TO THE WEST OF THIS PROPERTY IS CURRENTLY USED AS COMMERCIAL RENTAL.

'3D STONE SUBDIVISION' DETAILS
CURRENT USE FOR LOTS 1 AND 2A - TRASH/RUBBLE PICKUP AND ROLLOFF SERVICE
PROPOSED ADDITIONAL USES TO SITE - BOAT AND RV STORAGE.

SITE LEGEND
[Hatched Box] ADDITIONAL FILL AREAS AS NOTED



NOTE TO CONTRACTOR
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

revisions:

--

ARCHITECTURE
CIVIL ENGINEERING
PLANNING
Bloomington, Indiana
(812) 339-2960 (Fax)

B&B
BYRUM PANTO & ASSOCIATES, INC.
528 north walnut street
(812) 332-8030

certified by:

PROPOSED
K & S STORAGE FACILITY

4810 WEST STATE ROAD #45
BLOOMINGTON, IN 47403

title: OVERALL SITE PLAN

designed by: JSF
drawn by: TJN
checked by: JSF
sheet no: C300
project no.: 402207

EXHIBIT 3: 1998 Whaley PUD Ordinance

**PLAN COMMISSION
ORDINANCE # 98-13**

For: Donald Whaley PUD - Amendment 1 (David Whaley)

An ordinance to amend the Outline Plan for the Donald Whaley PUD (Plan Commission Ordinance 98-05, approved February 13, 1998).

Whereas, the Board of Commissioners of Monroe County, Indiana, passed a zoning ordinance and adopted zoning maps effective January 1997, which ordinance and maps are incorporated herein; and,

Whereas, the Monroe County Plan Commission, in accordance with all applicable laws, has considered the petition to amend said zoning maps;

Now, therefore, be it ordained by the Board of Commissioners of Monroe County, Indiana, as follows:

SECTION I.

The Outline Plan for the Donald Whaley PUD shall be amended to strike Condition 2 from the original set of conditions, subject to the following additional conditions:

1. That the petitioner submit drainage information required for Drainage Board to the Planning Department as part of the development plan file; and
2. That no further development west of the demarcated areas of disturbance, as shown on Exhibit 3, be enabled except through the Outline Plan amendment process.

SECTION II.

This ordinance shall be in full force and effect from and after its passage and adoption by the Board of Commissioners of Monroe County, Indiana.

Passed and adopted by the Board of Commissioners of Monroe County, Indiana, this 19th day of June, 1998.

BOARD OF COMMISSIONERS OF MONROE COUNTY, INDIANA

Yes Votes

No Votes

Norman S. Anderson
Norman S. Anderson, President

Norman S. Anderson, President

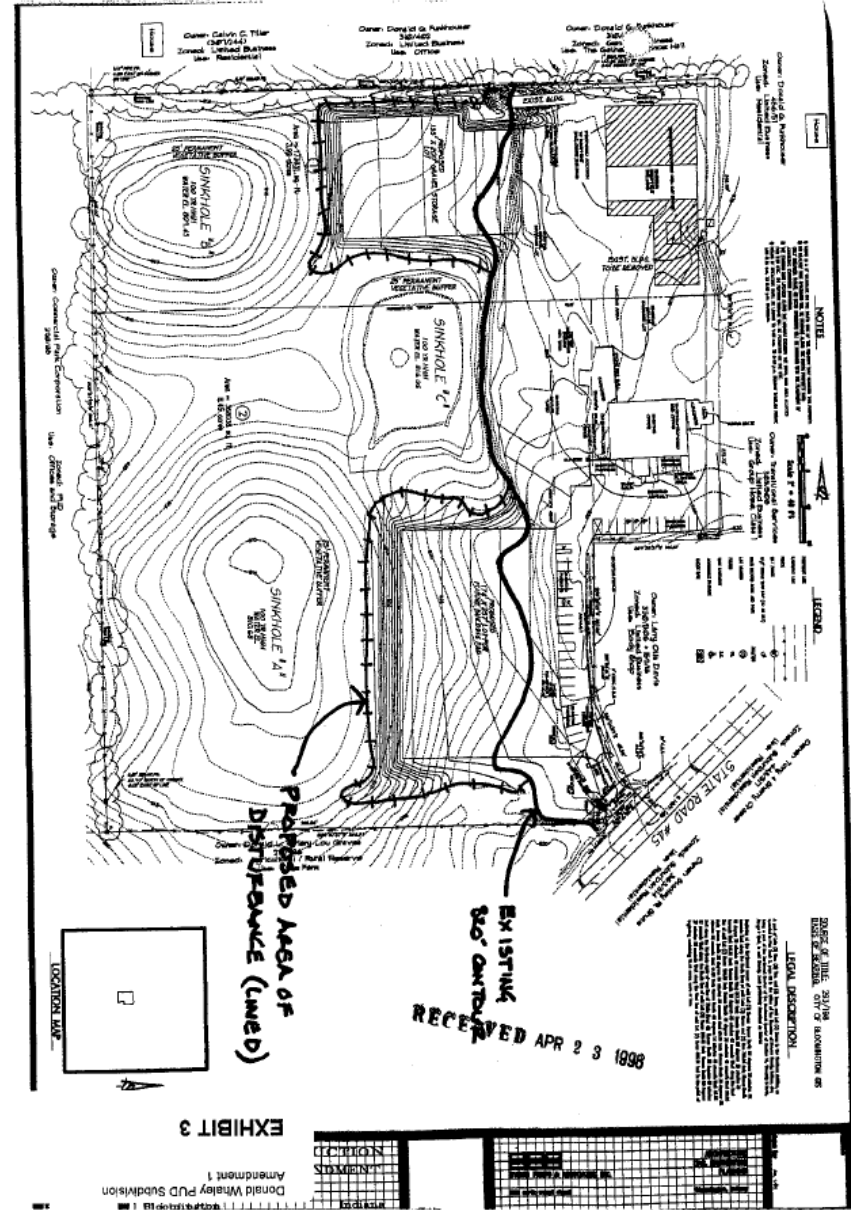
Kirk A. White
Kirk White, Vice President

Kirk White, Vice President

Iris F. Kiesling, Member

Iris F. Kiesling
Iris F. Kiesling, Member

Attest:
Barbara M. Clark
Barbara M. Clark, Monroe County Auditor



9804-PIO-01 **Donald Whaley PUD Subdivision, Amendment 1, outline plan**, 3 lots on 12.44 acres, 4810 West SR 45, Van Buren Twp., Section 14, Goodman Plat Lots 1C, 3A, and 7A, zoned PUD, Tape 1, 2160.

MCPC ACTION: Landis read the petition.

Heath read the staff report and recommended motions to approve the PUD outline plan amendment, based on the findings, with the following conditions: that the petitioner submit drainage information required for Drainage Board to the Planning Department as part of the development plan petition file; and that no further development west of the demarcated areas of disturbance, as shown on Exhibit 3, be enabled except through the outline plan amendment process. (a part of the file)

Williams stated a right-of-way dedication of 50 feet from the center of State Road 45, classified as a Minor Arterial, is required in accordance with the Thoroughfare Plan. Drainage issues are; the minimum floor elevations shall be 2 feet above the 100 year flood elevation; the floodplain should be delineated with a drainage easement, and; detention is necessary because a portion of the site drains to a waterway where residences experience flooding problems.

Sherman Bynum represented the petition, he is requesting an amendment to the conditions of approval or the PUD Outline Plan, in order to enable further development of the area west of the 820-foot contour line as shown on the USGS map. This is due to a result of a conflicting interpretation between staff and petitioner as to the intent of Condition #2 of the original outline plan approval.

Landis asked if there were any remonstrators.

There were no remonstrators.

Landis asked Stevenson if the filling would cause drainage problems.

Stevenson stated the filling doesn't have final approval because it does involve a sinkhole. The petitioner has submitted some calculations, but the project appears not to be flooding any properties.

Landis stated before completion of the project the drainage plans will have to be submitted and approved by staff.

Ellington state that floodplain maps are not always accurate.

Enright stated that the calculations of 13,000 square feet are incorrect. Enright calculates 69,000 square feet will be filled, going by measurements in the plan

Sherman Bynum stated the difference is the fill below the 829 contour line; the 13,000 square feet is within the sinkhole rim.

Hayes asked Bynum if he was building on a sinkhole within 100 year floodplain..

Bynum stated no.

Hayes asked if he had been filling before he had approval to build up the sinkhole.

Bynum stated no.

Ingle asked what the slope of the graded area would be.

Bynum stated 3:1.

Enright stated he had concerns with removing the previous condition of approval and that he was uncomfortable with amendments.

Ellington moved, Anderson seconded, to approve 9804-PIO-04 based on the findings.

The vote was seven ayes to 1 nay (Enright). Motion carried.

Staff Report
MCPC - 05/19/98

9804-PIO-01 Donald Whaley PUD Subdivision, Amendment 1, outline plan, 3 lots on 12.44 acres, 4810 West SR 45, Van Buren Twp., Section 14, Goodman Plat Lots 1C, 3A, and 7A, zoned PUD.

EXHIBITS:

1. Location/Topographic Map, 05/19/98.
2. Petitioner's Letter, 05/04/98.
3. Outline Plan Map, Revised Version, 04/23/98.

RECOMMENDED MOTION: Approve the PUD outline plan amendment, based on the findings, with the following conditions:

1. That the petitioner submit drainage information required for Drainage Board to the Planning Department as part of the development plan petition file; and
2. That no further development west of the demarcated areas of disturbance, as shown on Exhibit 3, be enabled except through the outline plan amendment process.

SUMMARY

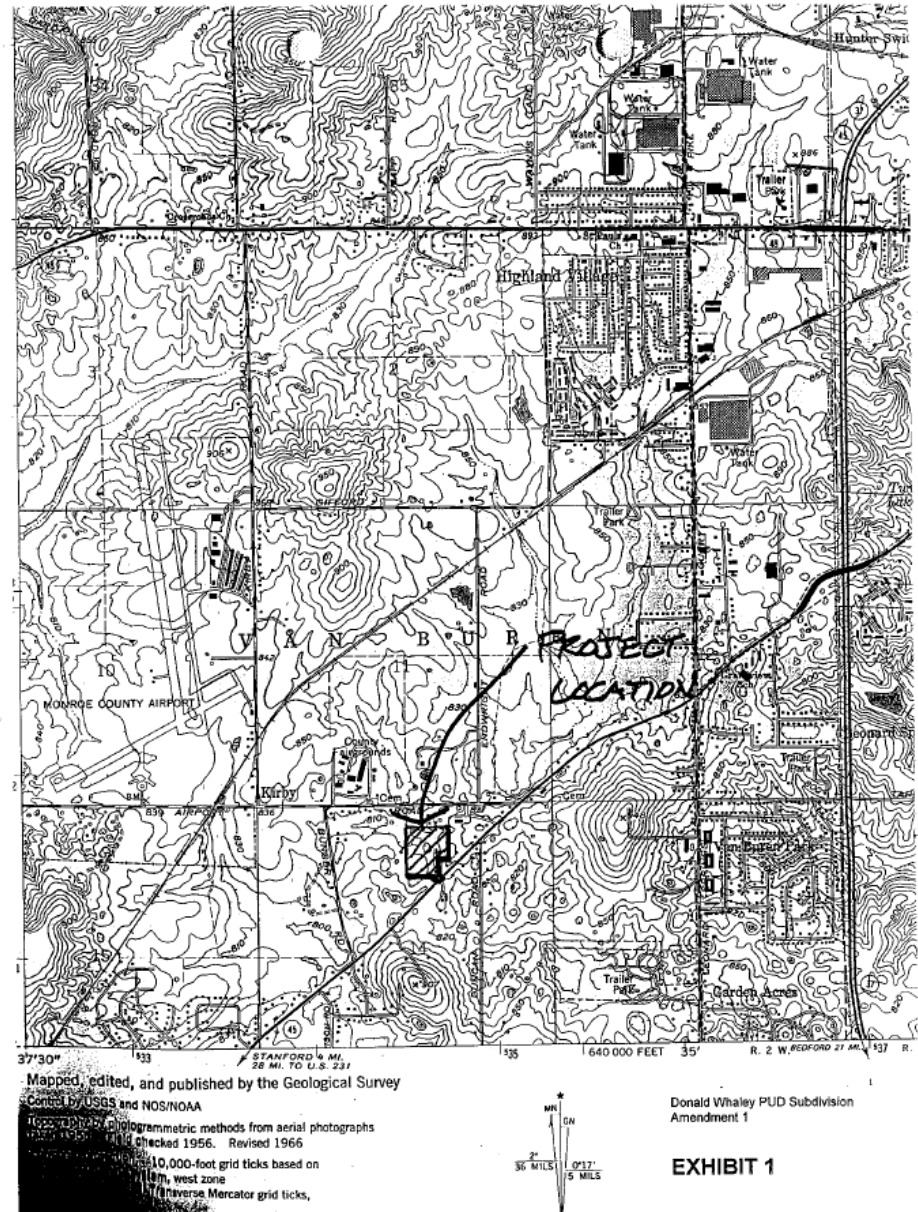
The petitioner is requesting amendment of the conditions of approval for the PUD Outline Plan, in order to enable further development of the area west of the 820-foot contour line as shown on the USGS map. This petition is a result of a conflicting interpretation between staff and the petitioner as to the intent of Condition #2 of the original outline plan approval. Staff's interpretation indicates little room for discretion, whereas the petitioner's stance is to treat this condition as subject to the specifications of Chapter 829 of the County Zoning Ordinance. Staff does not see any major impact on the environmental conditions of the region by approving this amendment, assuming all other requirements of the Zoning Ordinance are followed, especially those for erosion control.

PUD OUTLINE PLAN

Findings: The criteria for assessment of outline plans, from Section 811-5 of the County Zoning Ordinance, do not apply to this petition. The essential item for discussion with this petition is the requirement of the original outline plan approval, condition #2, which states

"That no additional disturbance of the site occur within a 25-foot buffer of the compound sinkhole located on the west portion of the site. This area is currently defined by the 820-foot contour according to the USGS maps on the County's GIS, but may be modified if further site analysis determines the exact location of the contour."

The petitioner states in his request (see Exhibit 2) that this line would be subject to adjustment given the development standards of Chapter 829 of the County Zoning Ordinance. The Drainage Engineer indicated that the development of this area is not an issue from the standpoint of County Drainage Code. Given the existing flood characteristics on-site, staff does not believe this amendment would result in negative impacts on the regional karst environment. Staff believes, however, that close monitoring is in order, and that the Plan Commission should stress due diligence on the part of the petitioner and on the petitioner's representatives to see the requested development through to completion.





Andrews
Harrell
Mann
Chapman
&
Coyne
P.C.

William H. Andrews*
Harold A. Harrell*
Robert D. Mann*
Ronald L. Chapman
Michael L. Carmin
Susan H. Nelson*
Angela F. Parker
Stacey E. Evans
R. Kent Warren
Kimberleigh Lowman

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E-mail

Donald Whaley PUD Subdivision
Amendment 1

EXHIBIT 2

RECEIVED

MAY 06 1998

MONROE COUNTY PLANNING

May 4, 1998

Heath Eddy
Monroe County Planning Department
Courthouse
Bloomington, IN 47404

Re: Petition 9802-PUD-01 - Don Whaley
Our File No.: 7255-3

Dear Heath:

This letter is submitted on behalf of Donald Whaley pertaining to the request for amendment to condition of approval number 2 for the planned unit development. This letter should serve as petitioner's statement in support of the requested amendment.

Petitioner seeks clarification of a condition for approval or, in the alternative, an amendment to the condition of approval. The condition restricted additional disturbance of the site within the 25-foot buffer of the compound sinkhole and determined that the compound sinkhole rim would be defined by the 820-foot contour line according to the USGS map. The condition of approval also indicated that the 820-foot contour line as shown on the USGS map could be modified if specific site analysis determined the exact location of the 820-foot line in an area other than as shown on the USGS map.

Petitioner does not propose land disturbance activities within the 25-foot buffer of the 820-foot contour line. Petitioner does propose to establish the 820-foot contour line by fill activities in accordance with Chapter 829 of the Zoning Ordinance, pertaining to karst and sinkhole development standards. It is petitioner's contention that the original condition of approval allowed for modification of the contour line and that the standards imposed by Chapter 829 are the appropriate standards to use for this purpose. However, if the interpretation of the Plan Commission action, as ultimately approved by the Monroe County Commissioners, was that the existing 820-foot contour line, wherever it might be located, is the controlling factor, then petitioner is requesting an amendment to that condition to permit the reestablishment of the 820-foot contour line in accordance with the plan that has

Monroe County Planning Department
May 4, 1998
Page 2

been submitted with this petition.

Petitioner proposes that fill activity conducted in accordance with Chapter 829 would establish the 820-foot contour line. The hydrology report previously submitted has determined that the water holding capacity of the compound sinkhole is far in excess of the drainage requirements for a hundred year flood. Protection of the specific discharge points for the three sinkholes located within the rim of the compound sinkhole will be adequately provided for by vegetative cover and, until stabilization of any fill activity, with appropriate erosion control systems, including silt screening. The specific details of the erosion control measures and protection of the sinkhole discharge points would be encompassed in the details of a development plan to be submitted to the Plan Commission following final action on this petition.

If you have any questions or if you require additional information, please feel free to contact me or Sherman Bynum at Bynum Fanyo & Associates, Inc. Please include this letter with the packet submitted to the Plan Commission members as the petitioner's statement.

Very truly yours,

Michael L. Carmin
Michael L. Carmin

MLC/mjk
cc: David Whaley
Sherman Bynum

OFFICE OF
MONROE COUNTY PLAN COMMISSION
COURTHOUSE - ROOM 306
BLOOMINGTON, IN 47404

TO: THE COMMISSIONERS OF MONROE COUNTY, INDIANA

CERTIFICATION

I, David Hall, hereby certify that during its meeting on May 19, 1998, the Monroe County Plan Commission considered petition #9804-PIO-01 for an amendment to the Donald Whaley PUD Outline Plan (Plan Commission Ordinance #98-05) and made a recommendation to approve thereon with conditions, based on the findings, with a vote of 7-1.

This proposed amendment is being forwarded for your consideration pursuant to I.C. 36-7-4-605(a).



David Hall
Interim Planning Director

6/4/98
Date

EXHIBIT 4: Whaley PUD Permitted Uses

Donald Whaley PUD List of Permitted Uses

Agricultural Uses

Agricultural Uses (22)
Feed Mill (6, 25)
Stockyard (24)

Public, Semipublic, and Office Facilities

Day Care Facility (30)
Office
Office Showroom
Telecommunications Tower (32)
Telephone and Telegraph Services (32)
Utility Service Facility (31)
Wastewater Treatment Facility (15)
Water Treatment Facility

Business and Personal Services

Air Cargo and Package Service (6)
Aircraft Charter Service
Appliance Repair (6)
Auction House
Convenience Storage (4, 6, 21)
Dry Cleaning and Laundry Service
Electrical Repair (6)
Exterminating Service
Gunsmith
Industrial Equipment Repair (7, 16)
Locksmith
Office Equipment Repair (6)
Parking Facility (31)
Real Estate Sales Office (9)
Remote Garbage/Rubbish Removal Facility (34)
Small Engine and Motor Repair (6, 21)
Taxidermist (6)
Upholstery Service
Veterinary Service (10)

Retail and Wholesale Trade

Bakery (Wholesale) (7, 15)
Building Materials (7, 31)
Cabinet Sales
Fertilizer Sales (Packaged) (7, 21)
Florist (Wholesale)
Garden Center
Heavy Machinery Sales (7)
Industrial Supplies

Automotive and Transportation Services

Automotive Paint Shop
Automotive/Boat Repair Shop (6)
Automotive Tire Repair (7, 21)
Cold Storage Plant
Transfer or Storage Terminal (7)
Wrecker Service (7)

Manufacturing, Mining, Construction, and Industrial Uses

Apparel (7, 16)
Appliance Assembly (7, 16)
Beverage Products (7, 16)
Bottling Machinery (7, 16)
Commercial Printing (6)
Construction Trailer (17)
Cut Stone and Stone Products (15)
Electronic Devices and Instruments (7, 16)
Engineering and Scientific Instruments (7, 16)
Food Products (15)
Furniture (15)
General Contractor (15)
Jewelry Products (7, 16)
Laboratories (16, 17)
Leather Goods (7, 16)
Machine Assembly (15)
Machine Shop (15)
Metal Fabrication (15)
Metalworking Machinery (15)
Musical Instruments (7, 16)
Office and Computer Equipment (7, 16)
Optical Instruments and Lenses (7, 16)
Paper Products (15)
Plastic Products Assembly (7, 16)
Plating and Polishing (15)
Sign and Advertising Displays (7, 15)
Warehousing and Distribution Activities (7, 16)
Watches and Clocks (7, 16)
Welding (7, 15)
Wood Products (7, 15)

9712-PIO-02
Donald Whaley

Exhibit 7

List of Permitted Uses

EXHIBIT 5: Hydrogeology inc. Report

hydrogeology inc.

1211 S Walnut St
Bloomington, IN 47401

K&S Rolloff Inc.
4810 IN-45
Bloomington, IN 47403

Subject:
**4810 IN-45 – Karst Survey
Bloomington, IN**

Date: September 27, 2023

Contact:
Jason Krothe

Phone:
812-219-0210

Email: jnkrothe@hydrogeologyinc.com

K&S Rolloff Inc.:

Hydrogeology Inc. (Hydrogeology) respectfully submits this summary report for the karst survey conducted at 4810 IN-45 Bloomington, IN 47403 (the Site, Figure 1).

1 – Overview

The Site is located at 4810 IN-45 in Bloomington, Indiana and is approximately 13-acres (Figure 2). The purpose of this survey was to inspect two sinkholes at the Site and make recommendations for current and proposed land use within the sinkholes.

2 - Geology / Physiography

The Site is in the Mitchell Plateau physiographic region, which is one of the primary karst forming areas in Indiana. The bedrock at the Site is the St. Louis Limestone (Hasenmueller, Estell, Keith, and Thompson, 2008). The St. Louis is composed primarily of limestone but includes small amounts of shale, dolostone, sandstone, and chert (Carr, Leininger, and Golde, 1978). It is typically between 104 and 150 feet thick in the Bloomington area (Hasenmueller, Estell, Keith, and Thompson, 2008). The St. Louis Limestone is one of the major karst forming bedrock units in Indiana.

3 – Sinkholes & Springs

Sinkholes are surface depressions that form in a variety of ways in karst areas (Figure 3). Sinkholes will often time have a swallow hole, which is an opening in the ground where water infiltrates. Groundwater flow in karst areas is predominantly fracture flow, meaning the bedrock itself has low permeability while the fractures in the bedrock are open conduits that allow water, soil, and other materials to travel quickly through the subsurface. Water that drains into a sinkhole can eventually discharge at a karst spring (Figure 4). Two previous groundwater dye traces have been conducted in the vicinity of the Site. Both dye traces showed groundwater flow direction was to the southeast,

discharging at Leonard Springs (Figure 5). Water infiltrating at the Site likely eventually flows to Leonard Springs.

4 – Karst Desktop Review

A review of available karst resources was conducted prior to the field survey. Those resources include United State Geological Survey (USGS) topographic maps, Indiana Map 1-ft LIDAR topographic, karst spring maps, and private cave databases.

5 – Karst Field Survey

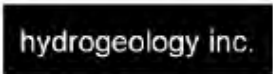
Hydrogeology conducted a field review of the Site on October 4, 2022. Sinkhole locations can be seen in Figure 6. Photographs of each sinkhole can be found in Appendix A.

SH-01 – SH-01 is 485 feet long, 320 ft wide, and approximately 5 feet deep, with an area of 2.14 acres. The dimensions for the sinkhole are based on the last closed topographic contour for the sinkhole on 1-foot LIDAR data. A portion of the sinkhole is located outside of the property boundary. Approximately 1.47 acres of sinkhole has been graveled and is currently being used as a lay-down area and for parking. No areas of standing water or signs of standing water were observed within the sinkhole. No soil piping or areas of subsidence were observed.

Mitigation Measures: SH-01 shows no signs of impacts such as standing water or subsidence from the existing uses as a lay-down area and parking. Currently there are no obvious signs that the existing land use within the sinkhole is adversely impacting the sinkhole or groundwater recharge.

SH-02 – SH-02 is 200 feet long, 160 ft wide, and approximately 5 feet deep, with an area of 0.6 acres. The dimensions for the sinkhole are based on the last closed topographic contour for the sinkhole on 1-foot LIDAR data. Approximately 0.2 acres of the sinkhole has been filled with pulverized concrete. The top of the concrete fill is approximately 826 ft in elevation. No areas of standing water or signs of standing water were observed within the sinkhole. No soil piping or areas of subsidence were observed.

Mitigation Measures: SH-02 shows no signs of impacts such as standing water or subsidence from the existing concrete fill. Currently, there are no obvious signs that the existing land use within the sinkhole is adversely impacting the sinkhole or groundwater recharge. However, the top of the fill has an elevation of approximately 826 ft, which is higher than adjacent properties. The proposed plan for this sinkhole is to raise the existing fill to an elevation of approximately 833 ft. Appropriate drainage control should



1211 S Walnut St
Bloomington, IN 47401

be implemented to prevent any off-site impacts from the new fill. Additionally, the unfilled portion of the sinkhole should be examined periodically to determine if the additional fill is causing any changes such as soil openings.

6 – Study Limitations

The identification of karst features at the Site was limited to surface inspection. No subsurface investigations were conducted. Undocumented karst features are possible in the subsurface.

7 – Summary

Two sinkholes were investigated at the Site. SH-01 is currently being used as a laydown area and for parking. No obvious impacts from the existing land use were observed during the field survey. If any signs of subsidence or soil piping are observed in the future, the sinkhole should be reevaluated by a karst expert. SH-02 has been partially filled with pulverized concrete. No obvious impacts from the existing land use were observed during the field survey. However, the top of the fill area is at an elevation higher than surrounding properties, which could result in surface run-off to those properties. The proposed plan for this sinkhole is to raise the existing fill to an elevation of 833 ft. Appropriate drainage control should be implemented to prevent any off-site impacts from the new fill. Additionally, the unfilled portion of the sinkhole should be examined periodically to determine if the additional fill is causing any changes such as subsidence or soil openings. If any signs of subsidence or soil piping are observed in the future, the sinkhole should be reevaluated by a karst expert. The karst field survey was limited to surface inspection with no subsurface investigation. Unknown karst features are possibly present in the subsurface at the Site.

Hydrogeology appreciates the opportunity to provide this summary report. If you have any questions, concerns, or comments please do not hesitate to contact me directly at (812) 219-0210.

Sincerely,

Hydrogeology Inc.

Jason N. Krothe, LPG IN-2511
President



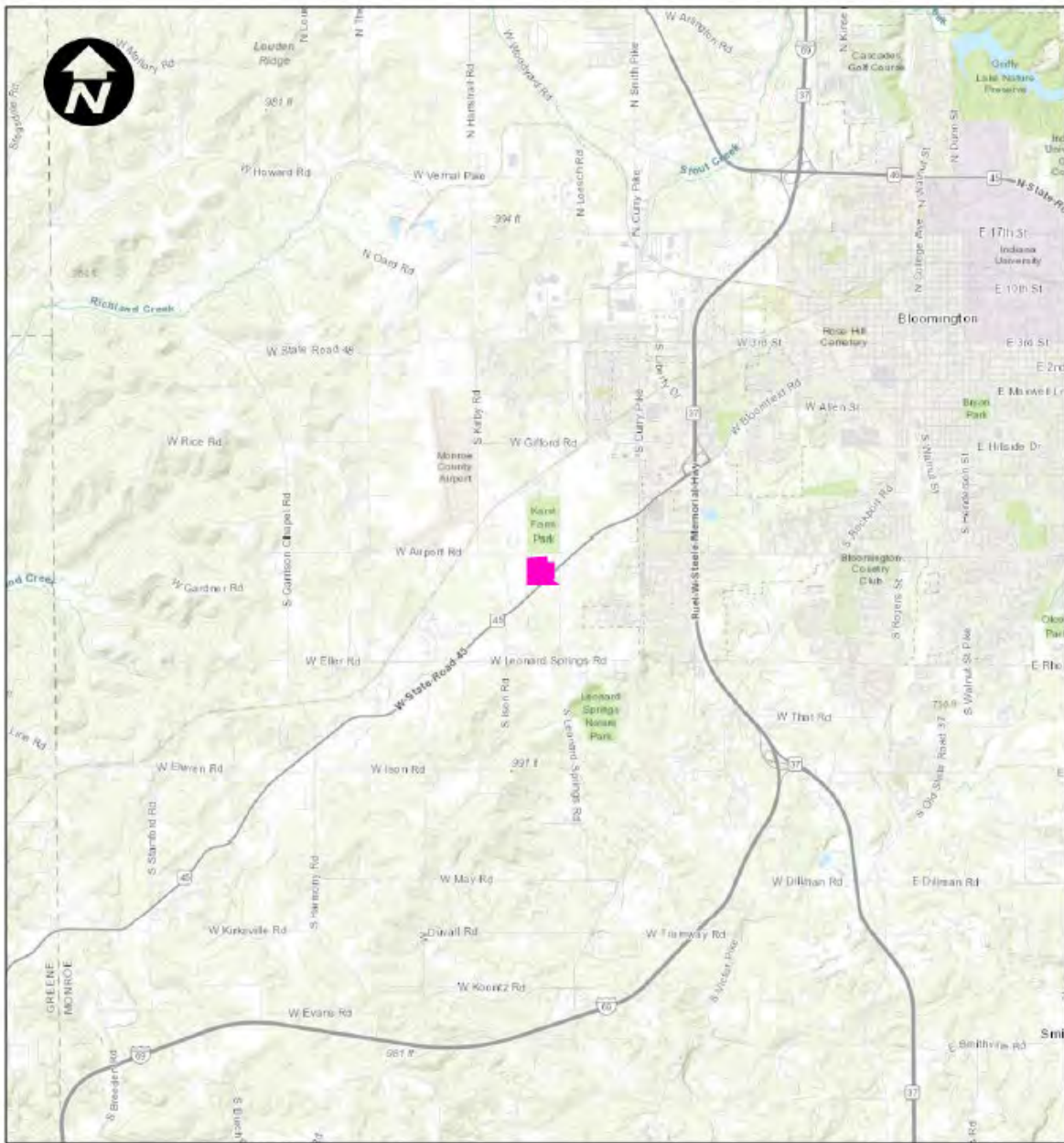
hydrogeology inc.

1211 S Walnut St
Bloomington, IN 47401

References

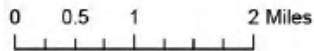
Carr, D. D., Leininger, R. K., and Golde, M. V., 1978, Crushed stone resources of the Blue River Group (Mississippian) of Indiana: Indiana Geological Survey Bulletin 52, 225 p.

Hasenmueller, W. A., Estell, C. M., Keith, B., and Thompson, T. A., 2009, Bedrock geologic map of Monroe County, Indiana: Indiana Geological Survey Miscellaneous Map 73, scale 1:48,000.



LEGEND

SITE (not to scale)



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

**KARST SURVEY
4810 IN-45
BLOOMINGTON, IN**

SITE LOCATION

hydrogeology inc.

FIGURE
1



<p>LEGEND</p> <p>□ SITE</p>	<p>0 50 100 200 Feet</p>	<p>KARST SURVEY 4810 IN-45 BLOOMINGTON, IN</p>	
		<p>SITE</p>	
		<p>hydrogeology inc.</p>	<p>FIGURE 2</p>

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

Solution Sinkhole



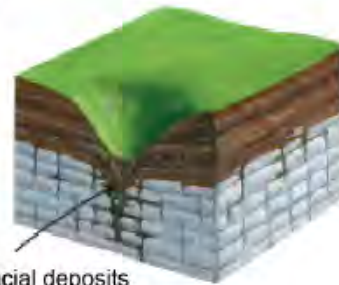
Limestone dissolves and drains away in solution

Collapse Sinkhole



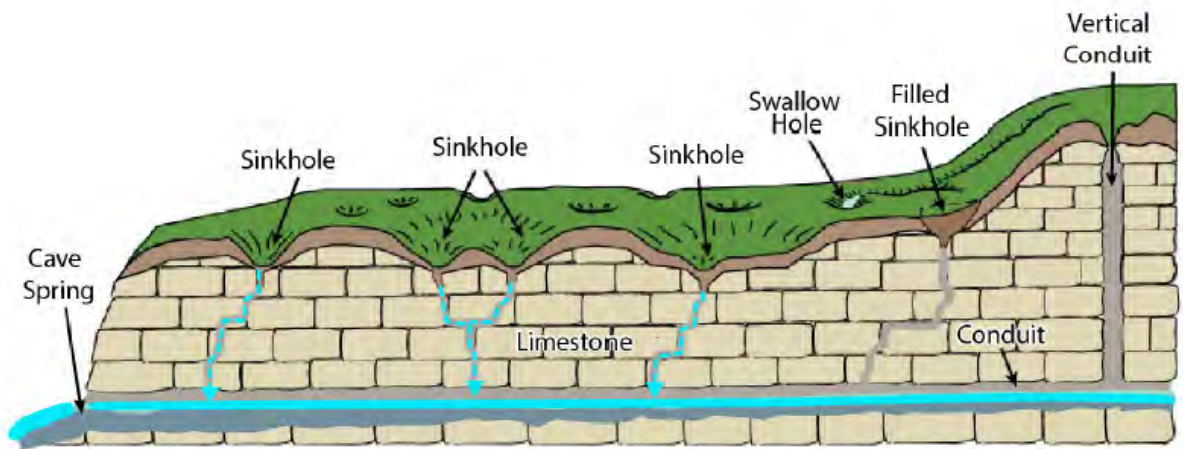
Collapsed cave

Subsidence Sinkhole

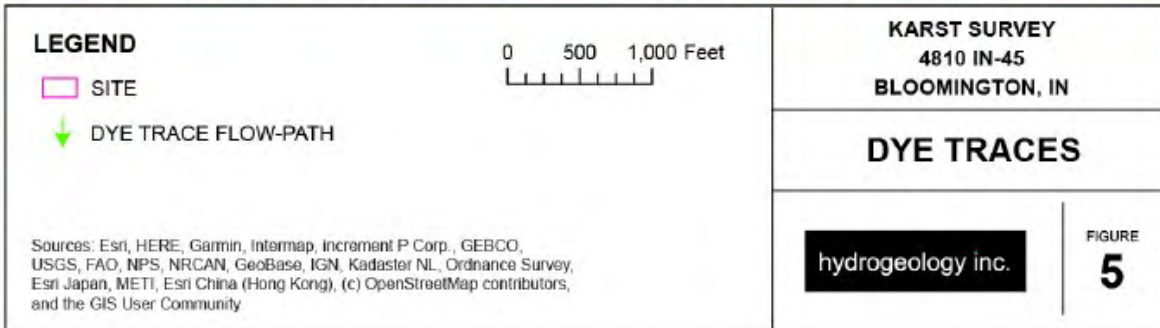


Soil and glacial deposits sink into fissures

	KARST SURVEY 4810 IN-45 BLOOMINGTON, IN
	SINKHOLE TYPES
	hydrogeology inc. FIGURE 3



	<p>KARST SURVEY 4810 IN-45 BLOOMINGTON, IN</p>	
	<p>CONCEPTUAL KARST CROSS SECTION</p>	
	<table border="0"> <tr> <td data-bbox="1198 1108 1393 1161"> <p>hydrogeology inc.</p> </td> <td data-bbox="1425 1108 1495 1161"> <p>FIGURE 4</p> </td> </tr> </table>	<p>hydrogeology inc.</p>
<p>hydrogeology inc.</p>	<p>FIGURE 4</p>	





LEGEND

- SITE
- SINKHOLE

0 50 100 200 Feet


Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community


**KARST SURVEY
4810 IN-45
BLOOMINGTON, IN**

SINKHOLES

hydrogeology inc.

FIGURE
6

Photograph Number: 1	
Coordinates (UTM Meters) NA	
Photograph Date:10-4-22	
Comments: Sinkhole SH-01.	
Recommended treatment: NA	

Photograph Number: 2	
Coordinates (UTM Meters) NA	
Photograph Date:10-4-22	
Comments: Sinkhole SH-01.	
Recommended treatment: NA	


Photograph Number: 3
Coordinates (UTM Meters) NA
Photograph Date: 10-4-22
Comments: Sinkhole SH-01.
Recommended treatment: NA



Photograph Number: 4
Coordinates (UTM Meters) NA
Photograph Date: 10-4-22
Comments: Sinkhole SH-01.
Recommended treatment: NA



Photograph Number: 5	
Coordinates (UTM Meters) NA	
Photograph Date: 10-4-22	
Comments: Sinkhole SH-01.	
Recommended treatment: NA	

Photograph Number: 6	
Coordinates (UTM Meters) NA	
Photograph Date: 10-4-22	
Comments: Sinkhole SH-02.	
Recommended treatment: NA	

Photograph Number: 7
Coordinates (UTM Meters) NA
Photograph Date: 10-4-22
Comments: Sinkhole SH-02.
Recommended treatment: NA



Photograph Number: 8
Coordinates (UTM Meters) NA
Photograph Date: 10-4-22
Comments: Sinkhole SH-02.
Recommended treatment: NA



EXHIBIT 6: IDEM Letter



INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

We Protect Hoosiers and Our Environment.

100 N. Senate Avenue • Indianapolis, IN 46204

(800) 451-8027 • (317) 232-8803 • www.idem.IN.gov

Eric J. Holcomb
Governor

Brian C. Rockensuess
Commissioner

November 21, 2022

VIA E-MAIL

Keith Kline
K & S Rolloffs, LLC
4810 West State Road 45
Bloomington, Indiana 47403
kshaulingkeith@yahoo.com

Dear Mr. Kline:

Re: **Inspection Summary Letter**
K & S Rolloffs, LLC
4810 West State Road 45
Bloomington, Monroe County

On November 17, 2022, a representative of the Indiana Department of Environmental Management, Office of Land Quality, conducted an inspection of the above-referenced property, located at 4810 West State Road 45, Bloomington, Indiana. This inspection was conducted pursuant to IC 13-14-2-2. For your information, and in accordance with IC 13-14-5, a summary of the inspection is provided below:

Type of Inspection: Complaint Incident # 104334
Results of Inspection: No violations were observed (see attached inspection report).

Please direct any questions regarding this letter to Mr. Tim Hotz, (317) 407-0082 or thotz@idem.in.gov.

Sincerely,

Kelly B. Hall, Section Chief
Solid Waste Compliance
Office of Land Quality

Enclosure

cc: Monroe County Health Department
Monroe County Solid Waste Management District





REPORT OF OPEN DUMP INSPECTION
State Form 42033 (r/2-00)

Indiana Department of Environmental Management
Solid Waste Compliance Section
Office of Land Quality
100 North Senate Avenue, Room N-1101
Indianapolis, Indiana 46204-2251

Inspector Name: Tim Hotz
Inspector Phone: 317-407-0082

Inspection Date: 11/17/2022

Time In: 10:00 am
Time Out: 10:45 am

GENERAL INFORMATION		
Name of registration or Tempo (RM): K&S Rolloffs #104334	Location: 4810 W SR 45, Bloomington	County: Monroe
INX #: 00068224	Parcel ID #: 53-09-14-102-001.000-015	Parcel Acreage: 13.34
PROPERTY OWNER(S)		
Name(s) of property owner(s) and/or Company: K&S Rolloff Holdings, LLC Keith Kline, Vice-President		
Address (number, city, state, and zip code): 4810 W SR 45, Bloomington, IN 46184		
Email Address: kshaulingkeith@yahoo.com		Telephone #: (812) 333-0400
RESPONSIBLE PARTY(IES)		
Name(s) of property owner(s) and/or Company: Click here to enter text.		
Address (number, city, state, and zip code): Click here to enter text.		
Email Address: Click here to enter text.		Telephone #: Click here to enter text.

ACREAGE								
<input type="checkbox"/>	020	Less Than ¼ Acre	<input checked="" type="checkbox"/>	021	Between ¼ Acre & 1 Acre	<input type="checkbox"/>	022	Greater than 1 Acre
SOLID WASTE OBSERVED								
<input type="checkbox"/>	001	Tires	<input type="checkbox"/>	002	PCB's	<input type="checkbox"/>	003	Household Waste
<input type="checkbox"/>	004	Asbestos	<input type="checkbox"/>	006	Construction/Demolition Waste	<input type="checkbox"/>	007	Bulky Waste
<input type="checkbox"/>	008	Other Waste						
ACTIVE CONDITIONS								
<input type="checkbox"/>	015	Strong Odor	<input type="checkbox"/>	016	Waste Paper Dated Post Last Inspection	<input type="checkbox"/>	017	Vectors
<input type="checkbox"/>	018	Putrescible Waste	<input type="checkbox"/>	019	Other Evidence of Recent Dumping			
PARAMETERS OBSERVED								
<input type="checkbox"/>	009	Evidence of Burning	<input type="checkbox"/>	010	Waste in Water/Wetland	<input type="checkbox"/>	011	Waste in Suspected Floodway
<input type="checkbox"/>	012	Residence within 600 feet of Waste	<input type="checkbox"/>	013	Access Unrestricted	<input type="checkbox"/>	014	Permission Given to Dump
GENERAL INFORMATION								
<input checked="" type="checkbox"/>	023	Pictures Taken	<input checked="" type="checkbox"/>	038	Initial Inspection	<input type="checkbox"/>	039	Follow-Up Inspection
REFERRALS								
<input type="checkbox"/>	027	Air Management	<input type="checkbox"/>	028	Emergency Response	<input type="checkbox"/>	029	Water management
<input type="checkbox"/>	030	Enforcement	<input type="checkbox"/>	031	Hazardous Waste	<input type="checkbox"/>	032	Dept. of Natural Resources
<input type="checkbox"/>	034	Co. Health Dept./Solid Waste Mgmt District						
COMPLIANCE ACTION NEEDED								
<input type="checkbox"/>	024	Remove waste to approved solid waste management facility	<input type="checkbox"/>	025	As specified below	<input checked="" type="checkbox"/>	026	No Action Needed (In Compliance)

Comments: An anonymous complaint (TEMPO # 104334) was received that K&S Rolloffs was depositing concrete material with plastic liners attached from concrete washout dumpsters. This concrete/plastic material was being pushed into a sinkhole on the property.

On 11/17/22, Solid Waste Inspector, Tim Hotz, met with Mary Beth King, Compliance Officer with the Monroe Co. Solid Waste District at the site. We found the area where a large number of rolloffs are being stored at the north end of the property. It appears as if this part of the property has been expanded over time by filling with clean fill materials. Observed today was lots of unpainted concrete, of various sizes, dumped on the west and north banks of the lot. Some of the larger pieces of concrete did have remnants of black plastic sticking out of it, probably what was used as liner material in the bed of the rolloff. In a discussion with the Vice President, Keith Kline, he stated that K&S Rolloff employees use a jackhammer to break up the large pieces of concrete and dispose of any black plastic that is released. There was no loose black plastic material observed. This area where the concrete was observed does not appear to be in a sinkhole.

Due to a de minimis amount of plastic observed embedded in the concrete, this complaint is being closed out, with no violations observed.

Confidential Information

In accordance with 329 IAC 6.1 (<http://www.in.gov/legislative/iac/T03290/A00061.PDF>) a person submitting information to the department for which confidential treatment is requested shall make a written claim of confidentiality at the time of submittal of the information. A person may request confidential treatment of information at the time the information is acquired through the actions of the department, such as inspections. The written claim for confidential treatment may be broad, but must be sufficiently clear to allow for accurate identification of the information claimed to be confidential. In accordance with 329 IAC 6.1-4-1(d), supporting information must be submitted to the commissioner within five (5) working days from the time the information claimed as confidential is acquired by the department. A person submitting a claim of confidentiality shall designate and segregate the information and the supporting information to which the claim applies in a manner that is sufficiently clear to allow the department to identify all confidential claim materials. Confidential information may include (but is not limited to) written or printed material, maps, charts, photographs, or samples (see definition of information at 329 IAC 6.1-2-8). The undersigned Owner/Representative has alleged information acquired during this inspection does does not (check one) contain confidential information. A check in the "does" box is not a written claim for confidential treatment of information acquired during this inspection.

Notice of Oral Report

In accordance with IC 13-14-5 an oral report of the inspection was provided to the undersigned Owner/Agent at the conclusion of the inspection. The oral report includes any specific matters discovered during the inspection that the IDEM representative believes may be a violation of a law or of a permit issued by the department. The report does not include matters not evident to the IDEM representative or any fact that indicates an intentional, a knowing, or a reckless violation.

Received by: Keith Kline	E-mail Address: kshaulingkeith@yahoo.com
Date Emailed by Inspector: Click here to enter a date.	<input checked="" type="checkbox"/> Needs Mailed



Facility Name

K&S Rolloffs, Monroe Co.

Photographer

Tim Hotz

Date/Time

11/17/22 10:30 am

Others Present

Mary Beth King

Description

Back side of rolloff lot. Large pieces of concrete, some embedded with pieces of plastic.



Facility Name

K&S Rolloffs, Monroe Co.

Photographer

Tim Hotz

Date/Time

11/17/22 10:30 am

Others Present

Mary Beth King

Description

Back side of rolloff lot. Large pieces of concrete, some embedded with pieces of plastic.



Facility Name

K&S Rolloffs, Monroe Co.

Photographer

Tim Hotz

Date/Time

11/17/22 10:30 am

Others Present

Mary Beth King

Description

Back side of rolloff lot. Large pieces of concrete, some embedded with pieces of plastic.

EXHIBIT 7: Enforcement Letter AC-22-21

MONROE COUNTY PLAN COMMISSION
and office of the
MONROE COUNTY BOARD OF ZONING APPEALS
501 N. Morton Street, Suite 224
Bloomington, IN 47404
Telephone: (812) 349-2560 / Fax: (812) 349-2967
<https://www.co.monroe.in.us/department/?structureid=13>



June 8, 2022

K & S Rolloff Holdings Llc
4810 W State Road 45
Bloomington, In 47403

Enforcement Letter AC-22-21

The property at 4810 W State Road 45 is considered all one property and is 12.34 acres total. The property at 4810 W State Road 45 was rezoned to a PUD in 1997 (9712-PIO-02) after a failed attempt to rezone the property Heavy Industrial. The uses approved under the 1997 PUD rezone closely relate to the Light Industrial (LI) uses, with the inclusion of "Cut Stone and Stone Products" to accommodate the use at that time (3D Stone Company). In 1998, the PUD was amended to change one of the conditions on the petition. The final conditions of approval are:

1. That the petitioner submit drainage information required for the Drainage Board to the Planning Department as part of the development plan file; and
2. That no further development west of the demarcated areas of disturbance, as shown on Exhibit 3 (see below), be enabled except through the Outline Plan amendment process.



The latest site plan was approved in 2014. Since the approval of the site plan and the issuance of the Land Use Certificate, the property has expanded and filled in two areas of the property that were noted as "Sinkhole A" and "Sinkhole B" under Exhibit 3. According to our records, there were no grading permits issued. Therefore, the filling in of the two sinkholes is a violation of the PUD. As such, you are receiving an enforcement letter that requires compliance. **The required enforcement action includes:**

1. **Submission of a grading permit application that complies with Chapter 829-4 (including a geotechnical report and all other information requested by the MS4 Coordinator) by 6/30/2022.**
2. **Cease all fill activities in any sinkhole areas immediately.**

Please note that failure to comply with the required actions and deadlines in this letter may lead to a civil action being filed against you in the Monroe Circuit Court. Every day a property is not in compliance with an ordinance provision constitutes a separate violation of that provision for which a civil penalty judgment may be entered.

Sincerely,

Jackie Nester Jelen, Director

Cc: Rachel Henry, Zoning Inspector

Tammy Behrman, Assistant Director

David Schilling, Attorney

EXHIBIT 8: Petitioner Commitment Letter



To Area Planning,

K&S Rolloff, Inc is willing to make full comittment that we will not fill over 7 feet in the area as shown.

Signed, *Keith Kline*
Keith Kline, VP

EXHIBIT 9: Aerial imagery 2010-2019



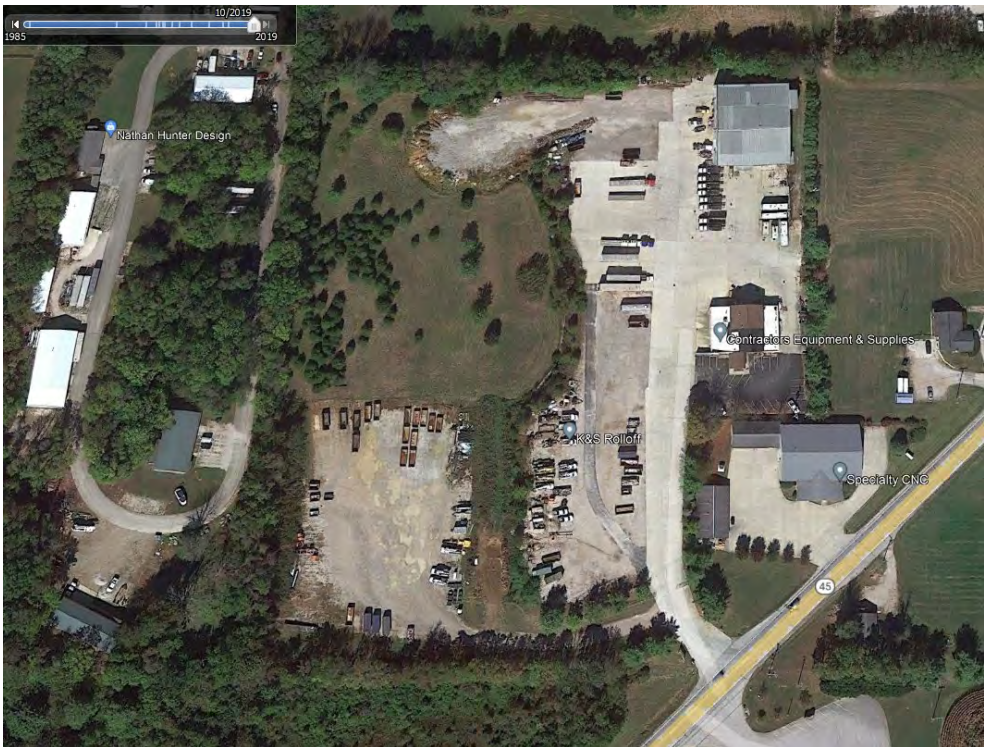
(2010 Aerial)



(2013 Aerial)



(2016 Aerial)



(2019 Aerial)

MONROE COUNTY PLAN COMMISSION**January 16, 2024**

PLANNER	Shawn Smith
CASE NUMBER	REZ-23-5, U-Haul Rezone
PETITIONER	Stephany Sheekey w/U-Haul
ADDRESS	3274 and 3300 W Profile PKWY, parcel no. 53-04-36-100-054.007-011 & 53-04-36-100-054.006-011
REQUEST	Rezone Request from IG to GB Waiver of Final Hearing Requested
ACRES	12.84 +/- acres
ZONE	General Industrial (IG)
TOWNSHIP	Richland
SECTION	36
PLATS	Platted; Pinnacle Business Park Major Subdivision Final Plat Amendment 1
COMP PLAN DESIGNATION	MCUA Mixed Use

EXHIBITS

1. Use Tables
2. Design Standards
3. Location Map
4. Zoning Map
5. CDO Draft Zoning Map
6. Site Conditions Map
7. Comprehensive Plan Map
8. Site Photos
9. Use Determination
10. Petitioner's Letter
11. Proposed Development
12. U-Haul Presentation
13. Subdivision Final Plat

RECOMMENDATION

Recommendation to the Plan Commission:

- Staff recommends forwarding a “positive recommendation” to the County Commissioners based on the compatibility with the Comprehensive Plan.

PLAN REVIEW COMMITTEE

Comments made during the PRC meeting:

- Take this request to the Redevelopment Commission to receive feedback.
This was taken to the January 4, 2024 RDC Meeting.
- Recommend putting employment-related uses at this location.
- Is this use allowed in the County Development Ordinance?
As of this date, it would only be allowed in GB and AP zones under the CDO.
- Where else could U-Haul go if not here?
Only allowed in GB zones.
- This location is in a TIF District, and it should be for employment.
- Would like to see CDO Draft Map. *See Exhibit 5.*
- Area is intended for industrial development. Does this use fit?
This use is primarily commercial.

REDEVELOPMENT COMMISSION

This petition was heard at the January 4, 2024 meeting with the following questions:

The Plan Commission has requested that Planning Staff reach out to the Redevelopment Commission regarding a Rezone Request for 3274 and 3300 W Profile PKWY from General Industrial (IG) to General Business (GB). It is located in one of the TIF Districts.

The specific use is a U-Haul Facility, defined by Planning Staff as a multi-use “Business or Industrial Center”, encompassing “Automotive Rentals” and “Convenience Storage” uses.

The Plan Commission would like to know what the Redevelopment Commission’s thoughts are regarding:

- 1. The use of the property as defined above, and;
See comments below. The RDC would prefer an employer that offers high wages, has an aesthetically pleasing build out, and that employs a lot of people. The RDC did not see an issue with the rezone to GB and ultimately, would like to see the property put to use rather than be vacant.**
- 2. The rezoning of the property, which allows for a large number of commercial uses at these locations. Same answer above.**

Comments made by RDC Members:

- Mentioned McAlister's which is a storage area. How is this different than U-Haul?
- IG to GB important to consider. U-Haul may not be there forever. GB allows for other uses.
- Want high wages, great property value moving forward. No matter the use, the RDC wants to see the property utilized for a use and not to sit idle.
- Business to the east, industrial to the west. U-Haul appears to be a good transition between business and industrial.
- U-Haul doesn't seem to be too different than McAlister's. This seems to be a good use.
- Redesign the site to be more aesthetically pleasing. Move storage of vehicles and parking in the back.
- Industrial uses produce more revenue for the County than commercial, but this would not necessarily affect the TIF.
- RDC would prefer to see the building moved to the front of the lot. The petitioner stated that would not be an issue.
- The petitioner stated there would be a total of 12-15 employees on the site. They also state that they offer applications online for locals to sign up and acts as a secondary form of employment.
- Per the RDC, the use seems to be more retail vs industrial type of use. Fencing required? Suitable driveway? Moving to GB from IG seems fine, so long as it remains business. Not inconsistent with what we're expecting. Seems like future use could allow for another business to come in based on the site plan and location of buildings.
- Better to have business that employs a lot of people, but this area is a brownfield and not being used. Hopefully this spurs more development in the area. Very important to have aesthetically pleasing views.
- Having an attractive development is important for attracting employers, regardless of whether it is business or industrial.
- Not a high impact use. If another business takes over this lot, it wouldn't be too difficult for them given what is being proposed for construction here.
- This development is acceptable. It's a good use for the property as it is right now. As long as everything is buffered the way it should be. Designs look good. If the designs shown in the slides are as good as those look, it would satisfy a lot of our concerns.

MEETING SCHEDULE

Plan Review Committee – December 14, 2023

~~Plan Commission Admin Meeting~~ – January 2, 2024 (CDO Work Session)

Redevelopment Commission – January 4, 2024

Plan Commission Regular Meeting – January 16, 2024 (Preliminary– Waiver of Final Hearing Requested)

Plan Commission Admin Meeting – February 6, 2024

Plan Commission Regular Meeting – February 20, 2024 (Final Hearing)

Board of Commissioners Meeting – TBD

SUMMARY

The petition site consists of two parcels totaling 12.84 +/- acres located in Richland Township at 3274 and 3300 W Profile PKWY. The petitioner is proposing to amend the Zoning Map from General Industrial (IG) to General Business (GB). If approved, next steps would include filing for a Pre-Design for a Site Plan for approval at the Staff level.

BACKGROUND

In September of 2023, a Use Determination (USE-23-51) was submitted to Planning Staff for a determination to be made if U-Haul would fit within a permitted use at 3274 and 3300 W Profile PKWY. Staff determined that U-Haul best fell under both Automotive Rentals and Convenience Storage uses, with the “Business or Industrial Center” (multi-use) serving as an umbrella term for both uses. However, Chapter 833 which guides development for the IG zone does not have Convenience Storage as a permitted use, and Automotive Rentals is not a permitted use in the IG zone.

In order to provide a path forward, Planning Staff recommended that the petitioners file for a Rezone request with the Planning Department to rezone both properties from General Industrial to General Business, as the GB zone would allow for the mixed use of Automotive Rentals and Convenience Storage.

Listed below are the definitions of the GB zone, Business or Industrial Center, Automotive Rentals, and Convenience Storage, per Chapter 802.

General Business (GB) District. *The character of the General Business (GB) District is defined as that which is primarily intended to meet the needs for heavy retail business uses. General business uses should be placed into cohesive groupings rather than on individual properties along highways in order to take advantage of major thoroughfares for traffic dissemination. Access control should be emphasized. The purposes of the GB District are: to encourage the development of groups of nonresidential uses that share common highway access and/or provide interior cross-access in order to allow traffic from one business to have access to another without having to enter the highway; to discourage single family residential uses; to protect environmentally sensitive areas, such as floodplain, karst and steep slopes; and to maintain the character of the surrounding neighborhood. Some uses are conditionally permitted. The conditions placed on these uses are to insure their compatibility with the adjacent residential uses.*

Business or Industrial Center. *A site developed and operated under single or common ownership to include of a mix of industrial and/or commercial uses where the majority of uses are permitted under the Business and Personal Services, Retail and Wholesale*

Trade and Manufacturing, Mining, Construction and Industrial use categories, with customer and employee parking provided on-site, provisions for goods delivery separated from customer access, aesthetic considerations and protection from the elements, and landscaping and signage in accordance with an approved plan.

Automotive Rentals. *Establishments involved in renting passenger cars, noncommercial trucks, motor homes or recreational vehicles, including incidental parking and servicing of vehicles available for rent.*

Convenience Storage. *A storage service primarily for personal effects and household goods within an enclosed storage area having individual access, but excluding uses such as workshops, hobby shops, manufacturing or commercial activities, and may include an on-site apartment for a resident manager.*

EXHIBIT 1: Use Tables

General Industrial Uses (IG)	Permitted or Conditional
Adult Oriented Business	P
Automobile storage yards	C
Automotive repair	C
Beverage bottling	P
Building trade shops	P
Business or Industrial Center	P
Business service	P
Commercial / Industrial Adaptive Reuse	P
Correctional facilities	C
Fire stations	P
Heavy manufacturing	P
Historic adaptive reuse	C
Industrial uses with potentially adverse effects	C
Light manufacturing	P
Machinery and equipment repair	P
Off-site parking	C
Offices	P
Police stations	P
Print shops	P
Relocation of off-premise signs	C
Research laboratories	P
Shared parking	C
Solid waste/recycling centers	P
Utility substations and transmission facilities	P
Warehousing and storage	P
Wireless Communication Facility	C

General Business Uses	Permitted or Conditional
Accessory Use	P
Ag. Supply	P
Air Cargo and Package Service	P
Air Craft Charter Service	P
Airport Transportation Service	P
Amusement and Recreational	P
Apparel Shop	P
Appliance Repair	P
Appliance Sales	P
Auction House	P
Automobile Repair Services, Minor	P
Automotive & Transportation	P
Automotive Paint Shop	P
Automotive Rentals	P
Automotive Supply	P
Automotive Tire Repair	P
Bakery (Retail)	P
Barber Service	P
Beauty Service	P
Boarding House	P
Bookstore	P
Bottled Gas Storage/Distribution	P
Building Materials	P
Bus Terminal	P
Business or Industrial Center	P
Cabinet Sales	P
Camera and Photographic Supply	P
Car Wash	P
Caterer	P
Charitable, Fraternal, or Social	P
Club or Lodge	P
Coin Operated Cleaning/Laundry	P
comm. Printing	P
Comm./Industrial Adaptive Reuse	P
Community Center	P
Confectionery	P
Construction Trailer	P
Convenience Storage	P
Convenience Store	P

Copy Service	P
Daycare Facility	P
Department Store	P
Drapery Sales	P
Drugstore	P
Dry Cleaning and Laundry Pickup	P
Dry Cleaning and Laundry Service	P
Electrical Repair	P
Employment Agency	P
Equipment Rental	P
Estate Services	P
Exterminating Service	P
Fertilizer Sales (Packaged)	P
Financial Service	P
Florist (Retail)	P
Florist (Wholesale)	P
Fruit Market	P
Funeral Home	P
Furniture Sales	P
Garden Center	P
Gasoline Services Station	P
General Contractor	P
General Flooring Sales	P
Gift Shop	P
Grocery Store	P
Group Home Class I	P
Group Home Class II	P
Gunshop	P
Gunsmith	P
Handicrafts	P
Hardware	P
Historic Adaptive Reuse	C
Home Improvement Center	P
Hospital	P
Hotel	P
Indoor Shooting Range	P
Indoor Theater	P
Insurance Agency	P
Interior Decorating	P
Jewelry	P
Legal Service	P

Liquor Store	P
Locksmith	P
Manufactured Housing Sales	P
Manufacturing, Mining	P
Marine Supply	P
Massage Studio	P
Meat Market	P
Medical Clinic	P
Motel	P
Motorcycle Sales	P
Music Store	P
Nursing Home	P
Office	P
Office Equipment Repair	P
Office Showroom	P
Office Supplies	P
Optical Goods	P
Outdoor Drive-In Theater	P
Park and Recreational Services	P
Parking Facility	P
Pet Services	P
Pet shop	P
Photographic Services	P
Private Recreational Facility	P
Real Estate Agency	P
Real Estate Sales office Or Model	P
Religious Facilities	P
Remote Garbage/Rubbish Removal	C
Restaurant	P
Restaurant (Drive-in)	P
Retail & Wholesale Trade	P
Retirement Center	P
Rodeo	P
Shoe Repair	P
Shopping Center	P
Small Engine and Motor Repair	P
Sporting Goods	P
Tailoring	P
Tavern	P
Taxicab Stand	P
Taxidermist	P

Telephone and Telegraph Services	P
Temporary Care Facility	P
Temporary Seasonal Activity	P
Travel Agency	P
Upholstery Service	P
Used Merchandise (Antiques)	P
Used Merchandise (Flea Market)	P
Used Merchandise (General)	P
Utility Service Facility	P
Veterinary Service (Indoor)	P
Water Treatment Facility	P
Wireless Communication Facility	C
Wrecker Service	P

EXHIBIT 2: DESIGN STANDARDS

Lot Area Requirements	General Industrial	General Business
Minimum Lot Area (square feet)	20,000	N/A
Minimum Lot Width (feet)	100'	50'
Maximum Height (feet)	60' (Up to twenty (20) percent of the footprint of the building may extend to a maximum height of one hundred (100) feet.)	45'
Minimum Side Yard (Structures) (feet)	12' (One hundred (100) foot side yard required when adjacent to a residential district, within twenty-five (25) foot landscaped buffer. No side yard required if adjacent to a rail siding, regardless of adjacent zoning.)	6'
Minimum Rear Yard (Structures) (feet)	20' (One hundred (100) foot side yard required when adjacent to a residential district, within twenty-five (25) foot landscaped buffer. No side yard required if adjacent to a rail siding, regardless of adjacent zoning.) (No rear yard required if adjacent to a rail siding.)	0'
Maximum Building Coverage (percent)	70%	(Minimum Open Space = 20%)
Floor Area Ratio	2	0.3
Minimum Side Yard (Parking) (feet)	6'	--

Minimum Rear Yard (Parking) (feet)	10'	--
Front Setback from Centerline – Minor Collector– Building (feet)	55' (No setback shall be less than 10ft from the property line).	25' (from ROW)
Minor Collector – Parking (feet)	65' Not applicable for properties abutting or adjoining overpasses or bridges.	--
Additional Front Setback	4' (Additional front setback required for each additional story, or for each ten (10) feet or increment thereof of building height over twelve (12) feet, measured at the eave of the building.)	--

EXHIBIT 3: LOCATION MAP

The petition site is located at 3274 and 3300 W Profile PKWY, Section 36 in Richland Township, parcels; 53-04-36-100-054.007-011 & 53-04-36-100-054.006-011. Known as Lot 6 and 7 of the Pinnacle Business Park Major Subdivision Final Plat Amendment 1.

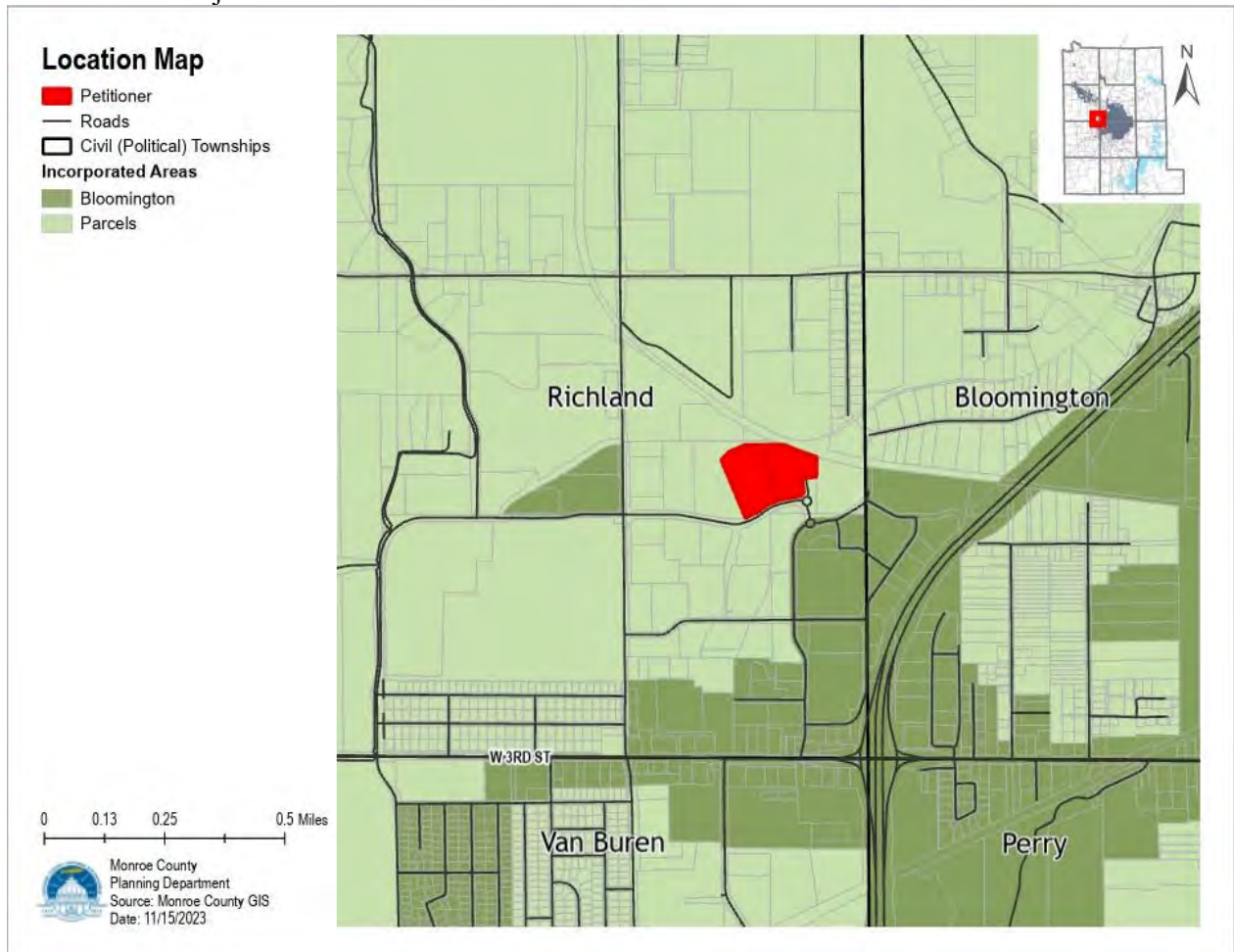


EXHIBIT 4: CURRENT ZONING

The parcel is zoned General Industrial (IG). All adjoining parcels are also zoned General Industrial, with nearby zoning designations RM15 to the northwest and Curry Industrial Park PUD to the south. There are no commercial uses directly adjacent to the subject property. The surrounding area consists of predominantly industrial uses.

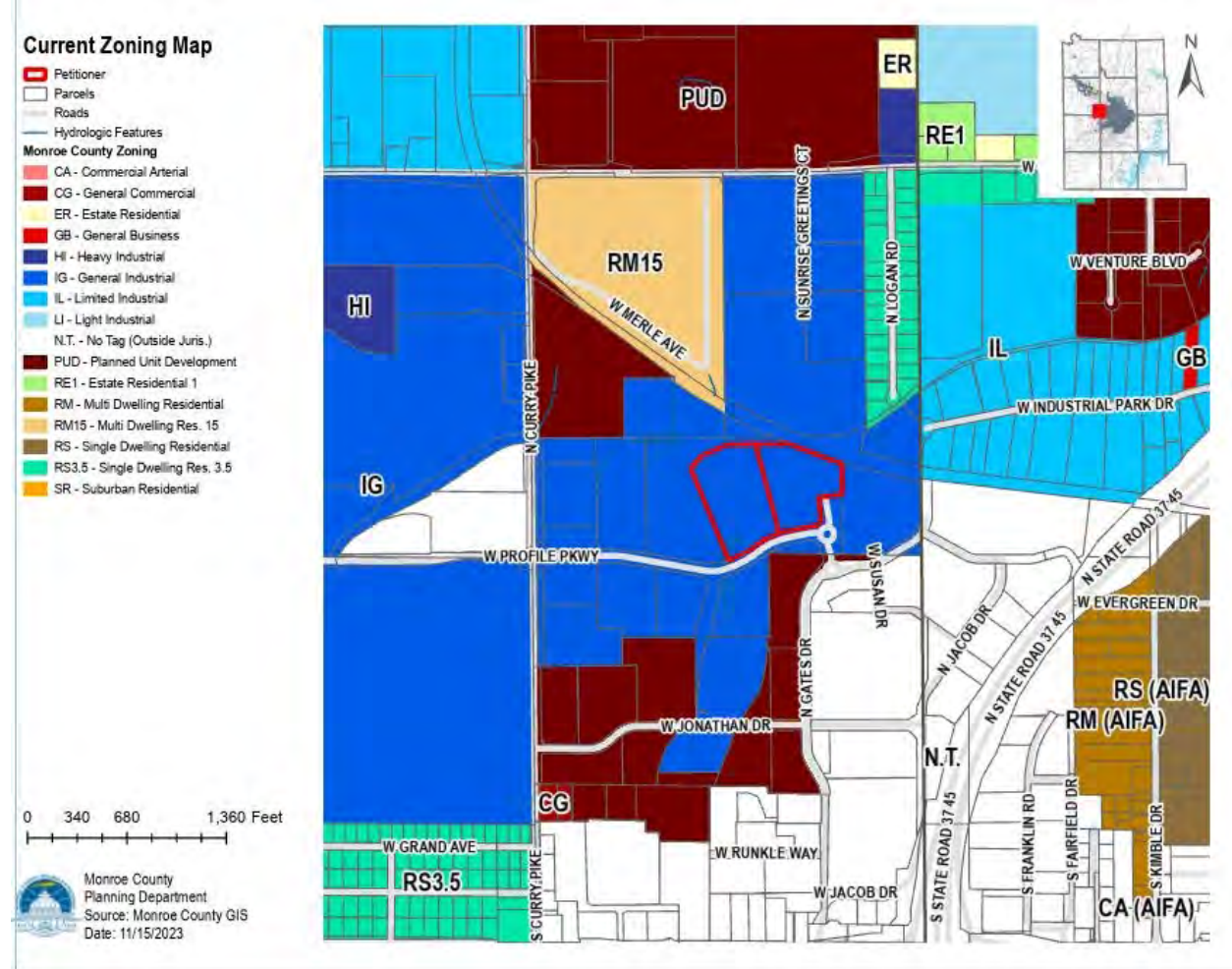


EXHIBIT 5: CDO ZONING

The Monroe County Development Ordinance currently has this site designated as Heavy Industrial (HI) in dark purple. The gray areas represent PUD zoning.



EXHIBIT 6: SITE CONDITIONS & INFRASTRUCTURE

The petition site is made up of two 12.84 acre +/- parcel. The site currently sits vacant. Access is from W Profile PKWY. There is no evidence of the presence of karst/sinkhole features on or near the petition site according to available contour data. An EPA Easement exists along the western and southwestern portion of Lot 6 (western property shown below).

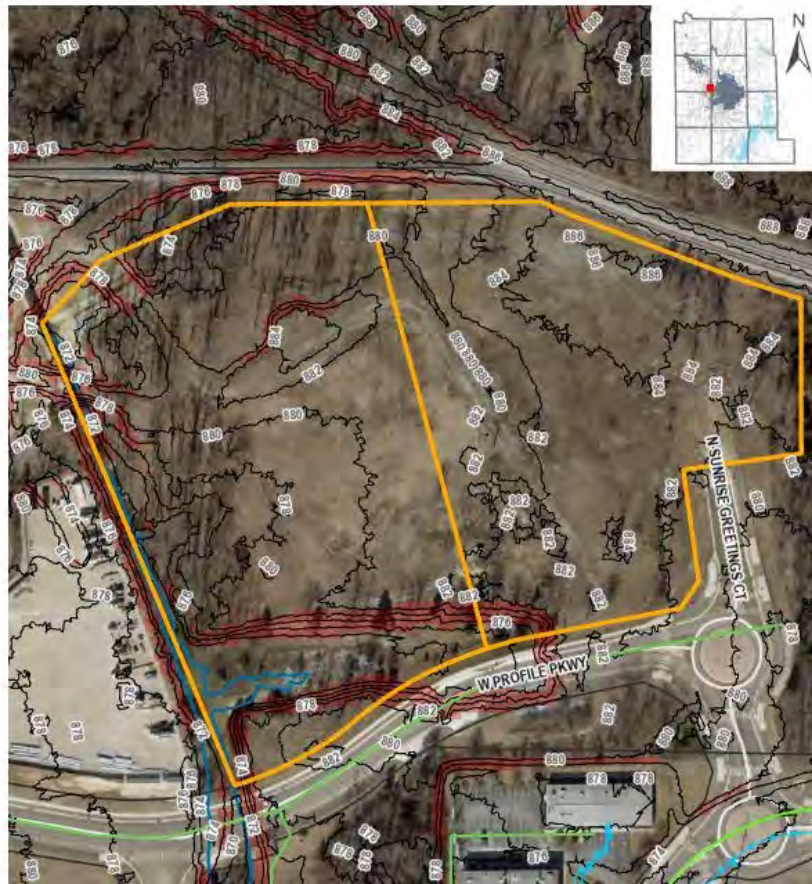
The County will be pursuing a connection of Sunrise Greetings from W Profile Parkway to W Vernal Pike within the next few years. Due to the railroad crossing, this will require a bridge that will be several feet in height. Planning has taken this into consideration when reviewing the request by the petitioner.

Site Conditions Map

- Minor Arterial [100']
- Petitioner
- Sanitary Pipe
- Water Pipe
- 2-Foot Contours
- 15% Slope (County/ECO2)
 - 0 - 15
 - > 15
- Local Roads [50']
- Hydrologic Features
- Parcels
- Critical Watersheds
 - Sinking Creek

0 35 70 140 210 280 350 Feet

Monroe County
Planning Department
Source: Monroe County GIS
Date: 11/15/2023



Stormwater Comments:



Kelsey Thetonia

Remove Comment • Nov 13, 2023 at 8:30 am

Future development on this lot is subject to the conditions of the Pinnacle Business Park development. Drainage Board approval will be required for new site plans. Future development must comply with all stormwater and safety regulations, including industrial stormwater permitting and SPCC regulations. The MS4 Coordinator can require additional treatment measures on site depending on proposed uses.

Highway Comments:



Ben Ayers

Remove Comment - Nov 9, 2023 at 9:45 am

Lot #6 & Lot #7 have existing driveway entrances that were constructed as part of the West Profile Parkway Road project. No new driveway entrances will be permitted.

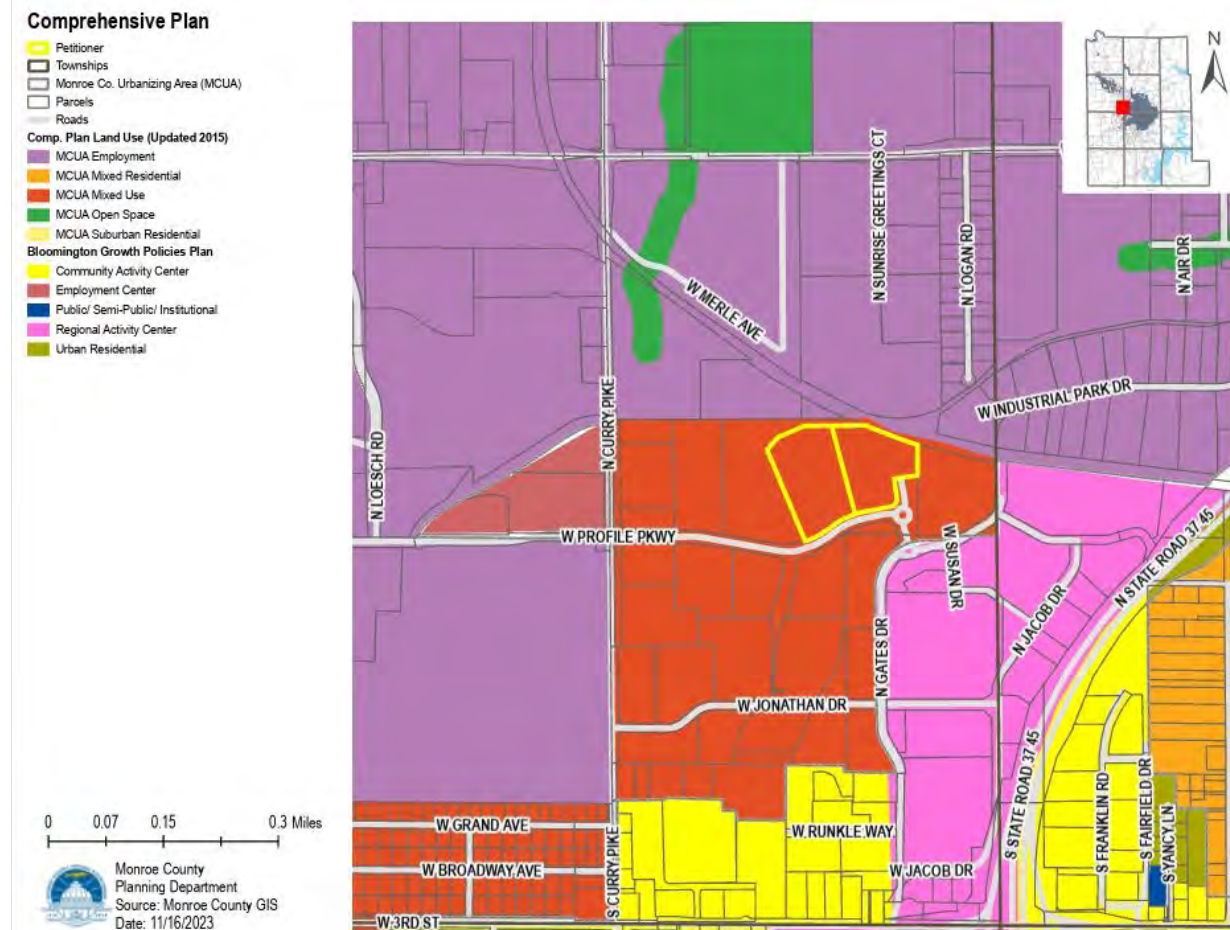


Paul Satterly

Remove Comment - Nov 13, 2023 at 1:55 pm

Development should be limited to one existing driveway that accesses Profile Parkway. Second driveway does not need to be removed.

EXHIBIT 7: COMPREHENSIVE PLAN DISCUSSION



COMPREHENSIVE PLAN DISCUSSION – PHASE I

The petition site is located in the **Mixed-Use** district on the Monroe County Urbanizing Area Plan portion of the Monroe County Comprehensive Plan. Points that align with the proposed PUD outline plan are highlighted in **green**. Points that differ from the MCUA districts are highlighted in **grey**.

Mixed-Use districts are the densest, most pedestrian oriented development types in the Urbanizing Area. **This land use type will vary in terms of form, scale, character, and the specific mix of uses, depending on location, access considerations and existing development context.** Uses may be integrated vertically

within buildings, such as residential or office over ground-floor retail, or horizontally among single-use buildings that are closely coordinated with one another. Mixed-Use areas may take the form of linear corridors along major roadways, large districts that serve as regional destinations for commerce, dining and entertainment, or small nodes at crossroads that serve nearby residential neighborhoods or employment areas. **Mixed-Use areas offer the greatest flexibility in terms of land use.** Individual parcels of land within a larger Mixed-Use area may be developed with a single use, so long as the site is designed in a way to integrate with surrounding sites to create a whole that is greater than the sum of parts. Most areas designated as mixed-Use on the land Use map are in locations with existing suburban-style development. These locations offer opportunities for reinvestment, infill, redevelopment, and transformation into more walkable centers of activity within the Urbanizing Area. Examples include the Third Street corridor, the Tapp Road/SR-45/Curry Pike Area, and key intersections along the South Walnut Street corridor.

A. Transportation

Streets: **Developments should be designed to create a system of interconnected streets and blocks. ideally, new streets should be platted as public rights-of way through the subdivision process;** however, private streets may also be acceptable, provided that they are designed and maintained to public street standards and are made publicly accessible through dedicated easements.

Bike, Pedestrian, and Transit modes: mixed-use streets should incorporate the full suite of complete street and “green” street design techniques. **Streets should safely accommodate pedestrian** and bicycle travel, as appropriate to the larger context of the transportation system and the surrounding scale and character of development. **Wider sidewalks or an enhanced buffer along the street** will provide a safer environment for pedestrians while allowing greater access to businesses in mixed-use areas. Streets should not be designed with a “one-size fits all” approach. Local streets may accommodate cyclists through an overall design that discourages high travel speeds by motorists, such as the use of narrower travel lanes (10 to 11 feet), on-street parking, and smaller curb radii at intersections (15 to 25 feet). These streets may simply require pavement markings or signage indicating that cyclists may use the travel lane. on the other hand, multi-lane roads should provide enhanced bicycle infrastructure, such as on-street bicycle lanes, cycletrack facilities, or off-street shared use paths, with special attention to transitions between different facility types. As the most likely to support transit service in the future, mixed-use streets should be designed to accommodate potential transit expansion.

B. Utilities

Sewer and water: Most areas designated for mixed-use development in the land Use Plan are already **served by sewer and water infrastructure.** All new developments should conduct water and sewer capacity analyses and contribute to system upgrades if necessary. Major sewer line extensions or upgrades, should be coordinated with other roadway or streetscape improvements where possible to minimize traffic disruption and improve cost efficiency of capital improvements. A major advantage to mixed-use development is that it reduces the peak usage in the area due to the diversity of building uses.

Power: Overhead utility lines should be buried in mixed-use areas to eliminate visual clutter of public streetscapes and to minimize system disturbance from major storm events.

Communications: Communications needs will vary within mixed-use developments, **but upgrades to infrastructure should be a key consideration for future development sites.** The county should create a standard for development of communications corridors to supplement and complement University research and development and the existing information technology sector.

C. Open space

Park Types: Small-scale parks and open spaces should be integrated into new developments and streetscapes. mixed-use districts may have a variety of park types, from small plazas and pocket parks along public sidewalks, to moderately-sized greens, squares, and neighborhood parks. Greenway connections should be provided wherever possible.

Urban Agriculture: Encourage the creation of community gardens and small scale urban agricultural systems, integrated with parks and open spaces. These may serve and be operated by residents, employees and businesses within a mixed use neighborhood. examples include restaurants with on-site gardens, or apartments and office buildings with common garden space. Attention should be paid to location and maintenance to ensure garden spaces remain well-kempt and attractive throughout the year.

D. Public Realm Enhancements

Lighting: Lighting needs will vary by street type and width but safety, visibility and security are important. Two-lane streets should provide lamp posts at a pedestrian scale (16 to 18 feet in height). Wider streets will require taller fixtures (up to 30 feet).

Street/Site Furnishings: Successful mixed-use streets require a vibrant, pedestrian-oriented public realm with an emphasis on amenities and aesthetics. Streets should have planters, benches, information kiosks, and public bicycle parking racks. These elements may occur within the public right-of-way, or on private development sites, if located at the front of the lot between the building and right-of-way, oriented toward the sidewalk, and available for public use.

E. Development guidelines

Open Space: The amount and type of open space appropriate for mixed-use areas will vary by the location and scale of individual developments. Large consolidated developments should include prominent open spaces with public street frontage. For residential uses, open space should generally be provided with a target of 200 square feet per dwelling unit. Commercial uses over 25,000 square feet of gross floor area should provide small pocket parks or plazas.

Parking ratios: Parking requirements will vary depending on the scale and mixture of uses within individual mixed-use areas. Shared parking arrangements should be encouraged to minimize the size of surface parking lots. On-street parking should be permitted to contribute to required parking maximums as a means to reduce surface parking and enliven mixed-use streets with foot traffic.

Site Design: Front setbacks should range from zero to 15 feet, with streetscape plazas and landscape treatments between the sidewalk and building face. Buildings should frame the street, with a high amount of building frontage. Parking should be located to the rear or side of buildings, but not between the building and street. Side-oriented parking should be screened with landscaping and/ or a low street wall. vehicular curb cuts should be used sparingly, and avoided on major thoroughfares. Access should instead be provided from the side or rear of the site. mixed-use districts should be designed with compatible mixtures of buildings, but with architectural variety as well.

Building form: The scale, form and character of buildings will vary depending on the specific location and surrounding context of existing development and infrastructure. mixed-use areas are appropriate locations for more urban-style buildings with flat roof designs, but pitched roofs may also be used. buildings may range from one to four stories in height, depending on location. Ground floors of mixed-use buildings should have taller floor to ceiling heights (14 to 18 feet) to accommodate retail and dining uses, with high amounts of window transparency (60 to 70 % of the front facade). building facades should

be designed with a clear base, middle, and top. buildings and tenant spaces should have prominent main entrances on the front facade, accessible from the public sidewalk.

LAND USE PLAN & POLICIES

The Land Use Plan is to be used when making public and private decisions about development, redevelopment, and related infrastructure investments. The Land Use Plan provides a framework to create a more organized pattern of development within the Urbanizing Area. Based on the preferred development scenario the Land Use Plan is illustrated and provides descriptions of each land use category, with specific policies related to transportation, infrastructure, open space, and development standards.

- MIXED-USE**
Mixed-use Districts are the densest, most pedestrian-oriented development types in the Urbanizing Area.
- MIXED-RESIDENTIAL**
Mixed residential neighborhoods accommodate a wide array of both single-family and attached housing types, integrated into a cohesive neighborhood. They may also include neighborhood commercial uses as a local amenity.
- SUBURBAN RESIDENTIAL**
Suburban residential includes existing low-density single-family subdivisions and isolated multi-family apartment complexes.)
- CONSERVATION RESIDENTIAL**
Conservation communities are master planned developments designed to preserve significant amounts of open space as a community amenity.
- EMPLOYMENT**
Employment-oriented uses include light industrial, manufacturing and assembly, research and development facilities, flex/office space, construction trades, warehousing and other types of commercial uses.
- INSTITUTIONAL**
Civic and institutional uses include educational and religious facilities and other types of public and private facilities intended for public assembly and gathering.
- QUARRY LANDSCAPES**
Quarry landscapes are found throughout the Urbanizing Area, primarily in the south and west portions of the area. These include both actively mined and abandoned quarries, a number of which are either listed or eligible for inclusion on the National Register of Historic Places Landscape District Registry.
- RURAL TRANSITION**
Portions of the Urbanizing Area, primarily to the east and south, are not suitable for intensive development due to access, infrastructure and environmental constraints.
- PARKS AND OPEN SPACE**
Protected open space includes public parks and privately-owned lands dedicated for active or passive recreation or environmental preservation.

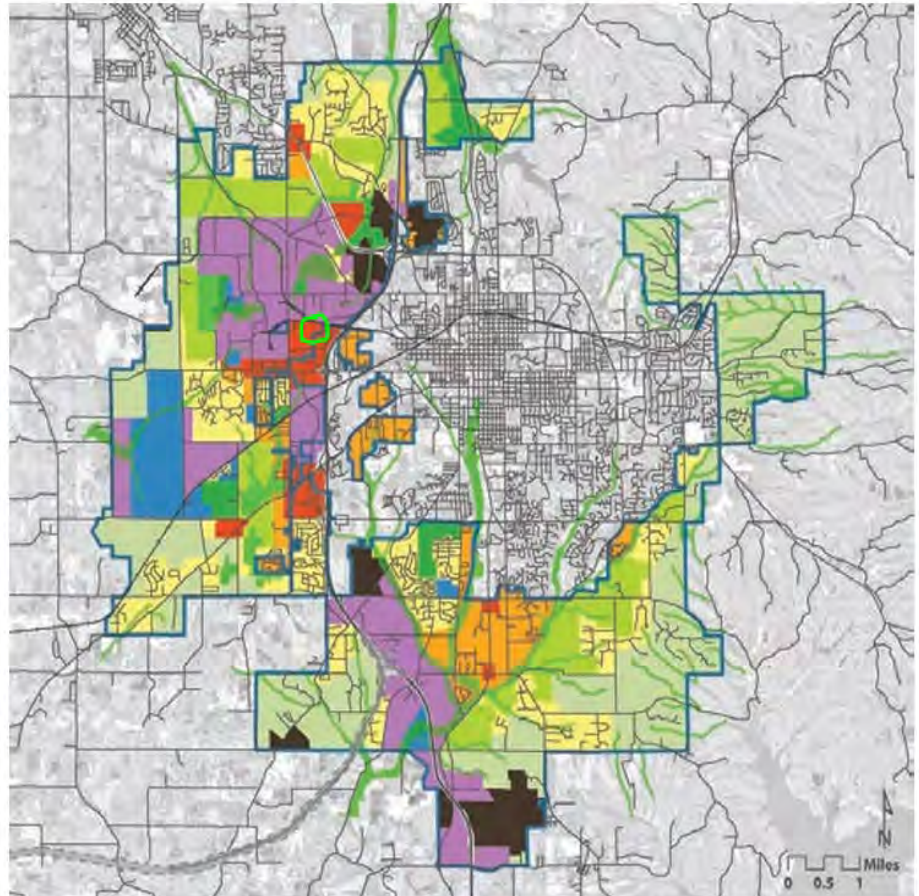


Figure 2. Comprehensive Plan Map (Area circled in green)

COMPREHENSIVE PLAN DISCUSSION – PHASE II

West Side Development

This district includes properties to the north of the Third Street Gateway, extending generally to SR 46 and generally designated as the Employment land use type in the Urbanizing Area Plan. It includes existing office and industrial flex buildings and is intended to accommodate additional infill and redevelopment of these uses, and benefit from Tax Increment Finance district opportunities. This district also includes existing industrial and office development, and highway-oriented commercial uses, south of Third Street between Curry Pike and I-69. Additional employment-oriented development should be compatible and consistent with surrounding patterns.

Phase II also incorporates expected **building types** for each district. Listed below are the expected building types of West Side Employment. These building types include:

Attached Townhome, Attached Courtyard, Multi-Family, Commercial, Commercial Outlot, Mixed-Use, Office Building, Flex Building (Option A), Flex Building (Option B), Large-Format Flex Industrial, Re-use/Retrofit.

Building Type Locations

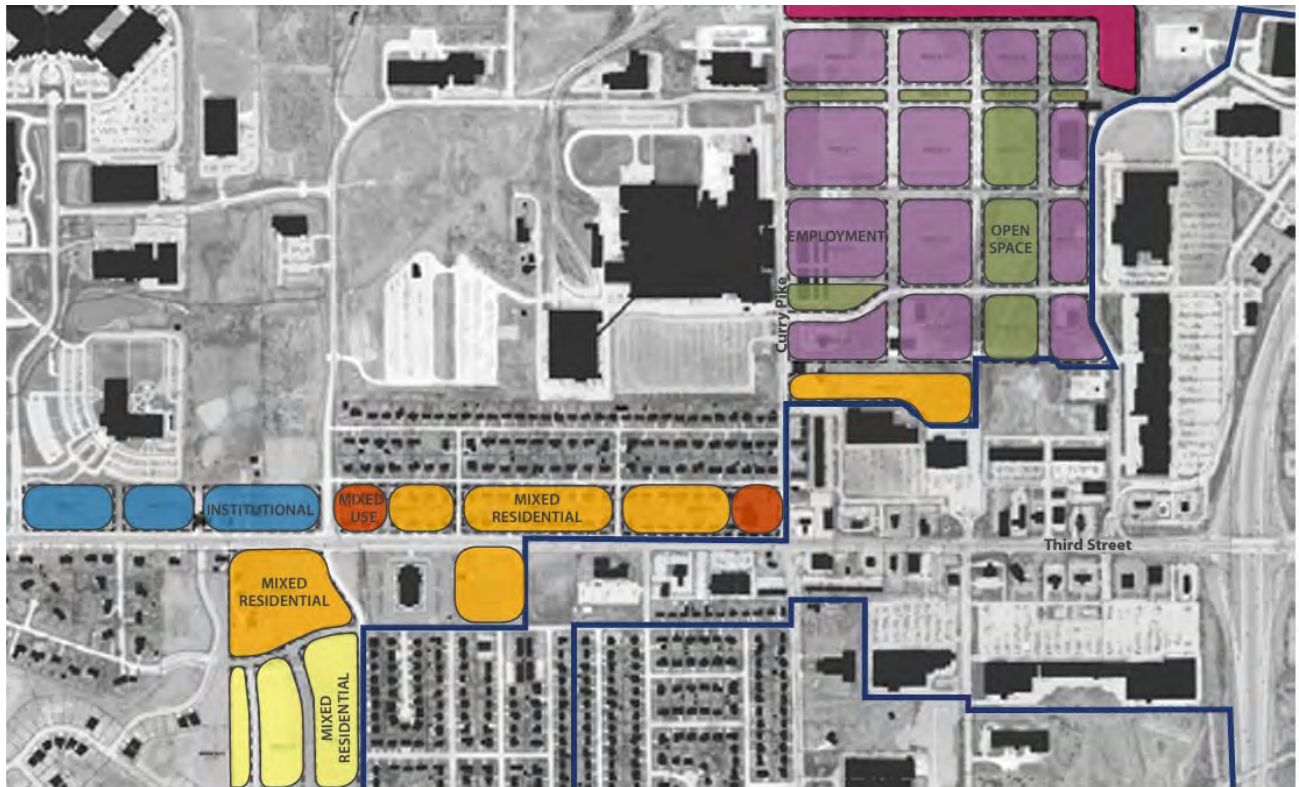
	GATEWAY DISTRICTS			EMPLOYMENT DISTRICTS			NEIGHBORHOOD DISTRICTS				SPECIAL DISTRICTS		
	GATEWAY WEST G1	GATEWAY SOUTH S1	GATEWAY NORTH N1	WEST SIDE EMPLOYMENT E1	SOUTH SIDE EMPLOYMENT E2	AIRPORT E3	URBAN INFILL NEIGHBORHOOD N1	NEIGHBORHOOD DEVELOPMENT N2	CONSERVATION DEVELOPMENT N3	RURAL TRANSITION N4	QUARRY LANDSCAPE QL	OPEN SPACE OS	CIVIC CV
Single Family - Small Lot (Rear-Loaded)		+					+	+	+				
Single Family - Small Lot (Front-Loaded)		+					+	+	+				
Single Family - Contemporary							+	+					
Single Family - Mid-Century							+	+					
Single Family - Rural Residential									+	+			
Attached Townhome	+	+		+			+	+					
Attached Courtyard		+		+				+					
Two-Family Home (Duplex)		+					+	+	+	+			
Multi-Family	+	+		+			+	+					
Commercial	+	+	+	+	+		+	+					
Commercial Outlot	+	+	+	+	+								
Neighborhood Mixed-Use	+	+					+	+					
Mixed-Use	+	+		+			+	+					
Office Building	+	+	+	+	+		+	+					
Civic/Institutional Building	+	+	+				+	+					+
Flex Building - Option A	+	+	+	+	+	+							
Flex Building - Option B				+	+	+							
Large-Format Flex Industrial				+	+	+							
Re-Use/Retrofit	+	+	+	+	+	+	+	+	+	+	+	+	+



Third Street Corridor

The former ABB industrial site on Curry Pike, for example, is a site that could be developed with an industrial use. This site is a remediated brownfield and does not currently support redevelopment with

residential uses. Therefore, the site could be developed with employment focused **mixed-use** and/or integrated industrial. If the site is developed with industrial land uses, new development should be carefully integrated into the character of the corridor given its high visibility and adjacency to other residential and commercial land uses.



FINDINGS OF FACT - REZONE

In preparing and considering proposals to amend the text or maps of this Zoning Ordinance, the Plan Commission and the Board of County Commissioners shall pay reasonable regard to:

(A) The Comprehensive Plan;

Findings:

- The Comprehensive Plan designates the petition site as Mixed Use and Westside Employment.
- The current use of the petition site is vacant;

(B) Current conditions and the character of current structures and uses in each district;

Findings:

- See Findings under Section A;
- The rezone request is to change the zoning;
- The petition site is currently zoned General Industrial (IG);
- Ben Ayers of the Highway Dept. provided the following comment:
 - “Lot #6 & Lot #7 have existing driveway entrances that were constructed as part of the West Profile Parkway Road project. No new driveway entrances will be permitted.”

- Paul Satterly of the Highway Department provided the following comment:
 - “Development should be limited to one existing driveway that accesses Profile Parkway. Second driveway does not need to be removed.”
- The petition site does exhibit some areas of considerable slope greater than 15% (see Site Conditions Map), but is otherwise considerably flat;
- The site is not located within the DNR Best Available Floodplain Map;
- The petition site is not located in the Environmental Constraints Overlay (i.e., the Lake Monroe Watershed);
- There is no evidence of karst/sinkhole features present on or near the petition site according to available contour data;
- An EPA Easement is partially located on Lot 5.

(C) The most desirable use for which the land in each district is adapted;

Findings:

- See Findings under Section A and Section B;
- All adjacent parcels are zoned General Industrial;
- Land uses in the surrounding area are predominantly commercial, industrial, or vacant;

(D) The conservation of property values throughout the jurisdiction; and

Findings:

- Property value tends to be subjective;
- The effect of the approval of the rezone on property values is difficult to determine;

(E) Responsible development and growth.

Findings:

- See Findings under Section A, Section B, and Section C;
- The petition site is two parcels with 12.84 +/- acres;
- The purpose of the rezone is to allow for the permitted use of “Business or Industrial Center” in the General Business (GB) zone, with the intention of allowing for the use of both Automotive Rentals and Convenience Storage at the petition site;
- According to the Monroe County Thoroughfare Plan, W Profile Parkway is designated as a Local roadway.

EXHIBIT 8: Site Photos



Photo 1. Entrance Facing North (Lot 7)



Photo 2. Facing Northeast



Photo 3. Facing Northwest



Photo 4. Facing West



Photo 5. Facing South



Photo 6. Facing Northeast



Photo 7. Facing Northeast (Rear of the property) (Adjoining rail spur)



Photo 8. Facing South from rear of the property



Photo 9. Facing Southwest (Lot 6)



**Photo 10. Facing North
(Roundabout connecting Profile Parkway and proposed Sunrise Greetings Extension)**

EXHIBIT 9: Petitioner Letter



2727 N. CENTRAL AVE., PHOENIX, AZ 85004
PHONE: (602) 263-6555 • FAX: (602) 277-5824 • EMAIL: Stephany_Sheeky@uhaul.com

Narrative Project Summary

AMERCO Real Estate Company (AREC) has prepared this application package for the opportunity to receive Monroe County's participation and counseling regarding a Rezoning at the property located at 3274 & 3300 W Profile Pkwy. AREC is the wholly owned real estate subsidiary of the U-Haul System.

The proposed 12.84 acre property is located at 3274 & 3300 W Profile Pkwy. Per Use Determination USE-23-51, U-Haul is proposing to develop the site into a U-Haul Moving Store. This mixed-use site will operate as a "business or industrial center" and will consist of interior self-storage, U-Haul truck and trailer sharing, and related retail sales. This infill development will allow U-Haul to better serve the storage needs of the community and activate a property that is currently vacant.

The property is currently zoned IG (Industrial General). In discussion with the Planning Director and staff, it was determined that a rezone to GB (General Business) would be appropriate for this site and our proposed use. U-Haul is proposing to apply for the rezoning to GB to allow for our proposed use.

Custom site design for every U-Haul store assures that the facility complements the community it serves. Adherence to community objectives is key to ensure each U-Haul store is both a neighborhood asset and an economic success.

U-Haul is more of a commercial type of use that serves residential communities within a 3-5-mile radius. We feel the U-Haul would be an appropriate use for the property and there are proven benefits for allowing self-storage facilities in communities:

- Self-storage facilities are quiet
- They provide an excellent buffer between zones
- They create very little traffic
- They have little impact on utilities
- They have no impact on schools
- They provide a good tax revenue
- They provide a community service

U-Haul Moving and Storage is a convenience business. Our philosophy is to place U-Haul stores in high growth residential areas, where we fill a need for our products and services. Customers are made aware of the U-Haul store, primarily via drive-by awareness, much like that of a convenience store, restaurant or hardware store. Attractive imaging and brand name recognition bring in area residents — by our measures, those who live within a four-mile radius of the center.

The U-Haul Store:

U-Haul stores characteristically serve the do-it-yourself household customer. The U-Haul Store will be staffed with 10-15 employees, both full-time and part-time. Families will generally arrive in their own automobiles, enter the showroom and may choose from a variety of products and services offered there. When situated near public transit, approximately 50% of those families utilize alternative transportation to access U-Haul equipment and services.

- Families typically use U-Haul Self-Storage rooms to store furniture, household goods, sporting equipment, or holiday decorations. During transition periods between moves, moving to a smaller home, combining households, or clearing away clutter to prepare a home for sale, storage customers will typically rent a room for a period of two months to one year.
- U-Haul stores also provide truck and trailer sharing for household moving, either in-town or across country.
- Families who need packing supplies in advance of a move or to ship personal packages can choose from a variety of retail sales items, including cartons, tape and sustainable packing materials.
- Families who tow U-Haul trailers, boats, or recreational trailers can select, and have installed, the hitch and towing packages that best meet their needs.
- Moving and storage are synergistic businesses. Over half of our storage customers tell us they used U-Haul storage because of a household move. Customers will typically use U-Haul equipment or their personal vehicle to approach the loading area and enter the building through the singular customer access. All new U-Haul stores are designed with interior storage room access, giving the customer the added value of increased security, and the community the benefit of a more aesthetically pleasing exterior.

Significant Policies:

- Hours of Operation:

Mon. - Thurs.	7:00 a.m. to 7:00 p.m.
Fri.	7:00 a.m. to 8:00 p.m.
Sat.	7:00 a.m. to 7:00 p.m.
Sun.	9:00 a.m. to 5:00 p.m.
- All U-Haul storage customers are issued a card-swipe style identification card that must be used to gain access to their room. This is but one of many security

policies which protect the customer's belongings and decrease the ability of unauthorized access to the facility.

- It is against policy for a business to be operated from a U-Haul storage room.
- Customers and community residents who wish to use the on-site dumpsters for disposing of refuse must gain permission to do so and are assessed an additional fee.
- Items that may not be stored include chemicals, flammables, and paints.
- U-Haul stores are protected by video surveillance.
- U-Haul stores are non-smoking facilities.
- U-Haul will provide added services and assistance to our customers with disabilities.

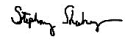
Traffic Study:

- U-Haul stores generate less vehicular traffic volume while still embodying an active-use site. Truck and trailer share and self-storage both represent dynamic transitions from one customer to another. DIY moving customers are presented with opportunities to utilize equipment and storage on a temporary basis, supporting a shared-economy, an effective economic model and an environmentally-sound way to conduct business.

USE COMPARISON					
Use	Square Feet	Traffic Volume		Typical Hours	Days
		Weekday	Weekend		
Fast Food Restaurant	3,000 sq ft	3,161 trips	3,430 trips	18 hours - 24 hours	7
Gas Station w/ Convenience Store	2,200 sq ft	1,200 trips	2,200 trips	18 hours - 24 hours	7
Hotel	50,000 sq ft	905 trips	901 trips	24 hours	7
Casual Dining	5,000 sq ft	1,075 trips	1,258 trips	11 am - 11 pm 12 hours	7
U-Haul Center	80,000 sq ft	31 trips	53 trips	7 am - 7 pm 12 hours	7

U-Haul looks forward to working with Monroe County as you consider the Rezone we are currently submitting.

Sincerely,



Stephany Sheekey, AICP
AMERCO Real Estate - Planner

EXHIBIT 10: USE DETERMINATION

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Monroe County Plan Commission and office of the Monroe County Board of Zoning Appeals
 Monroe County Government Center
 501 N. Morton St., Suite 224
 Bloomington, IN 47404
 Telephone: (812) 349-2560 / Fax: (812) 349-2967
<https://www.co.monroe.in.us/department/?structureid=13>

USE DETERMINATION USE-23-51

Issued on: October 10, 2023

NOTE: Any expansion or change from the description provided to staff using this form may change the use determination. It is recommended that you file a complete application for a permit or approval to establish compliance.

*****THIS IS NOT A PERMIT*****

Use Determination:	Business or Industrial Center
Use Permitted or Not Permitted?:	Not permitted (see below for next steps)
Date Issued:	September 28, 2023
Zoning of the Property:	IG
Current Use of the Property:	Vacant
Owner Name:	BB Profile LLC
Considered a Change of Use:	Yes
Ordinance Reference:	833
Township and Section:	Richland // 36
Zoning/ Floodplain:	IG / No Floodway
ECO:	N/A
Property Setbacks:	Building Setbacks: Front - 55' from centerline or 10' from Right-of-Way (whichever is greater), Side - 12' (0' along railroad easement), Rear - 20' (0' along railroad easement). Parking Setbacks: Front - 65' from centerline or 10' from Right-of-Way (whichever is greater), Side - 6', Rear - 10'
Address / Parcel #:	3274 W Profile PKWY Bloomington 47404 IN / 53-04-36-100-054.007-011
Constraints/Notes:	<p>Use is determined to be: Business or Industrial Center (mixed use). The definition for Business or Industrial Center is:</p> <p>Business or Industrial Center. A site developed and operated under single or common ownership to include of a mix of industrial and/or commercial uses where the majority of uses are permitted under the Business and Personal Services, Retail and Wholesale Trade and Manufacturing, Mining, Construction and Industrial use categories, with customer and employee parking provided on-site, provisions for goods delivery separated from customer access, aesthetic considerations and protection from the elements, and landscaping and signage in accordance with an approved plan.</p> <p>We discussed with the petitioner that a rezone to GB to allow for mixed use under Business or Industrial Center to allow for the following uses -</p> <p>Automotive Rentals. Establishments involved in renting passenger cars, noncommercial trucks, motor homes or recreational vehicles, including incidental parking and servicing of vehicles available for rent.</p> <p>Condition: 21. This use is prohibited in the area within 500 feet, measured perpendicularly from the nearest lane of traffic along State Road 37.</p> <p>Convenience Storage. A storage service primarily for personal effects and household goods within an enclosed storage area having individual access, but excluding uses such as workshops, hobby shops, manufacturing or commercial activities, and may include an on-site apartment for a resident manager.</p> <p>Conditions: 4. On-site apartment shall not exceed one thousand five hundred (1,500) square feet and shall be attached to, and incorporated into, the convenience storage facility. 6. All storage of materials shall be indoors. This condition does not apply to automotive repair when the use is located in a Heavy Industrial (HI) district.</p>

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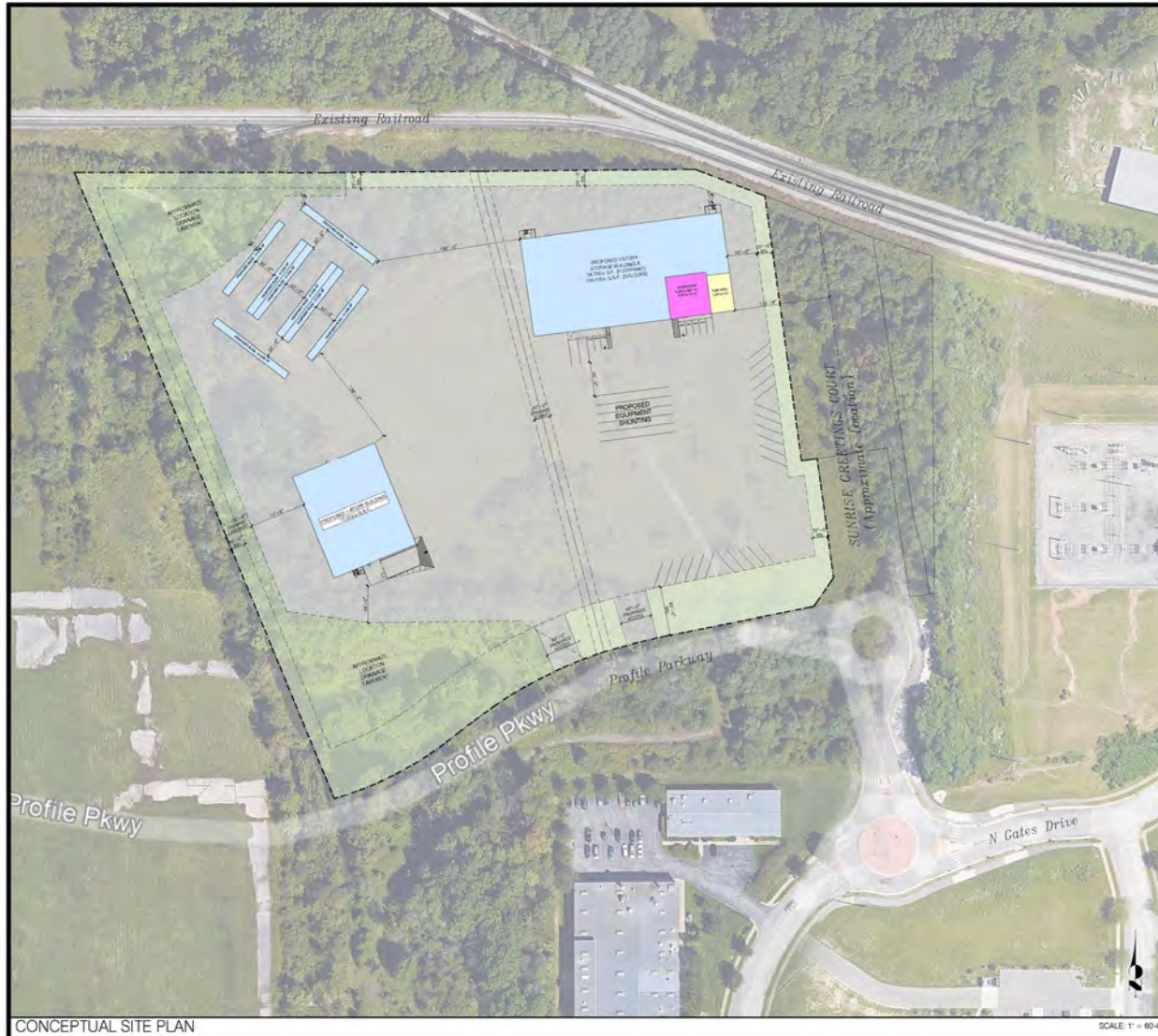
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	<p>21. This use is prohibited in the area within 500 feet, measured perpendicularly from the nearest lane of traffic along State Road 37.</p> <p>A rezone is subject to standards under Ch 831-3.</p> <p>- You may file a pre-design to discuss rezone options, such as to General Business (GB) with a planner: https://monroecountyin.portal.opengov.com/categories/1085/record-types/6475</p>
Reviewed by:	Shawn Smith
Any determination is subject to an appeal per Monroe County Zoning Ordinance Chapter 821, IC 36-7-4, and the Board of Zoning Appeals Rules of Procedure:	<p>https://www.co.monroe.in.us/egov/documents/59990883_fa90_b436_69cd_a52adf7a9902.pdf</p> <p>Appeals must be submitted within 30 days of the Use Determination issuance.</p>

[USE-23-51](#)

This is an e-permit. To learn more, scan this barcode or visit monroecountyin.viewpointcloud.com/#!/records/29450

EXHIBIT 11: Proposed Development



AERIAL SCALE: NTS

ZONING INFORMATION
 PROJECT NAME: U-Haul at Bloomington
 MUNICIPALITY: Monroe County
 PROJECT ADDRESS: 3274 Profile Pkwy Bloomington, IN

Site Area / Land Area: 12.84 acres
Zone: IG (General Industrial)*
 *Review to GB (General Business) is required. Code study will reflect GB code.

Abutting Zoning District:
 N: IG (General Industrial)
 S: IG (General Industrial)
 E: IG (General Industrial)
 W: IG (General Industrial)

Uses: "Business / Industrial Center"

Minimum Lot Area: N/A
Minimum Lot Width at Building Line: 50 ft
Max. Floor Area Ratio: 0.30

Setbacks (Principal Structures):
 From Profile Pkwy parking setback: 65' from centerline of 10' from Right-of-Way, whichever is greater; building setback: 20' from centerline of 10' from Right-of-Way, whichever is greater.
 From Sunrise Overings Court** parking setback: 70' from centerline of 10' from Right-of-Way, whichever is greater; building setback: 60' from centerline of 10' from Right-of-Way, whichever is greater.
 **See plat map for reference
 Side yard parking setback: 6 ft; building setback: 12' (0' along railroad easement)
 Rear yard parking setback: 10 ft; building setback: 20' (0' along railroad easement)

Minimum Open Space Area: 20%
Maximum Building Height: 45 ft

Parking:
 Automotive Storage: 2 spaces per 1000 sq. ft. GFA
 Convenience Storage: 3 spaces per 1000 sq. ft. GFA plus 1 per employee on largest shift

Landscaping:
Perimeter: 5 ft (min) wide strip
 Trees: 1 tree/35 lf of street footage
 Shrubs: 10 shrubs/35 linear ft of street footage
Parking Lot: 10 ft (min) wide strip between a right-of-way and the parking lot
 Trees: 1 tree/35 lf of street footage
 Shrubs: 10 shrubs/35 linear ft of street footage
Interior Landscaping: 10% of total lot area (min)
 Trees: 1 tree & 10 shrubs/15 sq. ft. of landscape area

SHEET TITLE	
REVISIONS	
NO.	DATE
1	
2	
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PROFESSIONAL SEAL	
<p>PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION INFORMATION ONLY</p>	
ARCHITECT: 000	
<p>AMERCO REAL ESTATE COMPANY</p> <p>CONSTRUCTION DEPARTMENT 3274 NORTH CENTRAL AVENUE MODEL, ARIZONA 85004 P. (602) 363-6502</p>	
SITE ADDRESS: U-HAUL at Bloomington 3274 PROFILE PKWY BLOOMINGTON, IN	
SHEET CONTENTS: Conceptual Site Plan	
764---	
DATE: 10/27/23	SP1
099000: 2/14/2010	

- CONCEPTUAL -

EXHIBIT 12: U-Haul Presentation



Ground Ups

Adaptive Reuse

Historic Revitalization



A Sharing Business Since 1945

- U-Haul has 75 years of experience and expertise utilizing a "sharing" business model.
- The Company was founded as WWII was ending and raw materials were in short-supply and veterans and their families were moving towards a new life.
- U-Haul maintains the same premise since inception that the "division of use and specialization of ownership" are good for the public.
- Sharing our equipment with as many customers as possible allows U-Haul to keep the customer's costs low while reducing the need for more privately owned large capacity vehicles in the community.





The city of Grand Rapids, MI

U-Haul Partners with Cities and Towns



U-Haul enhances local businesses and cities by:

- Attracting customers who might not otherwise visit the location.
- Bringing new business to a city, ensuring a viable, expanding local economy.
- Improving the quality of life for residents needing work to support themselves and/or their families.
- Representing a responsible business model which is thoughtful towards the communities in which they do business.



U-Haul Promotes Social and Economic Sustainability

- More than 18 million customers rented U-Haul trucks and trailers in 2016. **U-Haul provides positive economic support to a community** by attracting customers from different regions.
- This added customer base increases awareness of other nearby merchants and fosters relationships that may **bring new business to the city, ensuring a viable, expanding local economy.**
- Increased business traffic may require hiring additional employees, improving the quality of life for residents needing work to support themselves and/or their families.



U-Haul By the Numbers



150,000
Trucks



112,000
Trailers



40,000
Towing Devices



1,800
Company Owned/
Operated Stores



20,000
Independent
Dealers



28,000
Team Members



51.4 Million
Rentable Sq. Ft. of Storage



1,100 Locations
Offering Alternative Fuel

Largest

Retail Network of Propane
in the Country



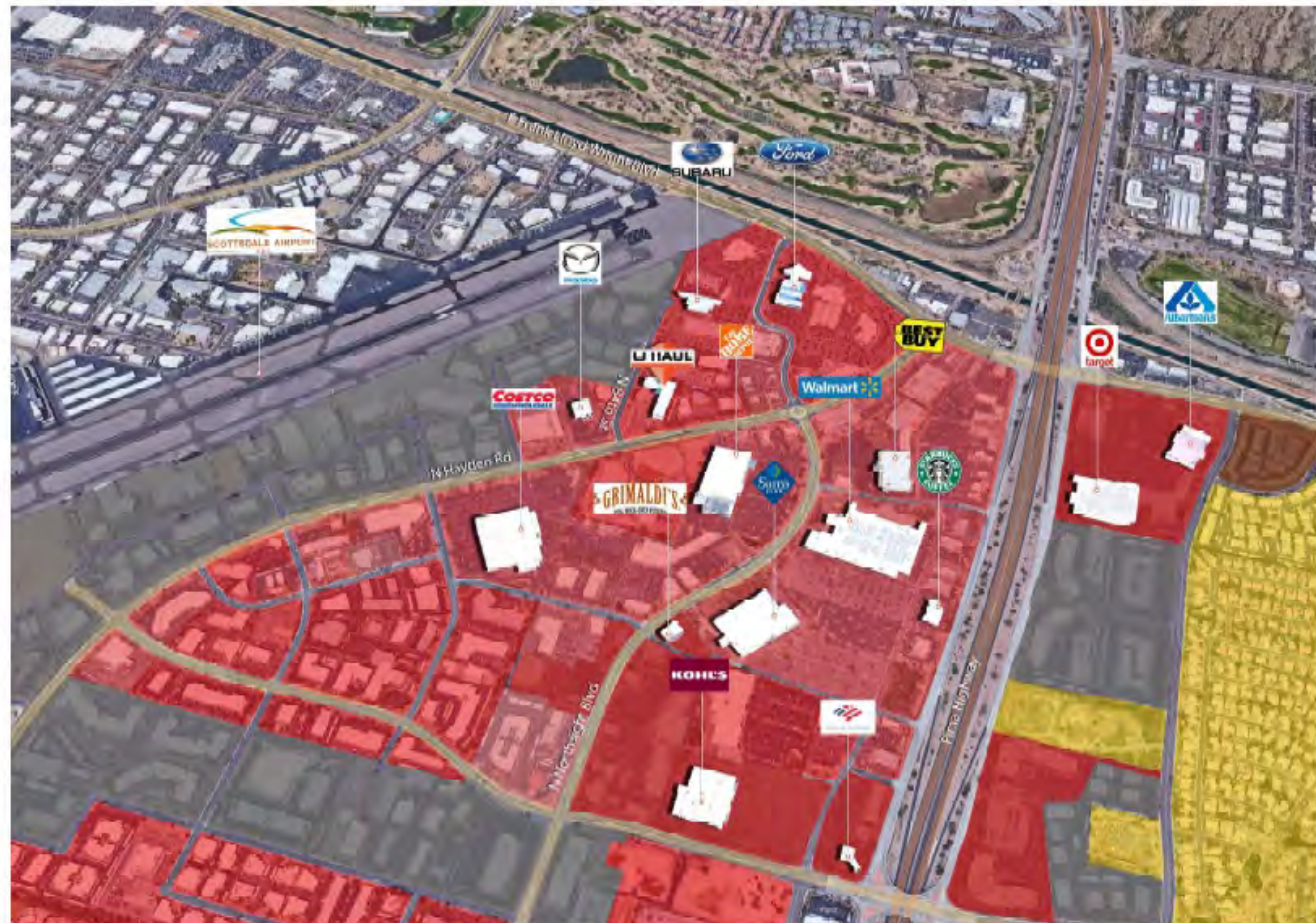
1,300 of 1,800
U-Haul
buildings are adaptive reuse projects

Over time, every U-Haul vehicle placed in a community serves as a potential substitute for 19 personally owned large-capacity vehicles. Trailer sharing reduces environmental impact because trailers do not emit greenhouse gases. Our aerodynamics design optimizes fuel efficiency of the tow vehicle.



Partners for a Dynamic Community

U-Haul has a successful and reliable track record of stability and reliability and is a devoted neighbor in over 1,000 communities in North America



U-Haul Moving and Storage at Hayden Road, 15455 N 84th Street, Scottsdale, Arizona 85260



An Established Reputation Serving Your Community

Ground Ups



U-Haul strives to raise standards and provide a desired and essential product to the communities in which it serves.

Houston, TX

For over 50 years, U-Haul has been recognized as a symbol of quality and reliability throughout the United States and Canada.



Ground Ups



Fort Lauderdale, FL



An Asset To Your Community

Ground Ups



With your input, U-Haul ensures that it builds and operates retail centers that are aesthetically pleasing.

Elk Grove, CA



Ground Ups



Phoenix, AZ



Ground Ups



Lake Wylie, SC



Ground Ups



Laveen, AZ



U-Haul Security Features

- "State-of-the-Art" Burglar/Max Alarm System, includes 24-hour monitoring and interior motion detectors on all storage floors, stairwells and main showroom.
- Hands Free Intercom System, able to communicate to all Max Stations throughout all floors of storage, specifically designed for customers use
- 24 Digital, HD Video surveillance, with remote & web base viewing
- Individually Alarmed Rooms, armed & disarmed by a Keypad/Card swipe
- Programmable, automatic security gates which only allow paying customers to access exterior storage.
- 16+ Color/HD, Day and Night Cameras, will display facilities interior, exterior and elevator.
- Multiple, Audible sirens for Storage and Burglar Alarms
- The Exclusive U-Haul patented latch contact used in all storage units



U-Haul Sustainability Programs



- Box Exchange Program
- Facilitating Multiple Reuses
- Fuel Economy Gages
- U-Car Share
- 100% Biodegradable Packing Peanuts made of a starch mixture, replacing Styrofoam and reducing landfill waste
- Moving Blankets Manufactured from Denim and cotton/polyester
- Re-use Centers at Storage Locations
- Telecommute Program
- The Conservation Fund - Go Zero
- Placing U-Haul Dealerships and equipment in neighborhoods, reducing customer fuel consumption and CO2 generation when obtaining and returning rental equipment.



U-Haul Sustainability Programs



Our centers are constructed with methods and products that reduce energy consumption:

- Butler MR-24 Metal Roof Systems that have a life cycle of 35+ years. These are Energy Star compliant and recyclable.
- Mobile storage rooms made from 95% reused material Motion Sensor Lighting in Storage Centers.
- Permeable ground cover for rental equipment parking and self-storage drives. Reducing development footprint, recharging the ground water, and lowering impact on municipal water management systems.
- Partnership with Arizona State University on incorporating sustainable architecture into U-Haul Centers.
- Locating U-Haul Centers near public transportation lines to reduce customer fuel consumption and CO2 emissions.



Re-Use Centers

To reduce the amount of used goods being dumped, we provide centers in which our customers can leave their unwanted but reusable belongings, such as furniture, for others to take.

U-Haul has implemented more than 450 Storage Re-use Centers across the United States and Canada.

Annually, the existing re-use centers facilitate local residents reusing more than 135,000 household goods, which equates to avoiding:

- 4.6 million pounds of materials being dumped in landfills
- 720,000 pounds of GHG/CO₂ emissions from municipal waste trucks which would have been used to transport the materials to landfills.



Take a Box, Leave a Box

We designate a place at our center for our customers where they can leave their used moving boxes for future customers to reuse. Our idea is that while recycling is great, reuse should occur first to ensure more efficient use of our resources

Box Exchange and Take A Box, Leave A Box, were established in 2007:

- Both programs encourage reuse of U-Haul boxes, which are built to be reused again and again.
- Nearly 1 million boxes are reused every year.



Green Building

U-Haul Sustainable Development

At U-Haul, we are committed to sustainable development through environmental protection, social responsibility, and economic efficiency.

For us, sustainability means embracing our responsibility to act as a good corporate citizen. We are continually refining our products, services, and activities to meet the needs of the present without compromising the ability of future generations to meet their own needs.



Go Zero



Our centers are constructed with methods and products that reduce energy consumption:

To help protect and restore America's special places, U-Haul has partnered with **The Conservation Fund's Go Zero^(SM)** program to plant trees to help "zero out" carbon footprint. We ask customers to donate to the fund, in which The Conservation Fund receives 100% of the donation.

Since 2007, U-Haul and more than 840,000 customers have chosen to offset moving emissions with a donation to The Conservation Fund's Go Zero program.

We've passed along 100% of those contributions, which have planted nearly 300,000 native trees. As they grow, these new forests restore habitat for wildlife, preserve natural ecosystems and clean the air we breathe.



Traffic Studies & Commercial Uses



Our truck and self-storage uses generate less traffic than most other commercial uses.

Use Comparison					
Use	Square Feet	Traffic Volume		Typical Hours	Days
		Weekday	Weekend		
Fast Food Restaurant	3,000 sq ft	3,161 trips	3,430 trips	18 hours – 24 hours	7
Gas Station w/ Convenience Store	2,200 sq. ft.	1,200 trips	2,200 trips	18 hours – 24 hours	7
Hotel	50,000 sq. ft.	905 trips	901 trips	24 hours	7
Casual Dining	5,000 sq. ft.	1,075 trips	1,258 trips	11 am – 11 pm 12 hours	7
U-Haul Center	80,000 sq. ft.	31 trips	53 trips	7 am – 7 pm 12 hours	7



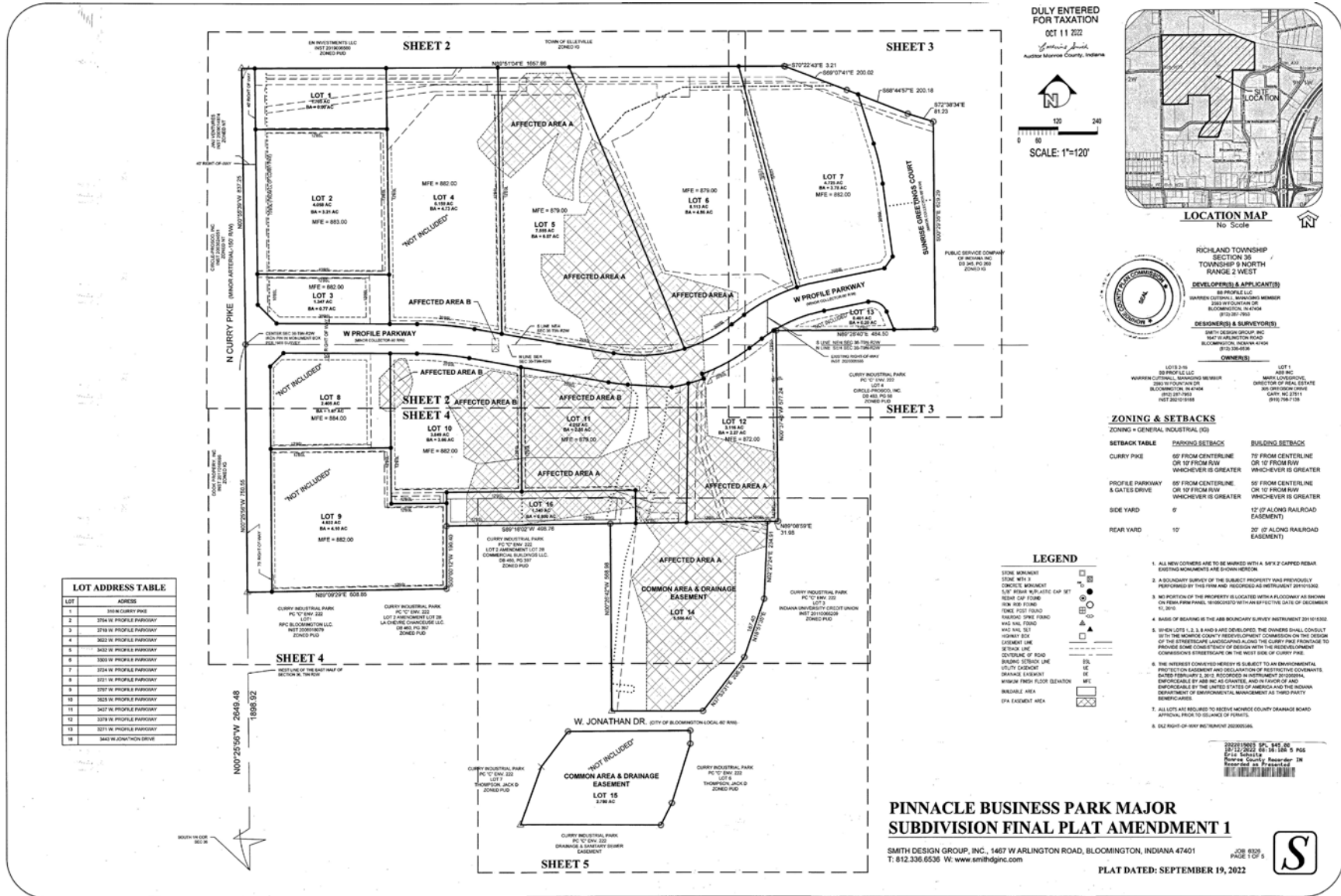
Benefits to Your City



- Promotes growth in your community.
- Promotes sustainability and generates less traffic than other retail or commercial use. Thus, reducing congestion and pollution.
- Promotes sustainability via shared truck system. This reduces customer trip-length and CO₂ emissions.
- The proposed U-Haul would add to the property value and increase the tax base which strengthens the economic base of the community.
- Promotes reuse programs, that help reduce tree harvesting and pulp manufacturing.
- The planned U-Haul expansion would adhere to City Code and standards, creating a new use for an existing site.



EXHIBIT 11: Pinnacle Business Park Major Subdivision Amendment One - Final Plat



LOT	ADDRESS
1	316N CURRY PIKE
2	276N W PROFILE PARKWAY
3	276N W PROFILE PARKWAY
4	302 W PROFILE PARKWAY
5	302 W PROFILE PARKWAY
6	302 W PROFILE PARKWAY
7	224 W PROFILE PARKWAY
8	224 W PROFILE PARKWAY
9	224 W PROFILE PARKWAY
10	342 W PROFILE PARKWAY
11	342 W PROFILE PARKWAY
12	342 W PROFILE PARKWAY
13	342 W PROFILE PARKWAY
14	342 W PROFILE PARKWAY
15	342 W PROFILE PARKWAY
16	342 W JONATHAN DRIVE

DULY ENTERED FOR TAXATION
OCT 11 2022
Author: Monroe County, Indiana



RICHLAND TOWNSHIP
SECTION 35
TOWNSHIP 9 NORTH
RANGE 2 WEST

DEVELOPER(S) & APPLICANT(S)
SMITH DESIGN GROUP, INC.
1467 W ARLINGTON RD
BLOOMINGTON, IN 47401
(317) 336-6536

DESIGNER(S) & SURVEYOR(S)
SMITH DESIGN GROUP, INC.
1467 W ARLINGTON ROAD
BLOOMINGTON, IN 47401
(317) 336-6536

OWNER(S)

LOT 3 & 4 SMITH DESIGN GROUP, INC. 1467 W ARLINGTON RD BLOOMINGTON, IN 47401 (317) 336-6536	LOT 1 MARK KOSCIUSKO DIRECTOR OF REAL ESTATE 1000 W. BLOOMINGTON BLOOMINGTON, IN 47401 (317) 768-1708
---	--

ZONING & SETBACKS
ZONING = GENERAL INDUSTRIAL (G1)

SETBACK TABLE	PARKING SETBACKS	BUILDING SETBACKS
CURRY PIKE 50' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER	75' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER	75' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER
PROFILE PARKWAY & GATES DRIVE 50' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER	50' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER	50' FROM CENTERLINE OR 10' FROM R/W WHICHEVER IS GREATER
SIDE YARD 5'	12' (2' ALONG RAILROAD EASEMENT)	12' (2' ALONG RAILROAD EASEMENT)
REAR YARD 10'	30' (2' ALONG RAILROAD EASEMENT)	30' (2' ALONG RAILROAD EASEMENT)

LEGEND

- STONE WALL/NEED
- STONE WITH X
- CONCRETE WALL/NEED
- 5" S" ASPH/NO-ASPH CAP SET
- REAR CAP FOUND
- 3" S" S&S FOUND
- FENCE POST FOUND
- WOODEN DUNE FENCE
- W&S S&S FOUND
- HOVARY B&S
- CONCRETE LINE
- SETBACK LINE
- EXISTING 6" S&S
- BALDING STRUCK LINE
- UTILITY CONDUIT
- BRANCHED EXHAUST
- W/SPAN FINISH FLOOR ELEVATION
- IRREGULAR AREA
- EP4 EASEMENT AREA

1. ALL NEW CORNERS ARE TO BE MARKED WITH A 5/8" X 2" CAPPED REBAR. EXISTING MONUMENTS ARE 0-DOWN HEREIN.
2. A BOUNDARY SURVEY OF THE SUBJECT PROPERTY WAS PREVIOUSLY PERFORMED BY THIS FIRM AND ACCORDS AS INSTRUMENT 291013302.
3. NO PORTION OF THE PROPERTY IS LOCATED WITHIN A FLOODPLAIN AS SHOWN ON FEMA FIRM PANELS, RECORDED WITH AN EFFECTIVE DATE OF DECEMBER 15, 2010.
4. BASIS OF BEARING IS THE ASS BOUNDARY SURVEY INSTRUMENT 291161332.
5. WHEN CITY, U.S. & STATE ARE DEVELOPER THE DANGER SYMBOL, CONSULT WITH THE MONROE COUNTY REDEVELOPMENT COMMISSION ON THE DESIGN OF THE STREETCROSSING LAYOUTS ALONG THE CURRY PIKE FRONTAGE TO PROVIDE SOME CONSISTENCY OF DESIGN WITH THE REDEVELOPMENT COMMISSION'S STREETCROSSING ON THE WEST SIDE OF CURRY PIKE.
6. THE INTEREST CONVEYED HEREBY IS SUBJECT TO AN ENVIRONMENTAL PROTECTION AGREEMENT AND DECLARATION OF RESTRICTIVE COVENANTS DATED FEBRUARY 1, 2003, RECORDED AS INSTRUMENT 290300004, ENFORCEABLE BY ABC INC AS CHAIRMAN, AND IN FAVOR OF AND ENFORCEABLE BY THE UNITED STATES OF AMERICA AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AS THIRD PARTY BENEFICIARIES.
7. ALL LOTS ARE REQUIRED TO HAVE A MONROE COUNTY DRAINAGE BOARD APPROVAL PRIOR TO ISSUANCE OF PERMITS.
8. 6" S&S RIGHT-OF-WAY SETBACK REQUIRED.

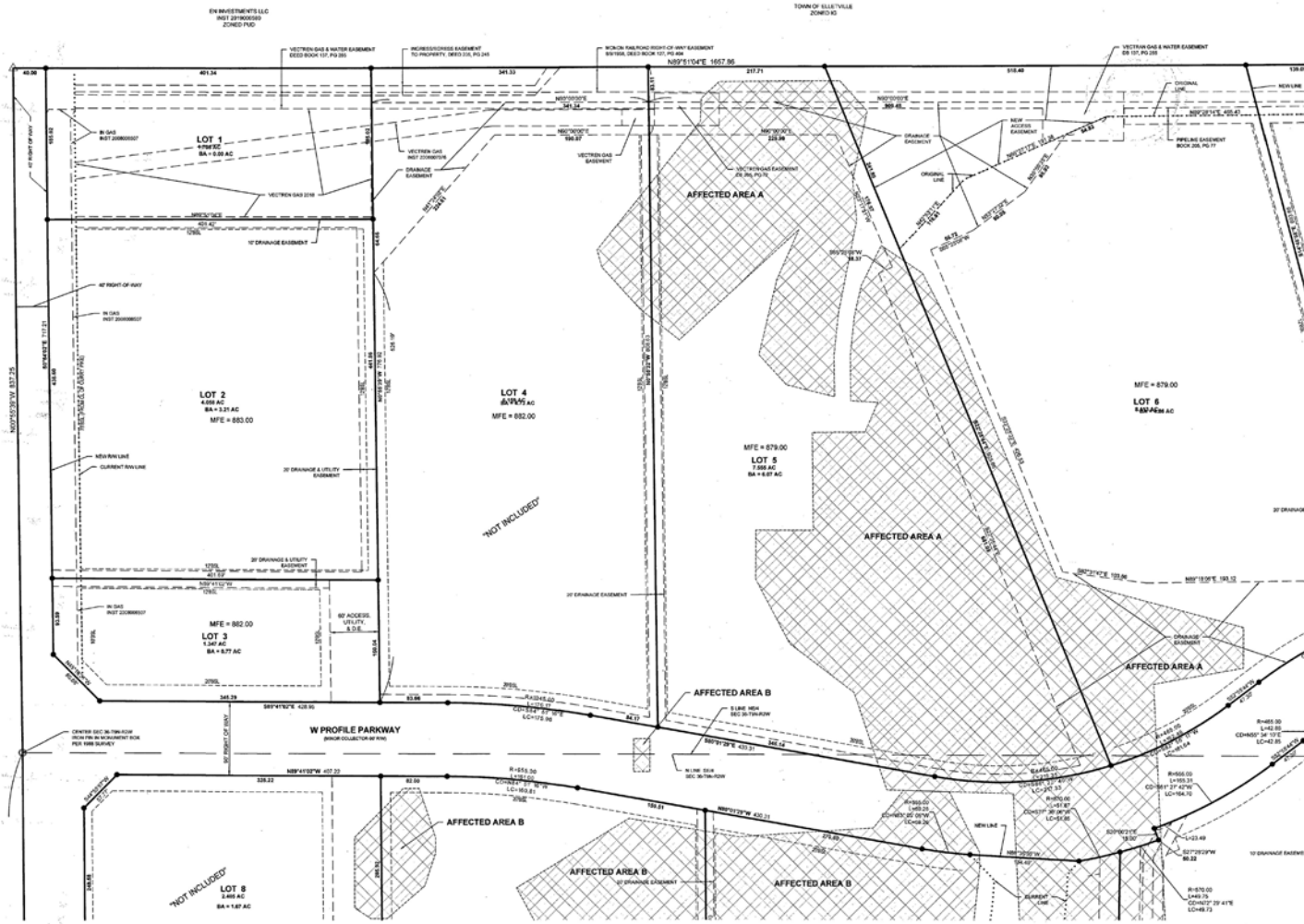
PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1

SMITH DESIGN GROUP, INC., 1467 W ARLINGTON ROAD, BLOOMINGTON, INDIANA 47401
T: 812.336.6536 W: www.smithdgr.com

JOB #208
PAGE 2 OF 5

PLAT DATED: SEPTEMBER 19, 2022





LEGEND

STONE MONUMENT	□
STONE MARK	□
CONCRETE MONUMENT	□
5/8\"/>	

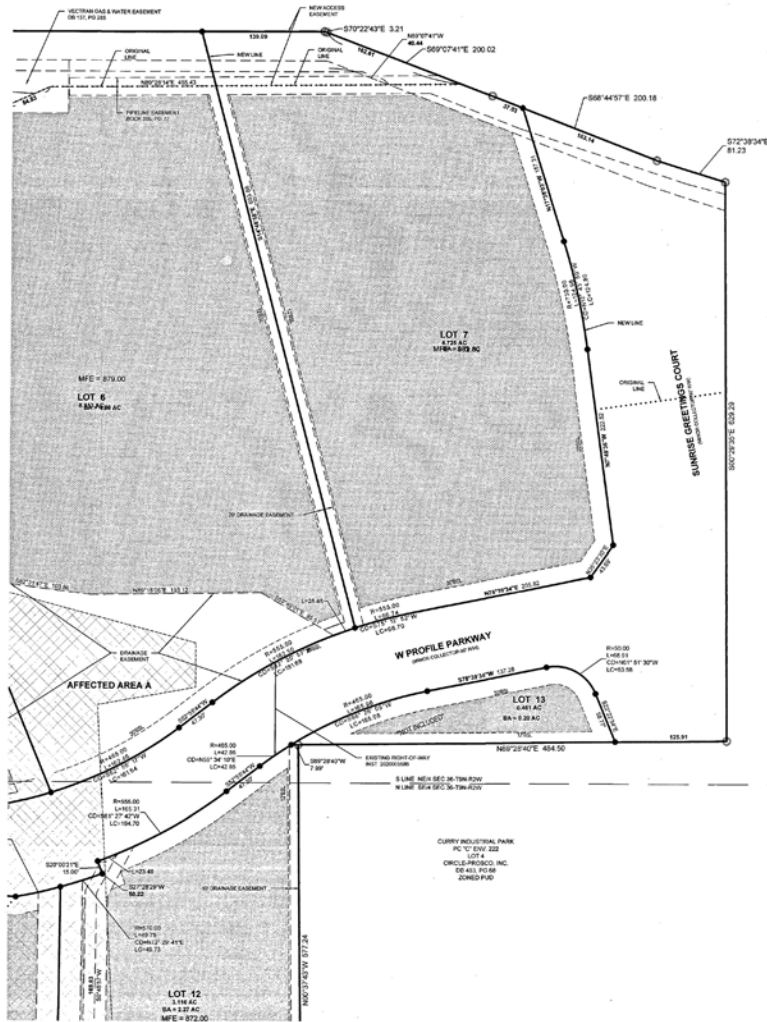
PROVISIONAL DATE: 08.18.2022
 2012/2022 08.18.2022 5 PGS
 24 10/18/2022
 Pottsville County Recorder IN
 Printed on Demand

PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1

SMITH DESIGN GROUP, INC., 1487 W ARLINGTON ROAD, BLOOMINGTON, INDIANA 47401
 T: 812.336.6536 W: www.smithdgc.com

JOB: 6309
 PAGE: 2 OF 5
 PLAT DATED: SEPTEMBER 19, 2022





SCALE: 1"=60'

LEGEND

- STONE MONUMENT
- STONE WITH X
- CONCRETE MONUMENT
- 3/4" RED BR ALUMINUM CAP SET
- 1/2" COP FOUND
- IRON ROD FOUND
- TRUSS POST FOUND
- PAVING SPINE FOUND
- WOOD NAIL FOUND
- WIRE NAIL SET
- POURTY BOX
- EASEMENT LINE
- SEWERAGE LINE
- CONTRIBUTOR OF ROAD
- BUILDING SETBACK LINE
- UTILITY EASEMENT
- DRAINAGE EASEMENT
- RELEASED AREA
- EPH EASEMENT AREA

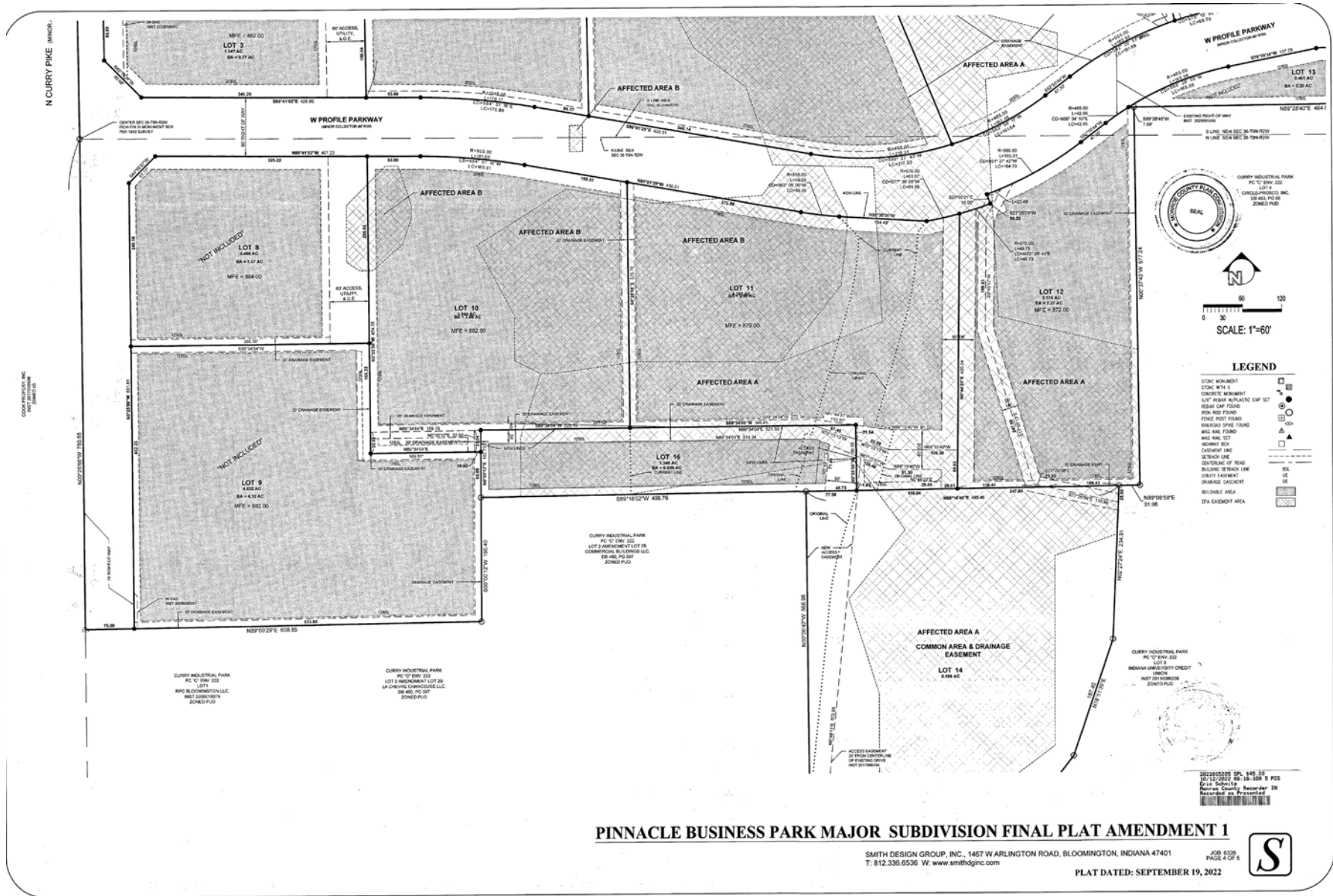
2022012005 SPL 045 00
 20 11 2022 08 18 100 W PCS
 Eric Saphire
 Monroe County Recorder IN
 Recorder's Office

PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1

SMITH DESIGN GROUP, INC., 1487 W ARLINGTON ROAD, BLOOMINGTON, INDIANA 47401
 T: 812.336.6536 W: www.smithdgn.com

PLAT DATED: SEPTEMBER 19, 2022





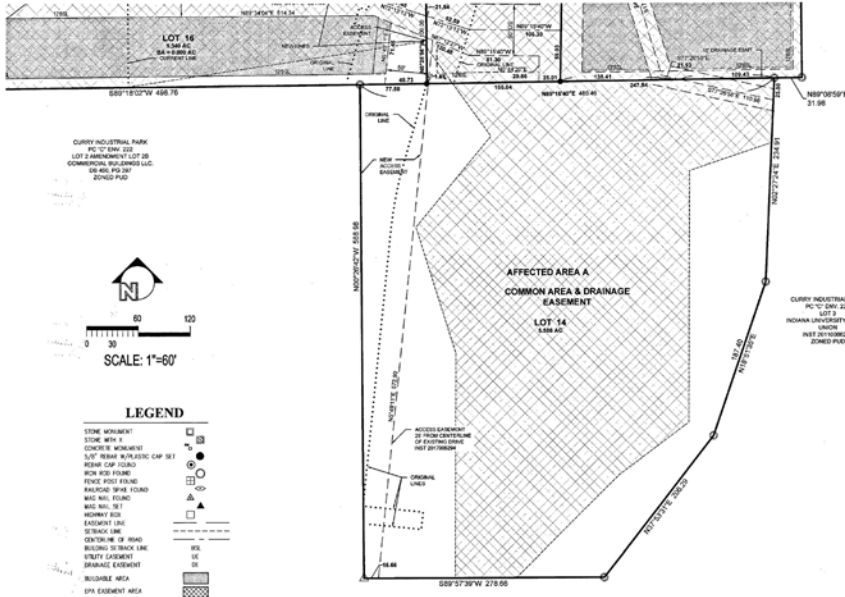
PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1

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JOB #328
 PAGE 4 OF 5



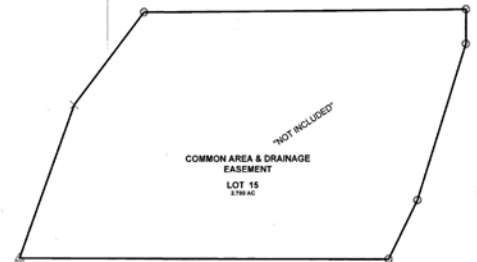
PLAT DATED: SEPTEMBER 19, 2022



LEGEND

TIME W/AVENUE	□
STONE W/AVENUE	□
5/8" REBAR W/PLASTIC CAP SET	□
REBAR CAP FOUND	○
REBAR W/ FOUND	○
REBAR W/ FOUND	○
REBAR W/ FOUND	○
REBAR W/ SET	○
REBAR W/ SET	○
EASEMENT LINE	---
STREET LINE	---
CONCRETE OR BRICK	---
STREET EASEMENT	---
SHADED EASEMENT	---
BUILDABLE AREA	---
ENV. EASEMENT AREA	---

CURRY INDUSTRIAL PARK
PC '10' ENV. 222
LOT 1
THOMPSON JACK O
ZONED PUD



CURRY INDUSTRIAL PARK
PC '10' ENV. 222
CHANGE 5 SANITARY SEWER
EASEMENT

PURPOSE
THE PURPOSE OF THIS PLAT AMENDMENT IS TO NARROW THE RIGHT OF WAY ALONG CURRY PIKE NORTH OF PROFFER PARKWAY FROM 75 FEET TO 45 FEET; REMOVE THE RIGHT OF WAY OF KORNEN DRIVE AND RIGHT OF WAY FOR SUNBURST (GARDEN COURT) (CORNERLY GATES DRIVE) NORTH OF PROFFER PARKWAY; CHANGE THE NORTH LINE OF LOT 8 AND 7 TO AN ACCESS EASEMENT; EXTEND THE WEST LINE OF LOT 8 AND THE LINE RP (RIBBON LOT 8) AND 7 TO THE NORTH LINE OF THE SUBDIVISION; AND CHANGE LOT 16. THESE CHANGES AFFECT LOTS 2, 3, 4, 6, 7, 10, 11, 12, & 14.

SURVEYOR'S CERTIFICATE
THIS SURVEY WAS PERFORMED UNDER THE DIRECTION OF THE UNDERSIGNED, AND TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE AND BELIEF WAS EXECUTED ACCORDING TO SURVEY REQUIREMENTS IN SEC. 1-3 FOR THE STATE OF INDIANA.

CERTIFIED THIS 25 TH DAY OF SEPTEMBER 2022

TMB
TODD M. BORKHORN
REGISTERED LAND SURVEYOR NO. LS1200021
STATE OF INDIANA



I AFFIRM UNDER THE PENALTIES FOR PERJURY THAT I HAVE TAKEN REASONABLE CARE TO REVEAL EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT UNLESS REQUIRED BY LAW.
TODD M. BORKHORN

LEGAL DESCRIPTION
LOTS 2, 3, 4, 6, 7, 10, 11, 12, AND 14 IN PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT, AS SHOWN BY THE PLAT HEREBY RECORDED (SEPTEMBER 14, 2021, AS INSTRUMENT NUMBER 20210942) IN THE OFFICE OF THE RECORDER IN MONROE COUNTY, INDIANA.
ALSO:
KORNEN DRIVE AS DESCRIBED IN PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT, AS SHOWN BY THIS PLAT (HEREBY RECORDED BY INSTRUMENT NO. 2022, AS INSTRUMENT NUMBER 20220942) IN THE OFFICE OF THE RECORDER IN MONROE COUNTY, INDIANA.
ALSO:
22 FEET OFF THE EAST SIDE OF NORTH-CURRY PIKE LYING NORTH OF WEST PROFFER PARKWAY AS DESCRIBED IN PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT, AS SHOWN BY THE PLAT HEREBY RECORDED (SEPTEMBER 14, 2021, AS INSTRUMENT NUMBER 20210942) IN THE OFFICE OF THE RECORDER IN MONROE COUNTY, INDIANA.

OWNER - LOTS 2, 3, 4, 6, 7, 10, 11, 12, & 14
THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS INSTRUMENT NUMBER 20210942 IN THE OFFICE OF THE RECORDER IN MONROE COUNTY, INDIANA.
THE INTEREST CONVEYED HEREBY IS SUBJECT TO AN ENVIRONMENTAL PROTECTION EASEMENT AND DECLARATION OF RESTRICTIVE COVENANTS, DATED FEBRUARY 2, 2016, RECORDED AS INSTRUMENT 20160048, ENFORCEABLE BY ABE INC AS GRANTEE, AND IN FAVOR OF AND ENFORCEABLE BY THE UNITED STATES OF AMERICA AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AS THIRD PARTY BENEFICIARIES.
THE AFFECTED AREAS ARE SHOWN AND DESCRIBED IN THIS DOCUMENT AND SHOWN GRAPHICALLY ON THIS PLAT DOCUMENT FOR REFERENCE ONLY.
ALL STREETS, ALLEYS AND DEDICATED RIGHT OF WAYS ARE HEREBY DEDICATED TO THE PUBLIC. THERE ARE EASEMENTS AND BUILDING SETBACKS ON THE PLAT UPON WHICH NO STRUCTURES MAY BE SITED OR IMPOSED.
THE UNDERSIGNED, MARK LONGCORE, MEMBER OF BE PROFFER LLC, BEING THE OWNER OF THE ABOVE DESCRIBED REAL ESTATE, DOES HEREBY LAY OUT, PLAT AND SUBDIVIDE THE SAME INTO LOTS AND STREETS IN ACCORDANCE WITH THIS PLAT. THIS INSTRUMENT SHALL BE RECORDED AND DESIGNATED AS PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1.

EXECUTED THIS 6TH DAY OF OCTOBER 2022
Mark Longcore
MARK LONGCORE, DIRECTOR OF REAL ESTATE, ABE, INC.
BE PROFFER LLC - CURRY PIKE AREA ASSOCIATION LLC
Notary Public - State of Indiana
Notary Public - State of Indiana
6000 Evans Ave
Green County
IN 46038-0001

NOTARY
STATE OF INDIANA
COUNTY OF GREEN
BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY OF GREEN, PERSONALLY APPEARED MARK LONGCORE, PERSONALLY KNOWN TO ME, TO BE THE DIRECTOR OF REAL ESTATE, AND THE OWNER OF THE FOREGOING PLAT FOR THE REAL ESTATE SHOWN AS PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1, AS THE VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.
WITNESSED MY HAND AND NOTARIAL SEAL THIS 6TH DAY OF OCTOBER 2022.
Deborah J. Banta
11/11/23
MY COMMISSION EXPIRES 11/11/25
A RESIDENT OF GREEN COUNTY

OWNER - LOT 1
THE REAL ESTATE DESCRIBED ON THIS PLAT SHALL BE AND IS HEREBY SUBJECT TO THE TERMS AND CONDITIONS OF THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS INSTRUMENT NUMBER 20210942 IN THE OFFICE OF THE RECORDER IN MONROE COUNTY, INDIANA.
THE INTEREST CONVEYED HEREBY IS SUBJECT TO AN ENVIRONMENTAL PROTECTION EASEMENT AND DECLARATION OF RESTRICTIVE COVENANTS, DATED FEBRUARY 2, 2016, RECORDED AS INSTRUMENT 20160048, ENFORCEABLE BY ABE INC AS GRANTEE, AND IN FAVOR OF AND ENFORCEABLE BY THE UNITED STATES OF AMERICA AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AS THIRD PARTY BENEFIICIARIES.
THE AFFECTED AREAS ARE SHOWN AND DESCRIBED IN THIS DOCUMENT AND SHOWN GRAPHICALLY ON THIS PLAT DOCUMENT FOR REFERENCE ONLY.
ALL STREETS, ALLEYS AND DEDICATED RIGHT OF WAYS ARE HEREBY DEDICATED TO THE PUBLIC. THERE ARE EASEMENTS AND BUILDING SETBACKS ON THE PLAT UPON WHICH NO STRUCTURES MAY BE SITED OR IMPOSED.
THE UNDERSIGNED, MARK LONGCORE, DIRECTOR OF REAL ESTATE, ABE, INC., BEING THE OWNER OF THE ABOVE DESCRIBED REAL ESTATE, DOES HEREBY LAY OUT, PLAT AND SUBDIVIDE THE SAME INTO LOTS AND STREETS IN ACCORDANCE WITH THIS PLAT. THIS INSTRUMENT SHALL BE RECORDED AND DESIGNATED AS PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1.

EXECUTED THIS 04TH DAY OF OCTOBER 2022
Mark Longcore
MARK LONGCORE, DIRECTOR OF REAL ESTATE
ABE, INC.
NOTARY
STATE OF NORTH CAROLINA
COUNTY OF WAKE
BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE AND COUNTY OF GREEN, PERSONALLY APPEARED MARK LONGCORE, PERSONALLY KNOWN TO ME, TO BE THE DIRECTOR OF REAL ESTATE, ABE, INC., AND BEING THE OWNER OF THE BEHIND-HILL ESTATE, AND BEING A KNOWLEDGEABLE PERSON AS TO THE CONTENTS OF THE BEHIND-HILL ESTATE, AND HERIN-A-KNOWLEDGELESS PERSON AS TO THE CONTENTS OF THIS PLAT AMENDMENT 1, AS THE VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.
WITNESSED MY HAND AND NOTARIAL SEAL THIS 4TH DAY OF OCTOBER 2022.
Mark Longcore
7-16-2024
MY COMMISSION EXPIRES 7-16-2024
A RESIDENT OF WAKE COUNTY

MONROE COUNTY PLAN COMMISSION
UNDER THE AUTHORITY OF CHAPTER 36, ACTS OF 1965, AS AMENDED, GENERAL ASSEMBLY OF THE STATE OF INDIANA, AND THE MONROE COUNTY SUBDIVISION CONTROL ORDINANCE, THIS PLAT HAS APPROVED BY THE MONROE COUNTY PLAN COMMISSION AT A MEETING HELD AUGUST 1, 2022.
Robert A. Ochs
ROBERT A. OCHS, SECRETARY
COUNTY PLAN COMMISSION
SEAL

RECORDED
SEP 14 2022
10:13:22 AM
MONROE COUNTY RECORDER IN
BLOOMINGTON, INDIANA

PINNACLE BUSINESS PARK MAJOR SUBDIVISION FINAL PLAT AMENDMENT 1

SMITH DESIGN GROUP, INC., 1467 W. WASHINGTON ROAD, BLOOMINGTON, INDIANA 47401
T. 812.336.6536 W. www.smithdgc.com

PLAT DATED: SEPTEMBER 19, 2022



PLANNER	Daniel Brown
CASE NUMBER	SPP-23-4
PETITIONER	Blackwell Contractors Inc. c/o Scott Pardue, Smith Design Group
ADDRESS	4050 W Carmola DR; 53-04-24-200-135.000-011
REQUEST	Spring Woods Major Subdivision Preliminary Plat Preliminary Hearing. Waiver of Final Hearing Requested
ACRES	2.367 +/- acres
ZONE	Medium-Density Residential
TOWNSHIP	Richland
SECTION	24
PLATS	Unplatted
COMP PLAN DESIGNATION	Designated Communities

RECOMMENDATION

Staff recommends **approval** based on the finding that the proposed preliminary plat meets the Subdivision Control Ordinance **with the following conditions**:

1. Add the note to the plat “All new utilities, including but not limited to gas, sewer, electric power, telephone and CATV shall be located underground throughout the subdivision per 856-41.”
2. The preliminary plat must include additional information regarding the street trees, including their species and amount, and must achieve the 20% required biodiversity.
3. Sidewalks be added to the south side of Carmola Drive per Chapter 856-40, which says: (A) Sidewalks shall be included within the dedicated, unpaved portions of the rights-of-way **on both sides of all streets** when any of the following are applicable:
(6) a proposed subdivision will result in the creation of at least five lots where any of the lots in the proposed subdivision are less than 2.5 acres in size
4. Petitioner to provide an additional 5 feet of right-of-way for lots 1-3 so that the right-of-way on the north side of Carmola will be consistent. Street trees will need to be relocated outside of the right-of-way with this change.

Plat Committee Meeting – December 21, 2023

Plat Committee did not meet due to lack of quorum. No recommendation.

Plan Commission Regular Meeting – January 16, 2024 (Preliminary Hearing)

Waiver of final hearing requested.

Plan Commission Regular Meeting – February 20, 2023 (Final Hearing)

SUMMARY

The petitioner is proposing a 7-lot Major Subdivision Preliminary Plat with no waiver requests. This subdivision is being proposed for the purpose of creating six Single-Family Residential lots, and one common area used for drainage. The property is zoned Medium-Density Residential (MR) and was recently rezoned to MR from Agriculture/Rural Reserve (AG/RR) in 2021 (Ordinance 2021-32, approved by the County Commissioners on November 3, 2021). All proposed lots will meet the minimum requirements for subdividing land in their respective zoning district. A Will-Serve letter for sewer has been obtained. Right-of-Way permits have been applied for and are pending the approval of this subdivision.

This subdivision was presented to the Drainage Board during their December 6, 2023, meeting. It was decided that the Stormwater Division of the Highway Department would be further inspecting the drainage for the offsite pond to the east and find out where it drains (currently unknown).

Comments from Highway Department:



Right of way Activity permits have been submitted and will be approved pending Final Plat. See RW-23-333, RW-23-334, RW-23-335, RW-23-336, RW-23-337 & RW-23-338.

Driveway entrance on Lot #3 shall be located near the west property line due to the intersection of West Carmola Drive and North Norway Drive.

Driveway entrance on Lot #5 shall be located near the east property line due to the intersection of West Carmola Drive and North Norway Drive.

All approved driveway entrance(s), existing or proposed shall be marked on the Final Plat.

BACKGROUND

The proposed subdivision will create seven lots out of 2.367 +/- acres. Below is a summary table of facts regarding the proposed seven lots.

Right-of-way permits have been applied for and are pending. In addition, extra Right-of-Way was dedicated to accommodate the sidewalk design, which otherwise would have extended out of the right-of-way. REZ-21-1 had a condition of approval stating the petitioner was to “Submit a written commitment to dedicate temporary right-of-way to the County for future Carmola Drive improvements.” This Temporary Right-of-Way Easement (Instrument Number: 2021022848) has been shown on the Preliminary Plat.

Drainage is undergoing review by the Stormwater division.

Street trees are required for this subdivision and have been shown on the Preliminary Plat diagrams. However, information regarding their size or species has not been included. Including this information on the Preliminary Plat diagram has been made a Condition of Approval. In addition, a five-foot wide sidewalk is also included in the proposal on the same side of the road as the subdivision. However, Major Subdivisions require sidewalks to be installed on both sides of the road. Adding a sidewalk to the south-side of Carmola Drive has been included in the Conditions of Approval.

There is a utility pole on the same side of W Carmola DR as the proposed subdivision. However, this has been determined to be in the Right-of-Way. Thus, no overhead utility waiver is required. The Preliminary Plat is proposing removal of this utility pole in coordination with Duke Energy, who provides the electricity.

There are no waiver requests for this subdivision petition. However, Lot 7 is a proposed drainage easement and will not be counted as a buildable lot. A CSGP will be required along with the grading permits for the improvements.

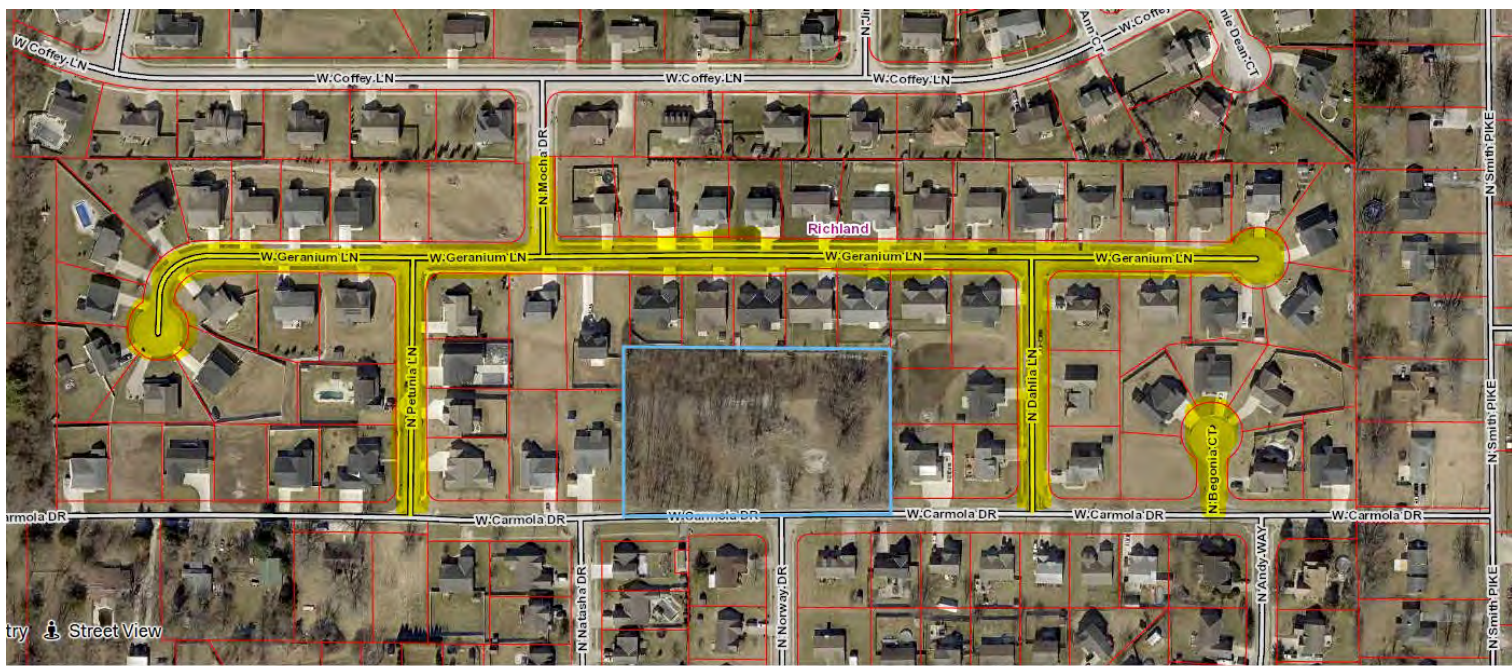
Below is a summary of the lot configurations.

	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5	Lot 6	Lot 7
Acreage / Buildable Area (+/-)	0.263 acres / 0.127 acres	0.263 acres / 0.177 acres	0.263 acres / 0.177 acres	0.263 acres / 0.177 acres	0.263 acres / 0.177 acres	0.263 acres / 0.134 acres	0.790 acres / None
Wastewater	Sewer (Eastern Richland Sewer Corporation)	Sewer (Eastern Richland Sewer Corporation)	Sewer (Eastern Richland Sewer Corporation)	Sewer (Eastern Richland Sewer Corporation)	Sewer (Eastern Richland Sewer Corporation)	Sewer (Eastern Richland Sewer Corporation)	N/A
Water	Ellettsville Utilities	Ellettsville Utilities	Ellettsville Utilities	Ellettsville Utilities	Ellettsville Utilities	Ellettsville Utilities	N/A
Electric	Duke Energy	Duke Energy	Duke Energy	Duke Energy	Duke Energy	Duke Energy	N/A
Property	W Carmola	W Carmola	W Carmola	W Carmola	W Carmola	W Carmola	N/A

Access	Road	Road	Road	Road	Road	Road	
Total R/W Dedication; W Carmola DR (Local)	25 feet; RW-23-333	25 feet; RW-23-334	25 to 30 feet; RW-23-335	30 feet; RW-23-336	31 feet; RW-23-337	31 feet; RW-23-338	N/A
Environmental Conditions	None	None	None	None	None	None	N/A
Existing Structure(s)	Vacant	Vacant	Vacant	Vacant	Vacant	Vacant	Vacant

In addition, the developer in this petition may be involved in an adjacent subdivision that has been constructed in the past. As part of our reporting on subdivisions that remain unbuilt, we want to provide the following history:

To date, the County holds a fund line in the amount of \$67,083.50 (cashd in 2014 since Developer walked away) for Glen Meadows Section I and II for street trees and sidewalks. We have received complaints in this area from neighbors regarding stormwater issues, and the fact that the roadways are still private and therefore not plowed by the County. When reviewed by the Highway Department, a few concerns include lack of street trees, missing sidewalk, missing ADA ramps, asphalt needing replacement, stormwater infrastructure requiring as-builts and further review, and more. Since the developer never completed the improvements, the roadway segments highlighted below (W Geranium, part of N Mocha Dr, N Petunia Ln, N Dahlia Ln, and N Begonia Ct) cannot be accepted into the County Inventory. The remaining funds are not enough to complete the subdivision list of improvements due to a lack of adjustment for inflation, and wear and tear on initial improvements put in place. Our understanding is that Kenny Blackwell and/or Don Grubb have retained ownership of the private infrastructure. When there is a snow event, we continue to receive calls from neighbors complaining that there are several hours/days that they must wait for the road to be plowed by the private developer. Planning and Highway would like to see the roadway completed and accepted into the County Inventory. Below is an image of the roadway segments **not** in the County Inventory that are highlighted in yellow in relation to the property to be subdivided highlighted in blue outline:

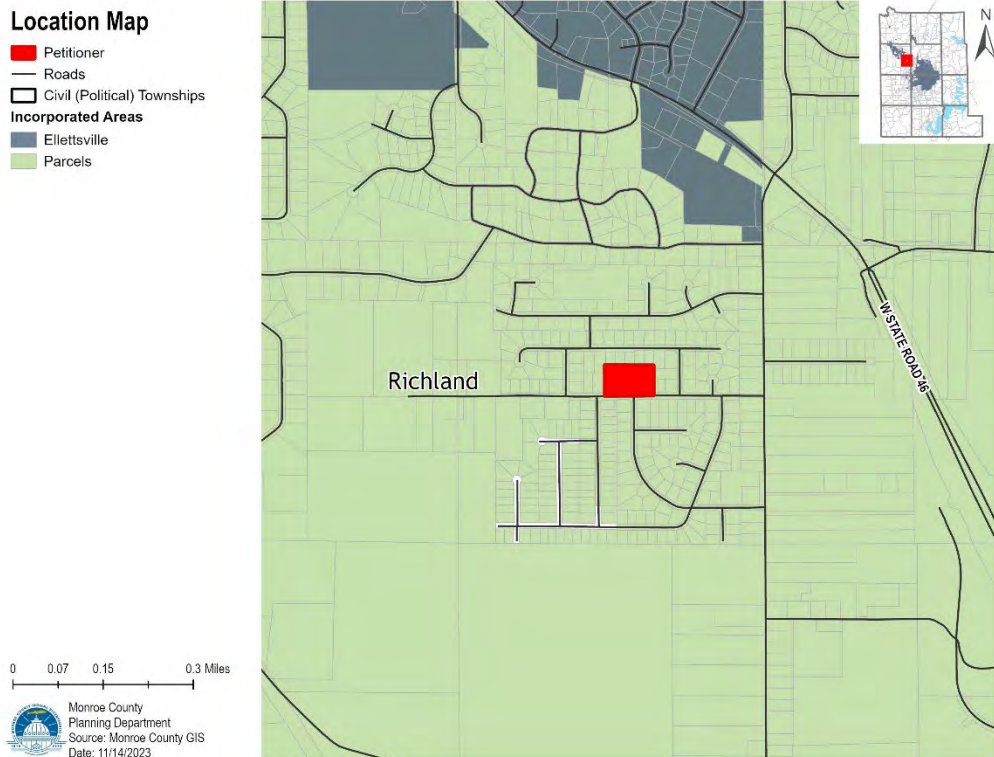


EXHIBITS - Immediately following report

1. County Maps
2. Site Photos
3. Capacity Letter - Sewer
4. Comprehensive Plan Discussion
5. Planning Staff Findings of Fact
6. Preliminary Plat

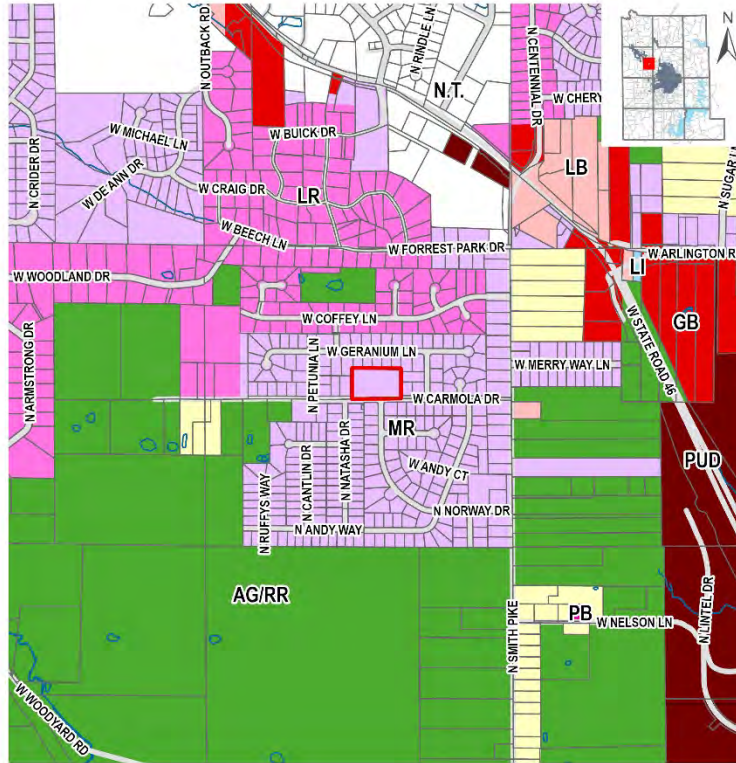
EXHIBIT 1: County Maps

LOCATION MAP



ZONING

The zoning for the petition site and adjacent properties are zoned Medium-Density Residential (MR).



SITE CONDITIONS MAP

The petition site is mainly slopes under 15%. The buildable area requirements will still be satisfied.

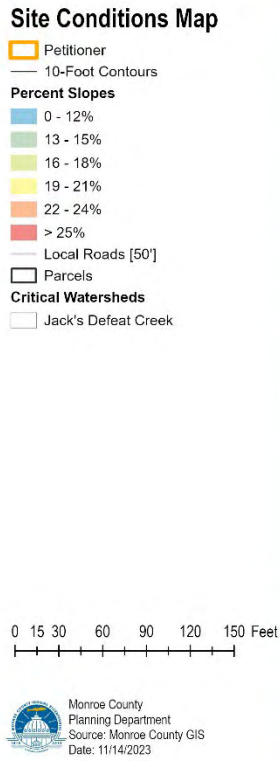


EXHIBIT 2: Site Pictures



Photo 1: A view of the western end of the lot from the corner of W Carmola DR and N Norway DR



Photo 2: A view of the center of the lot from the corner of W Carmola DR and N Norway DR



Photo 3: A view of the eastern end of the lot from the corner of W Carmola DR and N Norway DR

Eastern Richland Sewer Corporation

P.O. Box 505, Ellettsville, IN 47429-0505 Ph: (812) 272-2869

“Meeting the needs of our customers. Caring for others.”

March 9, 2023

RE: Will Serve and Flow Acceptance

To Whom It May Concern,

Eastern Richland Sewer Corporation has adequate sewer flow capacity for the single family six lot proposed subdivision located at 4050 Carmola Drive, Bloomington, IN 47404. Our Inspector Shannon Reed will need to be contacted before the sewer lines are covered for final inspection.

Thank you,

Phil Peden, PE
ERSC Engineer

EXHIBIT 4: Comprehensive Plan Discussion

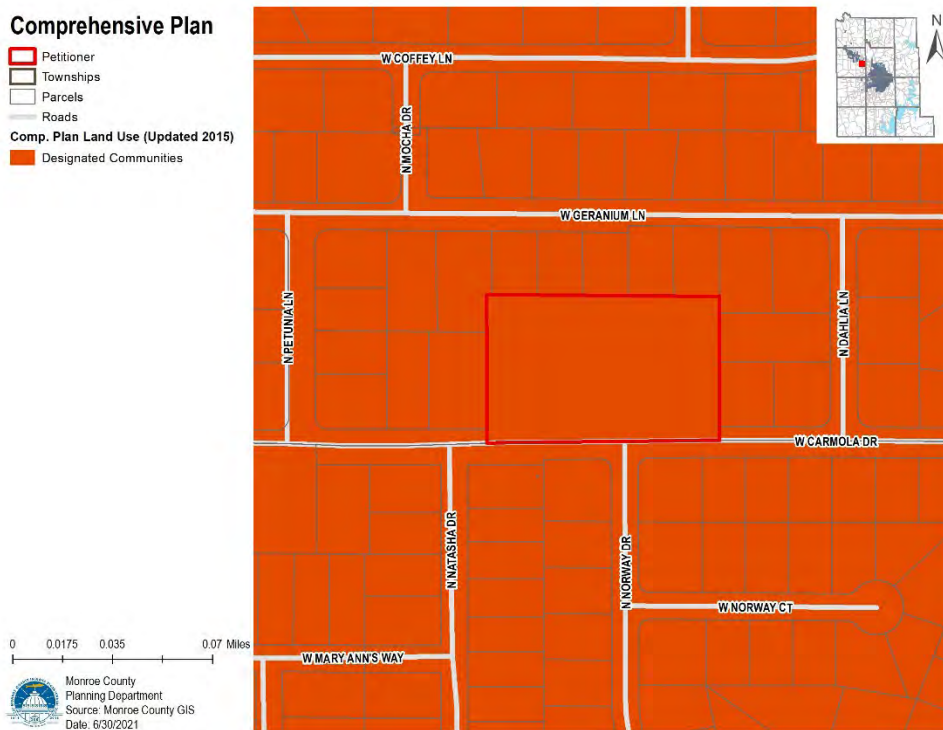
The petition site is located within the **Designated Communities** designation of the Comprehensive Plan. Points that differ from the MCUA districts are highlighted in grey. The Comprehensive Plan states the following for this designation:

DESIGNATED COMMUNITY PLANS

The Board of County Commissioners adopted the previous Monroe County Comprehensive Land Use Plan on February 2, 1996, establishing a blueprint for the future growth and development of the unincorporated portions of Monroe County. A central element of this plan was the development of a number of focused rural community plans. Each of the plans takes the vision, goals, and preferred development patterns in the prior 1996 comprehensive plan and applies them in a more detailed manner within each of the county's existing rural communities.

As stated in the 1996 Comprehensive Plan, "Growth will primarily occur within the City of Bloomington, guided by the city's Growth Policies Plan; in appropriate areas in the Bloomington fringe, guided by the County's Comprehensive Plan; within the Town of Ellettsville, guided by the town's Comprehensive Plan and within the existing small rural communities located throughout the county, each guided by its own rural community plan. The remaining portions of the county will remain rural with very low residential densities, active agricultural lands, mineral extraction operations, and logging activities, as well as substantial areas of open space. The comprehensive plan proposes this development pattern for a number of reasons, including wise management of limited fiscal resources, protection of the natural and manmade environment, and capitalizing on existing public and private investments."

These rural plans are now incorporated as part of the updated 2010 Monroe County Comprehensive Plan.



Ellettsville Rural Community Land Use Plan

The Ellettsville Rural Community Land Use Plan was approved by the Board of County Commissioners at the July 11, 2003 meeting. The Ellettsville area which includes the Town of Ellettsville and the surrounding area bounded by Ratliff Road and Woodyard Road to the south, near Maple Grove to the east, near West Maple Grove Road to the north, and near the town limits to the west, is the subject of the plan developed within this document.

The Ellettsville Rural Community Land Use Plan proposes to:

- Enhance existing development through the introduction of missing neighborhood elements including open space, mixed uses, and interconnecting transportation facilities
- Enhance the SR 46 Corridor through improved site design, access management and landscaping and facilitate the introduction of a mix of uses and to better link the corridor to adjoining neighborhoods

- Establish a green corridor consisting of open space and alternative transportation opportunities along the Monon Rail Corridor and Jacks Defeat Creek
- Maintain a discernable edge consisting of low density, large lot residential development along the perimeter of the rural community
- Continue focusing new employment activities, such as manufacturing and processing within current locations and within the business and industry overlay located west of town.
- Provide business opportunities within new and existing neighborhoods in a unified and compatible manner
- Coordinates future growth and development activities with the Town of Ellettsville

The Ellettsville Rural Community Land Use Plan map is displayed in Figure 50:

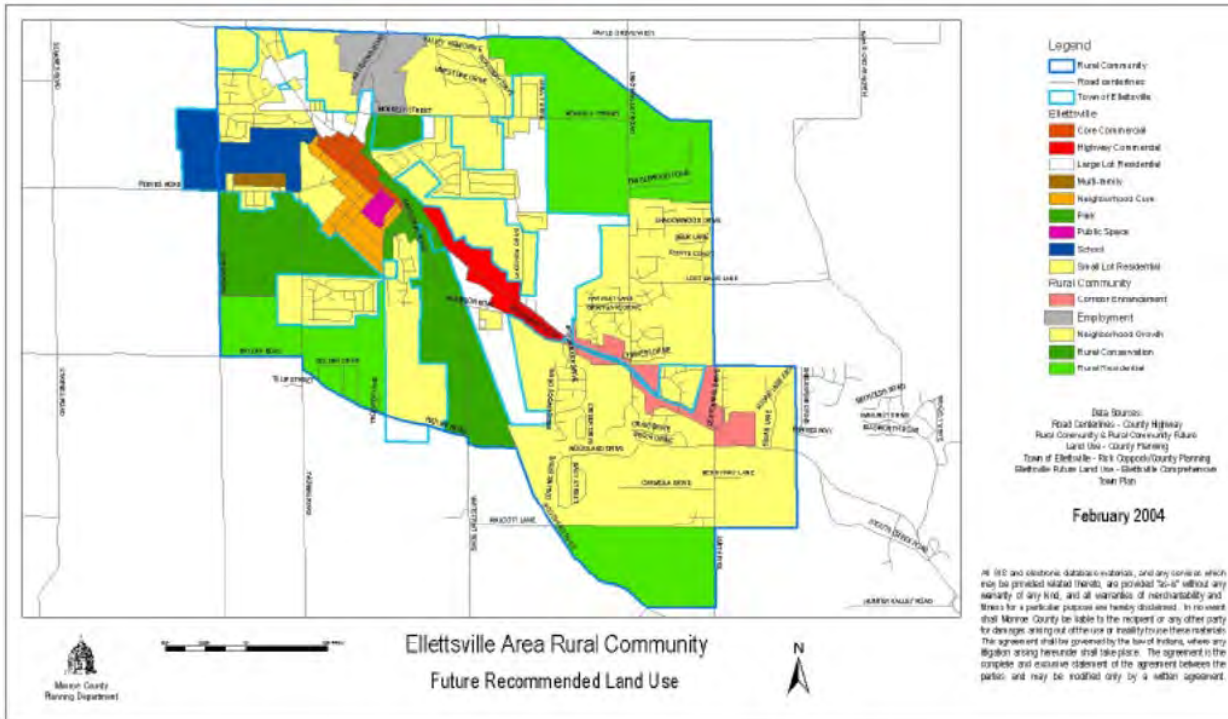


EXHIBIT 5: Findings of Fact - Subdivisions

850-3 PURPOSE OF REGULATIONS

(A) To protect and provide for the public health, safety, and general welfare of the County.

Findings

- Approval of the subdivision would subdivide one lot into seven (7) lots which will meet all design standards;
- Proposed lots have all obtained a Will-Serve letter for sewer access;
- The MS4 Coordinator has not yet fully reviewed the drainage;
- A total of 25-31' of right-of-way is required to be dedicated along W Carmola DR, a Local Road, in addition to a temporary 10' Right-of-Way easement;

(B) To guide the future development and renewal of the County in accordance with the Comprehensive Plan and related policies, objectives and implementation programs.

Findings

- The Comprehensive Plan designates the site as Designated Communities, which includes low-density single-family subdivisions;
- The site has access to utilities; water will be provided via Ellettsville Utilities, Sewer access is provided by Eastern Richland Sewer Connection, and electricity will be provided by Duke Energy;
- Burial of above ground utilities in accordance with Chapter 856-41 of the Subdivision Control Ordinance shall be added as a Note on the final plat;
- See findings under Section A;

(C) To provide for the safety, comfort, and soundness of the built environment and related open spaces.

Findings

- See findings under (A);
- The proposed use is residential;
- The surrounding uses are residential;

(D) To protect the compatibility, character, economic stability and orderliness of all development through reasonable design standards.

Findings

- The property is currently zoned Medium Density Residential (MR) and is undeveloped and vacant;
- Adjacent properties are zoned Medium Density Residential (MR), and are used for residential uses;
- Approval of the subdivision would create seven (7) lots that meet the design standards for the zoning designation MR;
- See findings under Sections A & C;

(E) To guide public and private policy and action to ensure that adequate public and private facilities will be provided, in an efficient manner, in conjunction with new development, to promote an aesthetically pleasing and beneficial interrelationship between land uses, and to promote the conservation of natural resources (e.g., natural beauty, woodlands, open spaces, energy and areas subject to environmental constraints, both during and after development).

Findings

- See findings under Sections A & C & D;

(F) To provide proper land boundary records, i.e.:

(1) to provide for the survey, documentation, and permanent monumentation of land boundaries and property;

Findings:

- The petitioner has submitted a preliminary plat drawn by a registered surveyor.

(2) to provide for the identification of property; and,

Findings:

- The petitioner submitted a survey with correct references, to township, section, and range to locate parcel. Further, the petitioner has provided staff with a copy the recorded deed of the petition site.

(3) to provide public access to land boundary records.

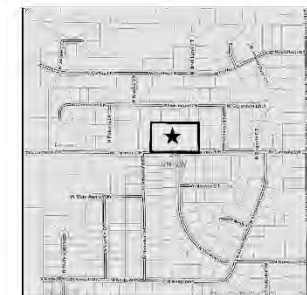
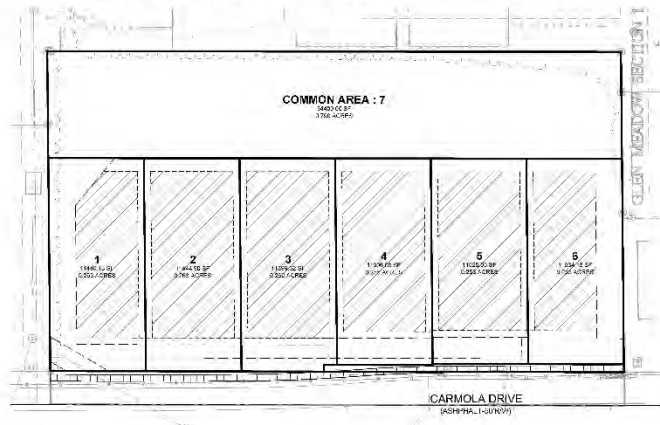
Findings

- The land boundary records are found at the Monroe County Recorder's Office and, if approved, this petition will be recorded there as a plat. The plat must comply with Chapter 860 - Document Specifications to be recorded.

EXHIBIT 6: Preliminary Plat SPP-23-4

SPRING WOODS MAJOR SUBDIVISION
4050 W CARMOLA DRIVE BLOOMINGTON, INDIANA 47404
SECTION 24, T-9-N, R-2-W

Sheet Number	Sheet Title
1	Title Sheet
2	EXISTING CONDITIONS TRIMMITION
3	Site Plan
4	Grading Plan
5	UTILITY PLAN
6	PROBABLE PLAT
7	PROFILES
8	DATA & SHEET 1
9	SURVEY DATA
10	SWEEP PLANS
11	SHEET 2
12	SWEEP Details

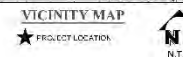


RICHLAND TOWNSHIP
SECTION 24
TOWNSHIP 9 NORTH
RANGE 2 WEST

OWNER(S)
BLACKWELL CONTRACTORS
INC
PO BOX 3400
BLOOMINGTON, IN 47402
INS 1 2020014812

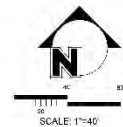
DESIGNER(S) & SURVEYOR(S)
SMITH DESIGN GROUP, INC
1487 W ARLINGTON ROAD
Bloomington, IN 47404
(812) 336-6536

DEVELOPER(S)
BLACKWELL CONTRACTORS INC
PO BOX 3400
BLOOMINGTON, IN 47402
(812)360-5110



LEGAL DESCRIPTION

A PART OF THE TOWNSHIP 9 NORTH OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 2 WEST, IN MADISON COUNTY, INDIANA, DESCRIBED AS FOLLOWS: "COMMENCE AT A POINT THAT IS 135 FEET WEST AND 9.1 FEET SOUTH OF THE SOUTH EAST CORNER OF THE WESTERLY QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, THENCE WEST 124.6 FEET ALONG THE WESTERLY QUARTER LINE OF SAID SECTION TO A CORNER OF SAID QUARTER, THENCE NORTH 89.430 FEET ALONG AN UNDEVELOPED SUBSURFACE EASEMENT TO A CORNER OF SAID QUARTER, THENCE SOUTH 135 FEET TO A CORNER OF SAID QUARTER, THENCE WEST 124.6 FEET TO A CORNER OF SAID QUARTER, THENCE SOUTH 9.1 FEET TO THE PLACE OF BEGINNING, CONTAINING 2.61 ACRES, MORE OR LESS."



SHEET NO.	REVISIONS	BY	DATE

NOT FOR CONSTRUCTION

CERTIFICATION DATE: 11-29-2023

NOTE: WATER, AND SANITARY SEWER ITEMS SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITIES AND EASTERN RICHLAND SEWER CORPORATION CONSTRUCTION SPECIFICATIONS. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE 2021 SMITH DESIGN GROUP, INCORPORATED STANDARD SPECIFICATIONS.

S SMITH DESIGN GROUP
CIVIL ENGINEERING - LAND SURVEYING
1487 W Arlington Road Bloomington, IN 47404
(812) 336-6536 - smithdginco

GRADING PERMIT
JOB NUMBER: 6293

NO.	BY	DATE	REVISIONS

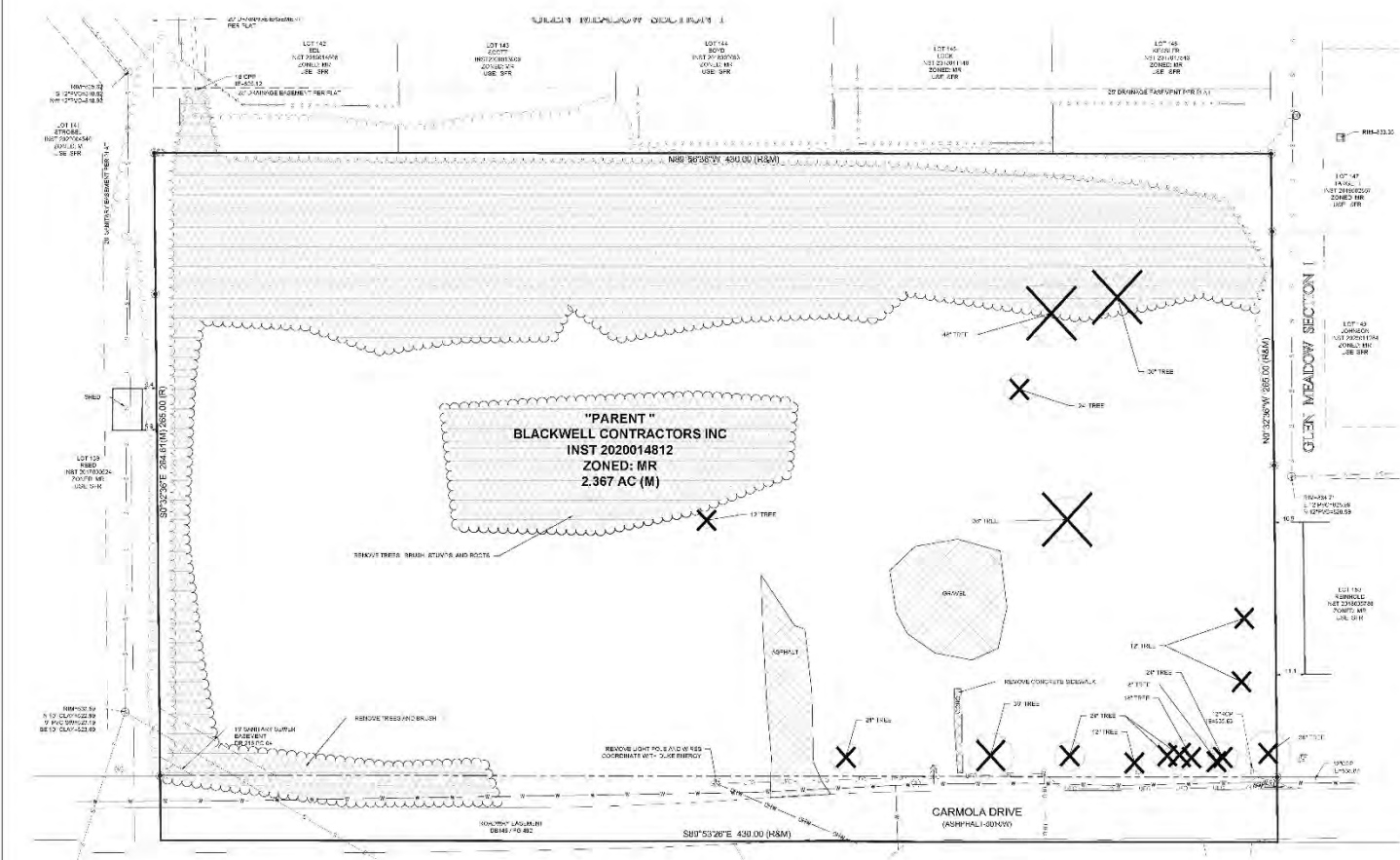
DATE	BY	DESCRIPTION

JOB NUMBER
6293

SHEET
2 OF 12

DATE
11/29/2023

EXISTING
CONDITION &
DEMOLITION



- DEMOLITION NOTES**
- REMOVE EXISTING PROVISION
 - REMOVE EXISTING TREE, GRASS, AND ROOTS
 - REMOVE TREE TRUNK, BRANCHES, AND ROOTS

- LEGEND**
- RE BRK
 - SINK
 - REBAR
 - FDM PIPE
 - MAN VAL
 - UTILITY POLE
 - FINCH
 - 3\"/>

BASIS OF BEARINGS
FIELD SURVEY PLANE
WEST ZONE

- DEMOLITION NOTES**
1. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITY, CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 2. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 3. ANY EXISTING UTILITIES SHOWN ON THIS PLAN SHALL BE PRESERVED AND PROTECTED AT ALL TIMES. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 4. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 5. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 6. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 7. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 8. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 9. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 10. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 11. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 12. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 13. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 14. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
 15. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BLOOMINGTON AND THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.



NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN

Table with columns: BY, DATE, REVISIONS

Table with columns: PREPARED BY, CHECKED BY, DATE

JOB NUMBER 6293 SHEET 3 OF 12 DATE 11/29/2023 SITE PLAN

SITE PLAN NOTES

- CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM LOCAL AGENCIES... THE PROJECT COMPLETION DATE... (Total 7 notes)

REQUIREMENTS (ZONE MR)

From: 36 1932 BLOOMINGTON CITY ZONING ORDINANCE SECTION 57.04 1. BUILDING HEIGHT: 30 FEET MAXIMUM

STATEMENT OF COMPLIANCE

THE PLANS SATISFY THE PERFORMANCE STANDARDS OF CHAPTER 502 AS... (Detailed compliance text)

SITE MATERIALS

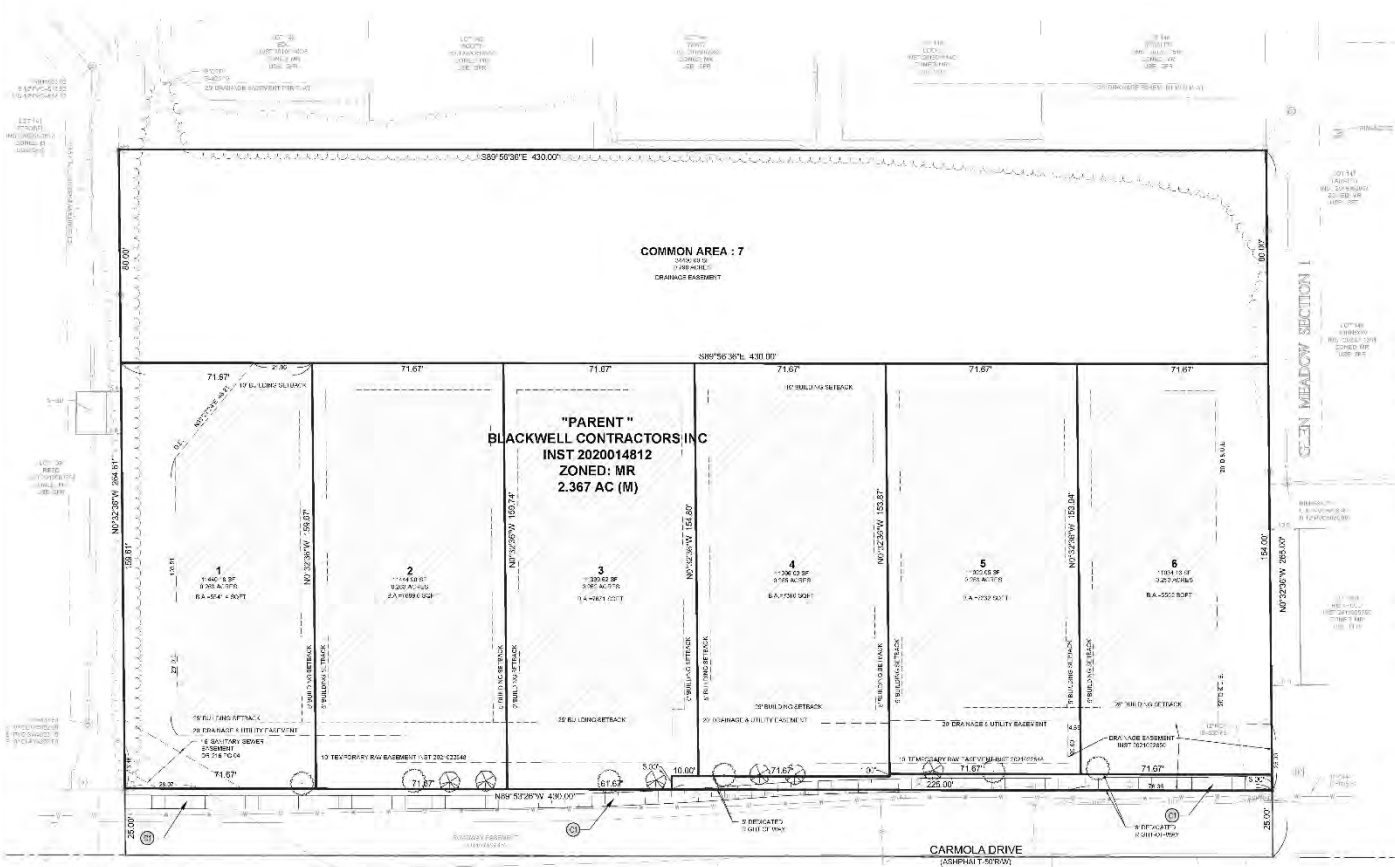
- 1. CONCRETE FINISH: 1" THICK CONCRETE, 5000 PSI

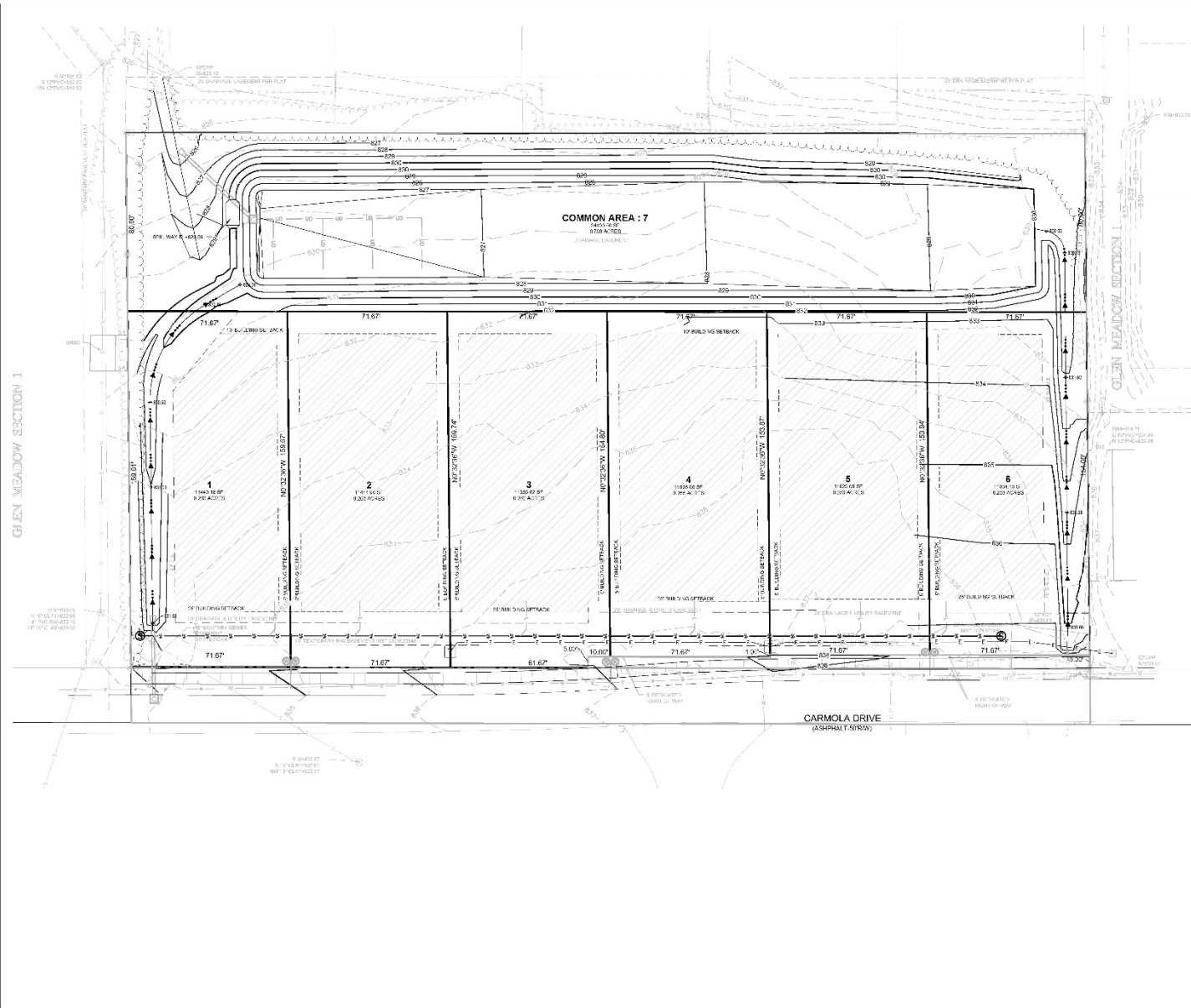
STREET TREES NOTES

- 1. STREET TREES ARE TO BE SELECTED FROM CHARTER 652...

SITE LEGEND

- BUILDING AREA
- FLOORING SYSTEM
- EXPOSED






GRADING LEGEND

EXISTING MAJOR CONTOUR	1000
EXISTING MAJOR CONTOUR	9500
PROPOSED MAJOR CONTOUR	2000
PROPOSED MAJOR CONTOUR	200
EXISTING MINOR	10000.00
PROPOSED ELEVATION	2000.00
LEVEL OF FINISH	10000.00
TOP OF CURB FINISH	10000.00
HIGH POINT	10000.00
LOW POINT	10000.00
FRESH FLOOR ELEVATION	10000.00
TOP OF RETAINING WALL	10000.00
TOP OF EXPOSED REINFORCING WALL	10000.00
TOP OF RAFT	10000.00
BOTTOM OF RAFT	10000.00
PROPOSED ELEVATION	10000.00

- ### GENERAL NOTES
- CONTROL TO ALSO REVEAL DATA FROM ANY "GATED" DEPT'S RECORDS BEING USED TO DEVELOP A FINAL PLAN TO BE SUBMITTED TO THE CITY OF BLOOMINGTON.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE FIELD FOR ALL UTILITIES.
 - ALL UTILITIES SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE FIELD FOR ALL UTILITIES.
 - IF ANY UTILITIES ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THIS PLAN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE FIELD FOR ALL UTILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE FIELD FOR ALL UTILITIES.

LEGEND

Sanitary Sewer Manhole	Sanitary Sewer Manhole
Sanitary Sewer Line	Sanitary Sewer Line
Sanitary Lateral	Sanitary Lateral
Sanitary Cleanout	Sanitary Cleanout
Water Valve	Water Valve
Fire Hydrant	Fire Hydrant
Water Air Release Valve	Water Air Release Valve
Water Meter	Water Meter
Water Line	Water Line
Storm Inlet	Storm Inlet
Storm Manhole	Storm Manhole
Storm Yard Inlet	Storm Yard Inlet



SCALE: 1"=20'



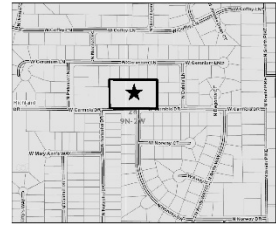
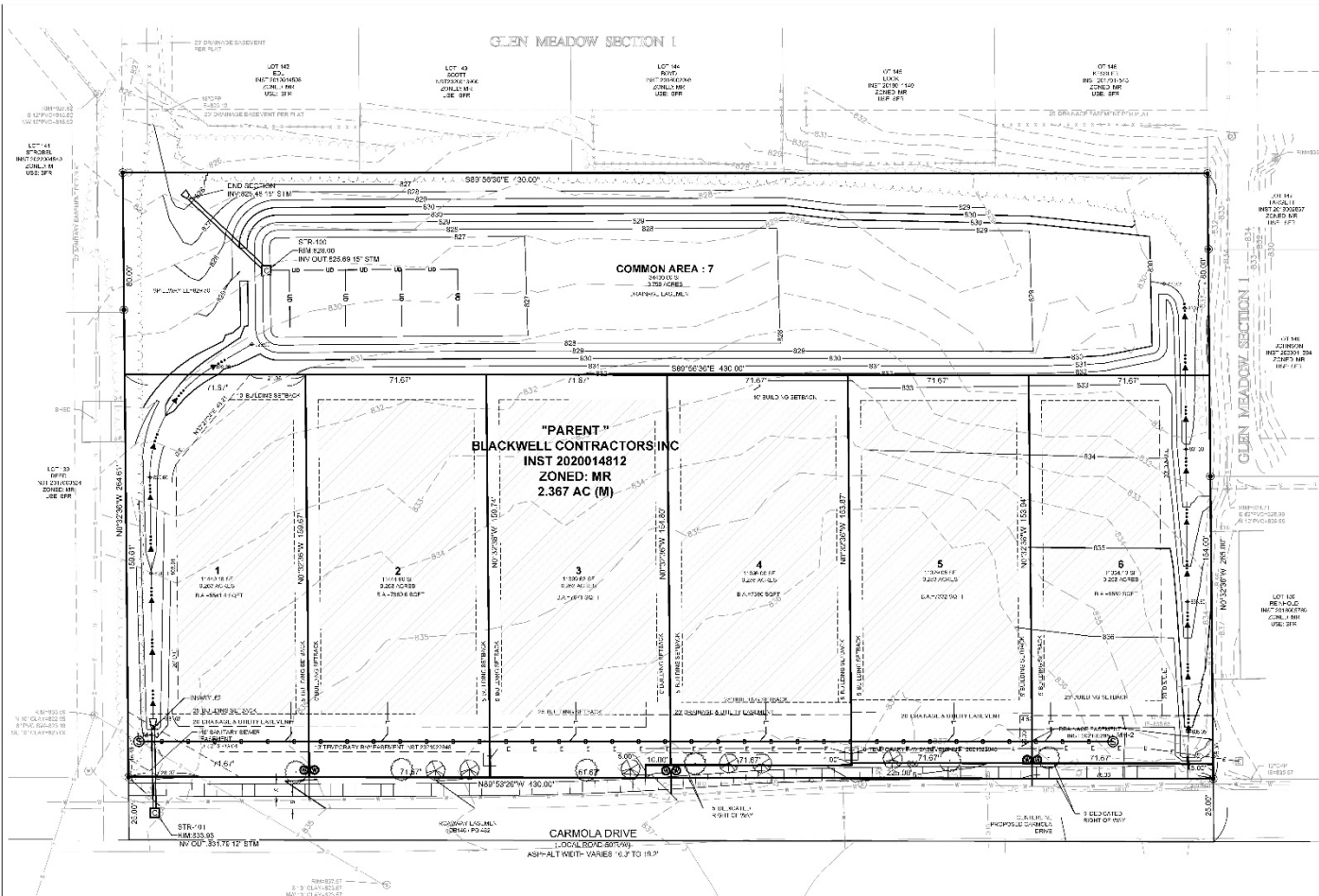
NOT FOR CONSTRUCTION

11/29/2023

**SPRING WOODS MAJOR SUBDIVISION
4050 W CARMOLA DRIVE
BLOOMINGTON IN**

NO.	DESCRIPTION	BY	DATE

DATE PLOTTED	11/29/2023
DATE PRINTED	11/29/2023
DATE CHECKED	
DATE REVISION	
JOB NUMBER	6293
SHEET	4 OF 12
DATE	11/29/2023
GRADING PLAN	



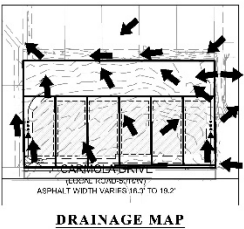
VICINITY MAP
★ PROJECT LOCATION



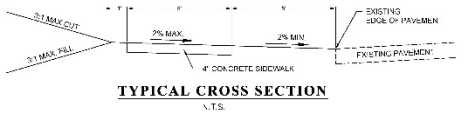
SCALE: 1"=20'

LEGEND

- ROADWAY AREA
- UTILITY TRENCH - ALL
- ELEMENT
- WATER MAIN
- WATER VALVE
- SEWER MAIN
- SEWER MANHOLE
- UTILITY CULVERT
- ELECTRIC TRANSFORMER
- WATER TAP
- UTILITY LINE
- SEWER LATERAL
- UNDERPASS
- UTILITY CROSSING
- 8" SPINIC
- 5" SUB
- NON PIPE
- WAG VAL
- 2" UTILITY
- 4" VALVE
- 6" VALVE
- 8" VALVE
- 12" VALVE
- 18" VALVE
- 24" VALVE
- 30" VALVE
- 36" VALVE
- 42" VALVE
- 48" VALVE
- 54" VALVE
- 60" VALVE
- 72" VALVE
- 84" VALVE
- 96" VALVE
- 108" VALVE
- 120" VALVE
- 144" VALVE
- 168" VALVE
- 192" VALVE
- 216" VALVE
- 240" VALVE
- 270" VALVE
- 300" VALVE
- 324" VALVE
- 360" VALVE
- 396" VALVE
- 432" VALVE
- 468" VALVE
- 504" VALVE
- 540" VALVE
- 576" VALVE
- 612" VALVE
- 648" VALVE
- 684" VALVE
- 720" VALVE
- 756" VALVE
- 792" VALVE
- 828" VALVE
- 864" VALVE
- 900" VALVE
- 936" VALVE
- 972" VALVE
- 1008" VALVE
- 1044" VALVE
- 1080" VALVE
- 1116" VALVE
- 1152" VALVE
- 1188" VALVE
- 1224" VALVE
- 1260" VALVE
- 1296" VALVE
- 1332" VALVE
- 1368" VALVE
- 1404" VALVE
- 1440" VALVE
- 1476" VALVE
- 1512" VALVE
- 1548" VALVE
- 1584" VALVE
- 1620" VALVE
- 1656" VALVE
- 1692" VALVE
- 1728" VALVE
- 1764" VALVE
- 1800" VALVE
- 1836" VALVE
- 1872" VALVE
- 1908" VALVE
- 1944" VALVE
- 1980" VALVE
- 2016" VALVE
- 2052" VALVE
- 2088" VALVE
- 2124" VALVE
- 2160" VALVE
- 2196" VALVE
- 2232" VALVE
- 2268" VALVE
- 2304" VALVE
- 2340" VALVE
- 2376" VALVE
- 2412" VALVE
- 2448" VALVE
- 2484" VALVE
- 2520" VALVE
- 2556" VALVE
- 2592" VALVE
- 2628" VALVE
- 2664" VALVE
- 2700" VALVE
- 2736" VALVE
- 2772" VALVE
- 2808" VALVE
- 2844" VALVE
- 2880" VALVE
- 2916" VALVE
- 2952" VALVE
- 2988" VALVE
- 3024" VALVE
- 3060" VALVE
- 3096" VALVE
- 3132" VALVE
- 3168" VALVE
- 3204" VALVE
- 3240" VALVE
- 3276" VALVE
- 3312" VALVE
- 3348" VALVE
- 3384" VALVE
- 3420" VALVE
- 3456" VALVE
- 3492" VALVE
- 3528" VALVE
- 3564" VALVE
- 3600" VALVE
- 3636" VALVE
- 3672" VALVE
- 3708" VALVE
- 3744" VALVE
- 3780" VALVE
- 3816" VALVE
- 3852" VALVE
- 3888" VALVE
- 3924" VALVE
- 3960" VALVE
- 4000" VALVE



DRAINAGE MAP



TYPICAL CROSS SECTION
N.T.S.

LEGAL DESCRIPTION
A PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 8 NORTH, RANGE 2 WEST, IN MONROE COUNTY, INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT, BEGINNING AT A POINT THAT IS 135 FEET WEST AND 18 FEET SOUTH OF THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 8 NORTH, RANGE 2 WEST, THENCE NORTH FOR A DISTANCE OF 200 FEET, THENCE WEST FOR A DISTANCE OF 300 FEET, THENCE SOUTH FOR A DISTANCE OF 200 FEET, AND TO THE PLACE OF BEGINNING, CONTAINING 4.0 ACRES, MORE OR LESS.

BASED ON SURVEYING
INDIANA STATE PLANE,
WEST ZONE

SITE ZONING / LOT STANDARDS

SITE AREA = 2.82 ACRES
ZONING = MR
DENSITY = 4.0 UNITS PER ACRE
MINIMUM LOT AREA = 3,200 SQUARE FEET
MINIMUM LOT WIDTH = 60 FEET
FRONT YARD SETBACK = 25 FEET
REAR YARD SETBACK = 5 FEET
SIDE YARD SETBACK = 5 FEET
ALL LOTS ARE FOR SINGLE-FAMILY USE.

SCHOOLS
MICHIGAN BLOSSOM COMMUNITY SCHOOL, US, HICKORY
EDWARDS PARK PARK ELEMENTARY
EDWARDS JUNIOR HIGH
ELC-SWAG - HICK SCHOOL

FIRE DEPARTMENT
HICKORY FIRE DEPARTMENT

WATER
TOWN OF HICKORY WATER UTILITY

SEWER
EASTERN INDIANA SEWER CORPORATION

RICHLAND TOWNSHIP
SECTION 24
TOWNSHIP 8 NORTH
RANGE 2 WEST

DESIGNER(S) & SURVEYOR(S)
SMITH DESIGN GROUP, INC.
1467 W. ARLINGTON ROAD
BLOOMINGTON, IN 47404
(812) 336-6536

DEVELOPER(S) & APPLICANT(S)
BLACKWELL CONTRACTORS, INC.
PO BOX 3400
BLOOMINGTON, IN 47402
KENNY BLACKWELL
812.331.9999

OWNER(S)
BLACKWELL CONTRACTORS, INC.
PO BOX 3400
BLOOMINGTON, IN 47402
INST 2020014812



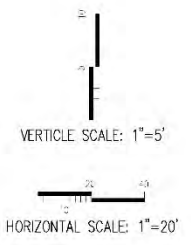
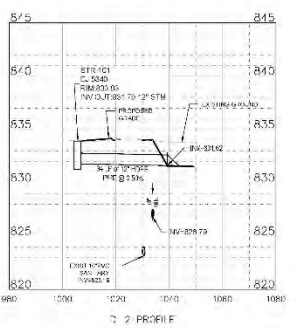
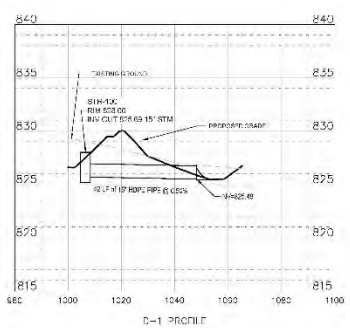
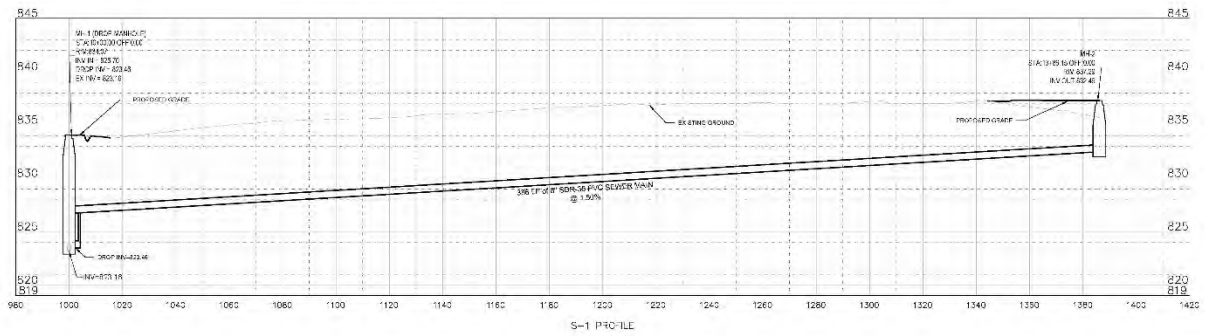
NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR
SUBDIVISION
4050 W CARMOLA DRIVE
BLOOMINGTON IN

NO.	DATE	REVISIONS

6293
SHEET
6 OF 12
DATE
11/29/2023
PRELIMINARY
PLAN



NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN

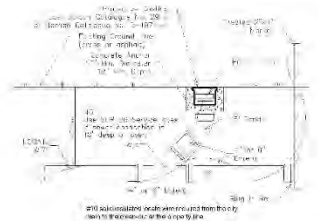
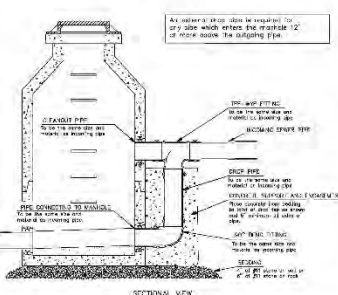
NO.	DATE	BY	DESCRIPTION

DATE: 11/29/23
DRAWN BY: KES
CHECKED BY: KES

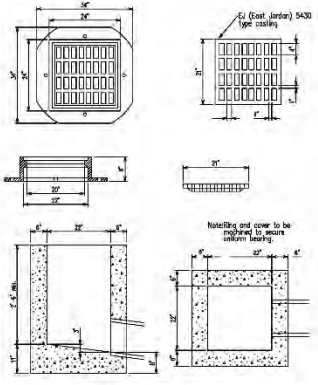
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SHEET: 7 OF 12
DATE: 11/29/2023

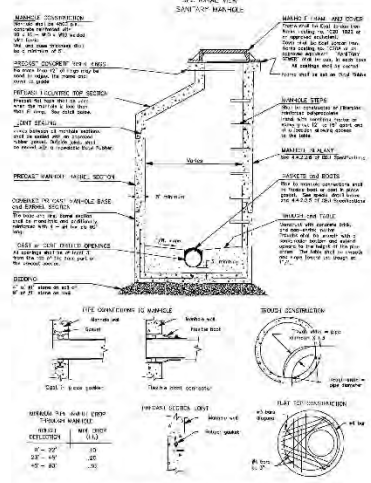
PROFILES



SANITARY SEWER CLEAN OUT
NO SCALE

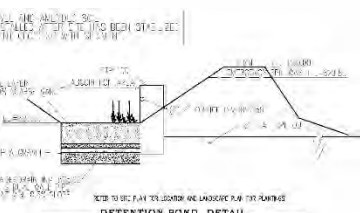


GRATE INLET DETAIL
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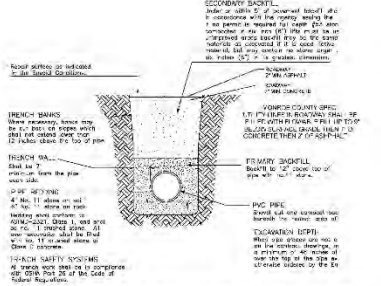


SANITARY SEWER MANHOLE DETAIL
NO SCALE

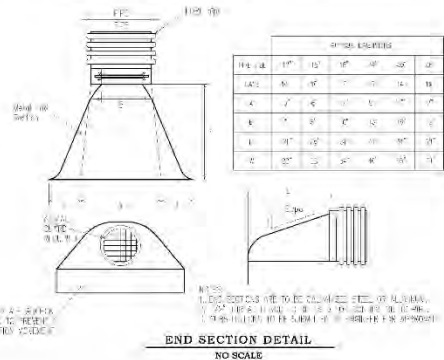
DROP SANITARY SEWER MANHOLE DETAIL
NO SCALE



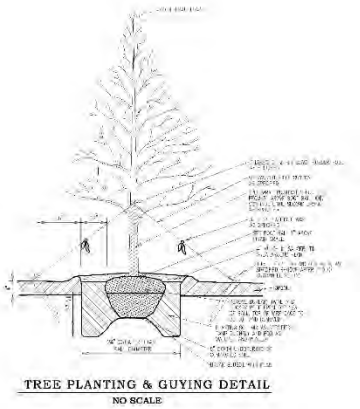
DETENTION POND DETAIL
NO SCALE



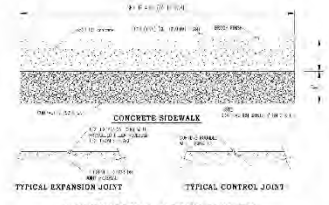
TRENCH DETAIL FOR PVC, HDPE, AND RIGID PIPE
NO SCALE



END SECTION DETAIL
NO SCALE



TREE PLANTING & GUYING DETAIL
NO SCALE



SIDEWALK & JOINT DETAIL
NO SCALE

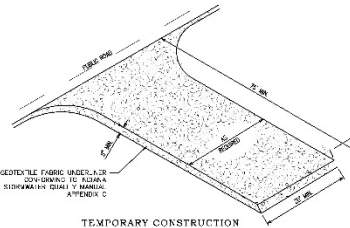


NOT FOR CONSTRUCTION

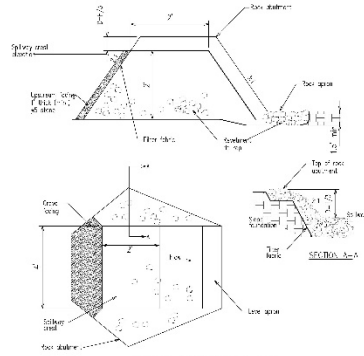
11/29/2023

**SPRING WOODS MAJOR
SUBDIVISION
4050 W CARMOLA DRIVE
BLOOMINGTON IN**

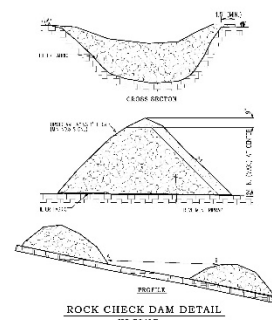
BY DATE	
REVISIONS	
APPROVED BY	
CHECKED BY	
DATE	
PROJECT NO.	6293
SHEET	8 OF 12
DATE	11/29/2023
DETAILS SHEET 1	



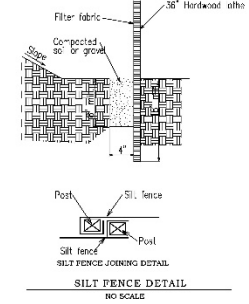
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NO SCALE



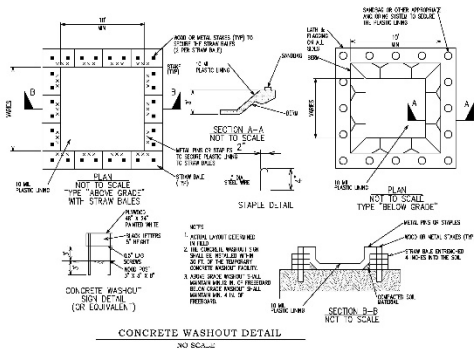
ROCK DAM DETAIL
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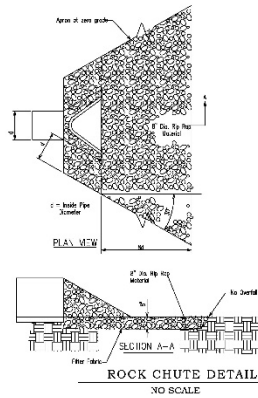
ROCK CHECK DAM DETAIL
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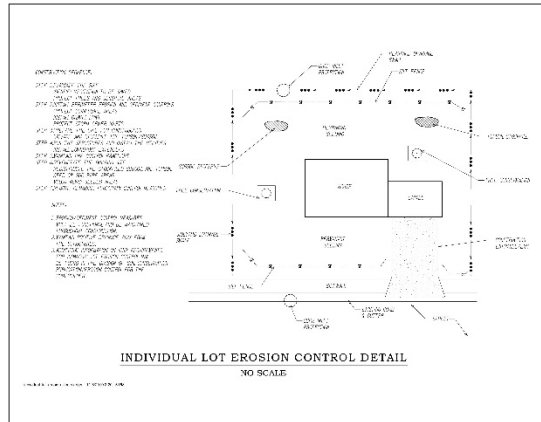
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NO SCALE



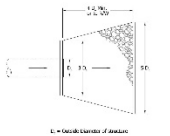
CONCRETE WASHOUT DETAIL
NO SCALE



ROCK CHUTE DETAIL
NO SCALE



INDIVIDUAL LOT EROSION CONTROL DETAIL
NO SCALE



MINIMUM RIPRAP APRON DIMENSIONS
Figure 203-2



NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN

NO.	DATE	BY	REVISIONS

DATE PLOTTED: 11/29/2023 10:58:00 AM
 PLOT BY: J. SMITH
 SHEET: 6293
 OF: 12

PROJECT: 6293
 SHEET: 12 OF 12
 DATE: 11/29/2023
 SWPP DETAILS