

# MONROE COUNTY PLAN COMMISSION MEETING



**Tuesday, February 20, 2024  
5:30 PM**

## **Hybrid Meeting**

### **In-person**

Monroe County Courthouse  
Nat U. Hill III Meeting Room  
100 W Kirkwood Ave  
Bloomington, Indiana

### **Virtual**

[Virtual Video Conference Link](#)

Meeting ID: 259 277 005 89

Passcode: t5Qvy7

If calling into the video conference meeting (audio only), dial: +1 872-242-9432

When prompted, enter the Phone Conference ID: 966 973 645#

**MONROE COUNTY PLAN COMMISSION  
AGENDA**

The Monroe County Plan Commission will hold a **hybrid** public meeting on **Tuesday, February 20, 2024, at 5:30 PM** in the Judge Nat U. Hill III Meeting Room, 100 West Kirkwood Avenue, Bloomington, Indiana and virtually via a video conference ([https://www.co.monroe.in.us/egov/apps/events/calendar.egov?view=cal&eGov\\_searchDepartment=13](https://www.co.monroe.in.us/egov/apps/events/calendar.egov?view=cal&eGov_searchDepartment=13)).

The public may attend and provide comments virtually or in-person. For information about the meeting, you may call (812) 349-2560 or email ([PlanningOffice@co.monroe.in.us](mailto:PlanningOffice@co.monroe.in.us)) our office. For information about the video conference meeting, you may call (812) 349-2560 or email ([PlanningOffice@co.monroe.in.us](mailto:PlanningOffice@co.monroe.in.us)). We will be taking public comment at each public hearing and consider the following agenda items and requests regarding the following described properties in Monroe County, Ind.:

**CALL TO ORDER**

**ROLL CALL**

**INTRODUCTION OF EVIDENCE**

**APPROVAL OF AGENDA**

**APPROVAL OF MINUTES** None.

**ADMINISTRATIVE BUSINESS:**

- 1. 2024 Meeting Calendar Revisions** **PAGE 4**

**UNFINISHED BUSINESS:**

- 1. SPP-23-4 Spring Woods Major Subdivision Preliminary Plat Final Hearing.** **PAGE 5**

One (1) parcel on 2.65 acres in Section 24 of Richland Township at 4050 W Carmola DR, parcel #53-04-24-200-135.000-011.

Owner: Blackwell Contractors Inc

**Zoned MR.** Contact: [drbrown@co.monroe.in.us](mailto:drbrown@co.monroe.in.us)

- 2. PUO-23-7 The Trails at Robertson Farm PUD Outline Final Hearing.**

One (1) 42.97 +/- parcel in Perry Township, Section 20 at 4691 S Victor Pike, parcel #53-08-20-400-102.000-008.

Owner: White Oak Endeavors LLC

**Zoned RE1.** Contact: [drbrown@co.monroe.in.us](mailto:drbrown@co.monroe.in.us)

\*\*\*CONTINUED BY PETITIONER\*\*\*

**NEW BUSINESS:**

- 1. ZOA-23-3 Amendment to the Monroe County Zoning Ordinance: Chapter 807- Signs. Waiver of Final Hearing Requested. Preliminary Hearing. Waiver of Final Hearing Requested.** **PAGE 36**

Amendment to add timeline and procedure for sign permits.

Contact: [jnester@co.monroe.in.us](mailto:jnester@co.monroe.in.us)

- 2. PUO-23-6 North Park II PUD Outline Plan Amendment 1 Preliminary Hearing. Waiver of Final Hearing Requested.** **PAGE 57**

One (1) 98.6 +/- parcel in Bloomington Township, Section 30 at N Packing House RD, parcel #53-05-30-400-014.000-004.

Owner: Packing House Road LLC

**Zoned PUD.** Contact: [acrecelius@co.monroe.in.us](mailto:acrecelius@co.monroe.in.us)

- 3. PUD-23-7 U.S. Dept. of Veteran's Affairs Outpatient Clinic Development Plan North Park B-2 Infrastructure Plan Amd. 1 Preliminary Hearing. Waiver of Final Hearing Requested.** **PAGE 85**

Four (4) 9.3 +/- parcel in Richland Township, Section 24, and Bloomington Township, Section 19, at 3054 & 3098 N Lintel DR, parcel #53-05-19-300-006.006-004, 53-05-19-300-006.092-004, 53-04-24-400-022.006-011, 53-04-24-400-022.013-011.

Owner: Logan Land Development

**Zoned PUD.** Contact: [acrecelius@co.monroe.in.us](mailto:acrecelius@co.monroe.in.us)

**4. REZ-23-7 Taylor Rezone from RE1 to LI**

**Preliminary Hearing. Waiver of Final Hearing Requested.**

One (1) 9.08 +/- acre parcel in Van Buren Township, Section 3 at 6610 W State Road 48, parcel # 53-09-03-200-011.000-015.

Owner: Bryan Rental, Inc.

**Zoned RE1.** Contact: [dmyers@co.mornoe.in.us](mailto:dmyers@co.mornoe.in.us)

**REPORTS:**

- 1. Planning: Jackie Jelen
- 2. County Attorney: David Schilling

Said hearing will be held in accordance with the provisions of: IC 36-7-4-100 et seq.; & the County Code, Zoning Ordinance, and the Rules of the Plan Commission of Monroe County, Ind. All persons affected by said proposals may be heard at this time, and the hearing may be continued as necessary.

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of Monroe County, should contact Monroe County Title VI Coordinator Angie Purdie, (812)-349-2553, [apurdie@co.monroe.in.us](mailto:apurdie@co.monroe.in.us), as soon as possible but no later than forty-eight (48) hours before the scheduled event.

Individuals requiring special language services should, if possible, contact the Monroe County Government Title VI Coordinator at least seventy-two (72) hours prior to the date on which the services will be needed.

The meeting will be open to the public.

## 2024 MEETING SCHEDULE

*BOARD OF ZONING APPEALS & PLAN COMMISSION REGULAR SESSION MEETINGS ARE HELD IN JUDGE NAT U. HILL III MEETING ROOM AT 100 W. KIRKWOOD AVENUE, UNLESS OTHERWISE NOTICED*

*ALL OTHER MEETINGS ARE HELD IN THE PLANNING OFFICE, SUITE 224 OR SUITE 100B AT THE MONROE COUNTY GOVERNMENT CENTER (SHOWERS), 501 N. MORTON STREET, UNLESS OTHERWISE NOTICED. HYBRID MEETINGS MAY BE HELD PURSUANT TO INDIANA LAW. INFORMATION FOR VIRTUAL MEETINGS CAN BE FOUND ON OUR WEBSITE: [HTTPS://WWW.CO.MONROE.IN.US/](https://www.co.monroe.in.us/)*

| Filing Deadline HP | Historic Preservation (HP) | Ordinance Review Committee | Filing Deadline | Plan Commission Administrative Meeting (Rezone & Outline Plan) | Board of Zoning Appeals | Plan Review Committee | Plat Committee | Plan Commission Regular Session |
|--------------------|----------------------------|----------------------------|-----------------|--|-------------------------|-----------------------|----------------|---------------------------------|
| 3:00 p.m.          | 5:30 p.m.                  | 4:00 p.m.                  | 3:00 p.m.       | 5:30 p.m.  | 5:30 p.m.               | 5:30 p.m.             | 4:00 p.m.      | 5:30 p.m.                       |
| Showers 100B       |                            | Showers 224                |                 | Showers 100B   |                         | Nat U. Hill Rm        |                | Nat U. Hill Rm                  |
| January 3          | January 22*                | January 9                  | January 8       | January 2  | January 3               | January 11            | January 18     | January 16                      |
| January 31         | February 19                | February 12                | February 7      | February 6   | February 7              | February 8            | February 15    | February 20                     |
| February 28        | March 18                   | March 11                   | March 6         | March 5  | March 6                 | Cancelled             | March 21       | March 19                        |
| March 27           | April 15                   | April 15*                  | April 3         | April 2  | April 3                 | Cancelled             | April 18       | April 16                        |
| May 1              | May 20                     | May 13                     | May 1           | May 8*   | May 1                   | Cancelled             | May 16         | May 21                          |
| May 29             | June 17                    | June 10                    | June 5          | June 4   | June 5                  | June 13               | June 20        | June 18                         |
| June 26            | July 15                    | July 8                     | July 3          | July 2   | July 10*                | July 11               | July 18        | July 16                         |
| July 31            | August 19                  | August 12                  | August 7        | August 6   | August 7                | August 8              | August 15      | August 20                       |
| August 28          | September 16               | September 9                | September 4     | September 3  | August 28*              | September 12          | September 19   | September 26*                   |
| October 2          | October 21                 | October 14                 | October 2       | October 1  | October 2               | October 10            | October 17     | October 24*                     |
| October 30         | November 18                | November 18*               | November 6      | Cancelled  | November 6              | November 14           | November 21    | November 19                     |
| November 27        | December 16                | December 9                 | December 4      | December 3   | December 4              | December 12           | December 11*   | December 16*                    |

\*: Not a standard meeting date, changed meeting location, changed due to holiday or election or community event

\*\*: No Meeting

Colors denote meeting cycle from filing deadline

|                              |   |
|------------------------------|---|
| <b>PLANNER</b>               | Daniel Brown  |
| <b>CASE NUMBER</b>           | SPP-23-4  |
| <b>PETITIONER</b>            | Blackwell Contractors Inc.<br>c/o Scott Pardue, Smith Design Group  |
| <b>ADDRESS</b>               | 4050 W Carmola DR; 53-04-24-200-135.000-011   |
| <b>REQUEST</b>               | Spring Woods Major Subdivision Preliminary Plat<br>Preliminary Hearing. Waiver of Final Hearing Requested |
| <b>ACRES</b>                 | 2.367 +/- acres   |
| <b>ZONE</b>                  | Medium-Density Residential  |
| <b>TOWNSHIP</b>              | Richland  |
| <b>SECTION</b>               | 24  |
| <b>PLATS</b>                 | Unplatted   |
| <b>COMP PLAN DESIGNATION</b> | Designated Communities  |

**RECOMMENDATION**

Staff recommends **approval** based on the finding that the proposed preliminary plat meets the Subdivision Control Ordinance **with the following conditions**:

1. Add the note to the plat “All new utilities, including but not limited to gas, sewer, electric power, telephone and CATV shall be located underground throughout the subdivision per 856-41.”
2. Petitioner add street trees north of the bioretention along the entirety of the subdivision boundary east-west at a rate of 1 tree per 40 feet; existing trees to be preserved north of the bioretention and shown on page 2 of the preliminary plat may count as 1 tree.
3. Petitioner submit a construction schedule for completion of the public improvements (sidewalks, street trees, and bioretention) that shall not exceed 3 years from final platting. The bioretention must be approved by the MS4 coordinator before the first lot receives building permits. The bioretention must include an as-built submittal for MS4 Coordinator Approval. In addition, the sidewalk on the south side of Carmola Drive must also be installed prior to issuance of the first building permit in this subdivision. The remaining improvements of sidewalk and street trees must be installed prior to Certificate of Occupancy for each individual lot.

**Plat Committee Meeting – December 21, 2023**

Plat Committee did not meet due to lack of quorum. No recommendation.

**Plan Commission Regular Meeting – January 16, 2024 (Preliminary Hearing)**

- I. Waiver of final hearing denied.
- II. There were concerns raised about the bioretention area being too close to the adjacent properties to the north.
  - a. A new subdivision plan has been created by the petitioner showing that the detention area was relocated 10 ft south of the north property line.
  - b. In addition, the new site plan contains a note stating that the trees within ten (10) feet of the property line will be preserved (apart from a tree in the north-west corner that the petitioner feels may not be able to remain and is shown as being removed in the new subdivision plan). The trees on the plans are 8” diameter or larger and are shown on page 2 of the preliminary plat.

**Plan Commission Regular Meeting – February 20, 2023 (Final Hearing)**

**SUMMARY**

The petitioner is proposing a 7-lot Major Subdivision Preliminary Plat with no waiver requests. This subdivision is being proposed for the purpose of creating six Single-Family Residential lots, and one common area used for drainage. The property is zoned Medium-Density Residential (MR) and was recently rezoned to MR from Agriculture/Rural Reserve (AG/RR) in 2021 (Ordinance 2021-32, approved by the County Commissioners on November 3, 2021). All proposed lots will meet the minimum requirements for subdividing land in their respective zoning district. A Will-Serve letter for sewer has been obtained. Right-of-Way permits have been applied for and are pending the approval of this subdivision.

This subdivision was presented to the Drainage Board during their December 6, 2023, meeting. It was decided that the

Stormwater Division of the Highway Department would be further inspecting the drainage for the offsite pond to the east and find out where it drains (currently unknown).

Comments from Highway Department:



**Ben Ayers** ✓

Remove Comment • Nov 14, 2023 at 2:06 pm

Right of way Activity permits have been submitted and will be approved pending Final Plat. See RW-23-333, RW-23-334, RW-23-335, RW-23-336, RW-23-337 & RW-23-338.

Driveway entrance on Lot #3 shall be located near the west property line due to the intersection of West Carmola Drive and North Norway Drive.

Driveway entrance on Lot #5 shall be located near the east property line due to the intersection of West Carmola Drive and North Norway Drive.

All approved driveway entrance(s), existing or proposed shall be marked on the Final Plat.

**BACKGROUND**

The proposed subdivision will create seven lots out of 2.367 +/- acres. Below is a summary table of facts regarding the proposed seven lots.

Right-of-way permits have been applied for and are pending. In addition, extra Right-of-Way was dedicated to accommodate the sidewalk design, which otherwise would have extended out of the right-of-way. REZ-21-1 had a condition of approval stating the petitioner was to “Submit a written commitment to dedicate temporary right-of-way to the County for future Carmola Drive improvements.” This Temporary Right-of-Way Easement (Instrument Number: 2021022848) has been shown on the Preliminary Plat.

Drainage is undergoing review by the Stormwater division.

Street trees are required for this subdivision and have been shown on the Preliminary Plat diagrams. However, information regarding their size or species has not been included. Including this information on the Preliminary Plat diagram has been made a Condition of Approval. In addition, a five-foot wide sidewalk is also included in the proposal on the same side of the road as the subdivision. However, Major Subdivisions require sidewalks to be installed on both sides of the road. **The petitioner has created a new site plan showing a 5-foot-wide sidewalk along the south-side of Carmola Drive. This sidewalk has been positioned to avoid an electric box along that portion of the road, but the petitioner company, Smith Design Group, has stated that if the Carmola Drive improvement project moves forward, the sidewalk will need to be revisited.**

There is a utility pole on the same side of W Carmola DR as the proposed subdivision. However, this has been determined to be in the Right-of-Way. Thus, no overhead utility waiver is required. The Preliminary Plat is proposing removal of this utility pole in coordination with Duke Energy, who provides the electricity.

There are no waiver requests for this subdivision petition. However, Lot 7 is a proposed drainage easement and will not be counted as a buildable lot. A CSGP will be required along with the grading permits for the improvements.

Below is a summary of the lot configurations.

|                                       | <b>Lot 1</b>              | <b>Lot 2</b>              | <b>Lot 3</b>              | <b>Lot 4</b>              | <b>Lot 5</b>              | <b>Lot 6</b>              | <b>Lot 7</b>       |
|---------------------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|--------------------|
| <b>Acreage / Buildable Area (+/-)</b> | 0.263 acres / 0.127 acres | 0.263 acres / 0.177 acres | 0.263 acres / 0.177 acres | 0.263 acres / 0.177 acres | 0.263 acres / 0.177 acres | 0.263 acres / 0.134 acres | 0.790 acres / None |

|   |  |  |  |  |  |  |        |
|---|--|--|--|--|--|--|--------|
| <b>Wastewater</b>                                 | Sewer (Eastern Richland Sewer Corporation) | Sewer (Eastern Richland Sewer Corporation) | Sewer (Eastern Richland Sewer Corporation) | Sewer (Eastern Richland Sewer Corporation) | Sewer (Eastern Richland Sewer Corporation) | Sewer (Eastern Richland Sewer Corporation) | N/A    |
| <b>Water</b>                                      | Ellettsville Utilities                     | Ellettsville Utilities                     | Ellettsville Utilities                     | Ellettsville Utilities                     | Ellettsville Utilities                     | Ellettsville Utilities                     | N/A    |
| <b>Electric</b>                                   | Duke Energy                                | Duke Energy                                | Duke Energy                                | Duke Energy                                | Duke Energy                                | Duke Energy                                | N/A    |
| <b>Property Access</b>                            | W Carmola Road                             | W Carmola Road                             | W Carmola Road                             | W Carmola Road                             | W Carmola Road                             | W Carmola Road                             | N/A    |
| <b>Total R/W Dedication; W Carmola DR (Local)</b> | 25 feet; <a href="#">RW-23-333</a>         | 25 feet; <a href="#">RW-23-334</a>         | 25 to 30 feet; <a href="#">RW-23-335</a>   | 30 feet; <a href="#">RW-23-336</a>         | 31 feet; <a href="#">RW-23-337</a>         | 31 feet; <a href="#">RW-23-338</a>         | N/A    |
| <b>Environmental Conditions</b>                   | None                                       | None                                       | None                                       | None                                       | None                                       | None                                       | N/A    |
| <b>Existing Structure(s)</b>                      | Vacant                                     | Vacant                                     | Vacant                                     | Vacant                                     | Vacant                                     | Vacant                                     | Vacant |

In addition, this subdivision proposal adjoins Glen Meadows Subdivision, which has not been completed per the approved preliminary plat, nor taken into the County inventory. The developer, Don Grubb, will be notified of the deficiencies of both the subdivision, as well as the improvements needed to bring the subdivision into the County inventory by the time of the February Plan Commission meeting. As part of our reporting on subdivisions that remain unbuilt, we want to provide the following history:

To date, the County holds a fund line in the amount of \$67,083.50 (cashed in 2014 since Developer walked away) for Glen Meadows Section I and II for street trees and sidewalks. The Planning Department, Highway Department, and Stormwater Division conducted an inspection on 1/31/2024, following the Plan Commission meeting in January. Our findings have been communicated to the adjacent neighbors, as well as Don Grubb by the timing of the February Plan Commission meeting. In summary, the amount that the County has on file – \$67,083.50 – is not adequate to complete all improvements necessary to bring Glen Meadows into the County inventory; it was estimated that it would require a total of \$532,843.53 of improvements to address the overall wear and tear, plus deficiencies. To address the deficiencies in just implementing the improvements that are not located within the subdivision, it would take ~\$86,755 for the **missing** sidewalk and \$22,350 for the **missing** street trees to be planted; this total would be \$109,104. However, the end goal is to build this subdivision to the standards approved in the preliminary plat and dedicate the roadways into the inventory. The Highway Department has conducted a thorough review of the infrastructure and the surety estimate is listed as Exhibit 7; note, this amount does not address the Stormwater deficiencies.

A summary of the concerns regarding taking the infrastructure into the inventory includes, but is not limited to, missing/broken sidewalk, missing ADA ramps, asphalt needing replacement, curb and gutter in disrepair, stormwater infrastructure requiring as-builts and further review, and more. Since the developer never completed the improvements, the roadway segments highlighted below (W Geranium, part of N Mocha Dr, N Petunia Ln, N Dahlia Ln, and N Begonia Ct), they cannot be accepted into the County Inventory. The remaining funds are not enough to complete the subdivision list of improvements due to a lack of adjustment for inflation, and wear and tear on initial improvements put in place. When there is a snow event, we continue to receive calls from neighbors complaining that there are several hours/days that they must wait for the road to be plowed by the private developer. Planning and Highway would like to see the roadway completed and accepted into the County Inventory. Below is an image of the roadway segments **not** in the County Inventory that are highlighted in yellow in relation to the property to be subdivided highlighted in blue outline:



**EXHIBITS - Immediately following report**

1. County Maps
2. Site Photos
3. Capacity Letter - Sewer
4. Comprehensive Plan Discussion
5. Planning Staff Findings of Fact
6. Preliminary Plat
7. Updated surety estimate from Highway Inspection 1-31-2024

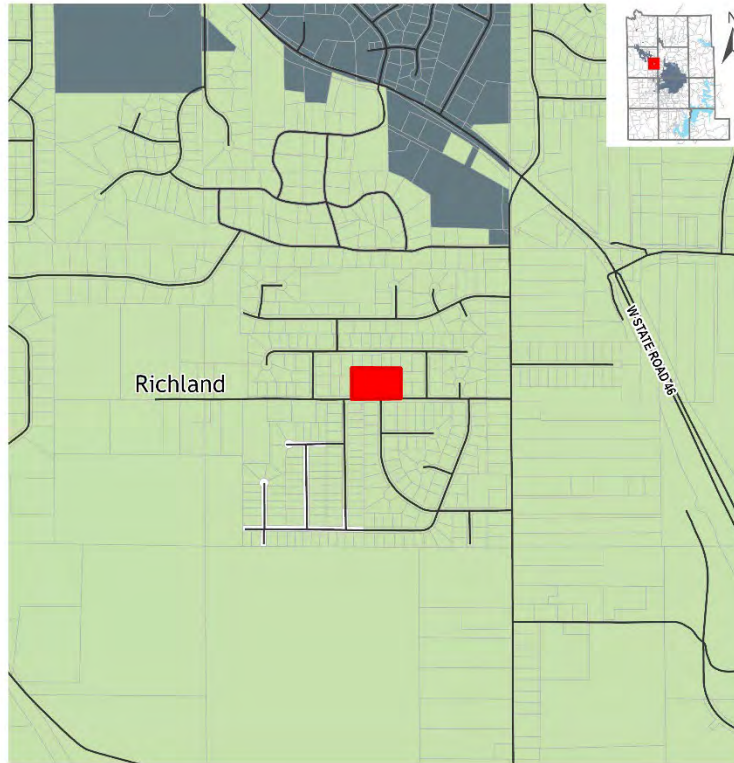


# EXHIBIT 1: County Maps

## LOCATION MAP

### Location Map

- Petitioner
- Roads
- ▭ Civil (Political) Townships
- Incorporated Areas**
- Ellettsville
- Parcels

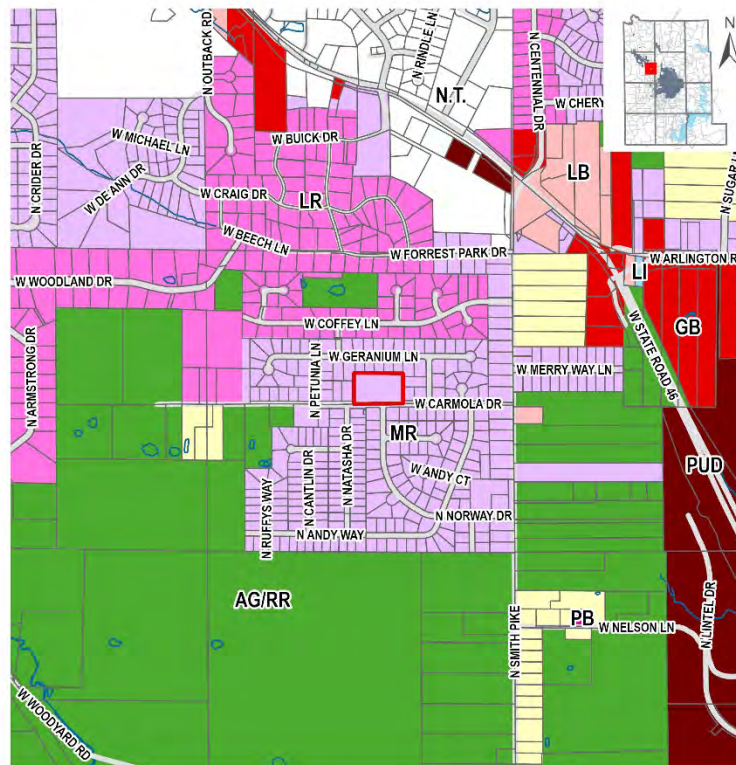


## ZONING

The zoning for the petition site and adjacent properties are zoned Medium-Density Residential (MR).

### Current Zoning Map












- Petitioner
- ▭ Parcels
- Roads
- Hydrologic Features
- Monroe County Zoning**
- AG/RR - Agriculture/Rural Reserve
- ER - Estate Residential
- GB - General Business
- LB - Limited Business
- LI - Light Industrial
- LR - Low Density Residential
- MR - Medium Density Residential
- N.T. - No Tag (Outside Juris.)
- PB - Pre-Existing Business
- PUD - Planned Unit Development
- ▭ Town of Ellettsville



## SITE CONDITIONS MAP

The petition site is mainly slopes under 15%. The buildable area requirements will still be satisfied.

### Site Conditions Map

-  Petitioner
-  10-Foot Contours
- Percent Slopes**
-  0 - 12%
-  13 - 15%
-  16 - 18%
-  19 - 21%
-  22 - 24%
-  > 25%
-  Local Roads [50']
-  Parcels
- Critical Watersheds**
-  Jack's Defeat Creek



0 15 30 60 90 120 150 Feet



Monroe County  
Planning Department  
Source: Monroe County GIS  
Date: 11/14/2023

## EXHIBIT 2: Site Pictures



**Photo 1: A view of the western end of the lot from the corner of W Carmola DR and N Norway DR**



**Photo 2: A view of the center of the lot from the corner of W Carmola DR and N Norway DR**



**Photo 3: A view of the eastern end of the lot from the corner of W Carmola DR and N Norway DR**

**Eastern Richland Sewer Corporation**

P.O. Box 505, Ellettsville, IN 47429-0505 Ph: (812) 272-2869

**“Meeting the needs of our customers. Caring for others.”**

March 9, 2023

RE: Will Serve and Flow Acceptance

To Whom It May Concern,

Eastern Richland Sewer Corporation has adequate sewer flow capacity for the single family six lot proposed subdivision located at 4050 Carmola Drive, Bloomington, IN 47404. Our Inspector Shannon Reed will need to be contacted before the sewer lines are covered for final inspection.

Thank you,

Phil Peden, PE  
ERSC Engineer

## EXHIBIT 4: Comprehensive Plan Discussion

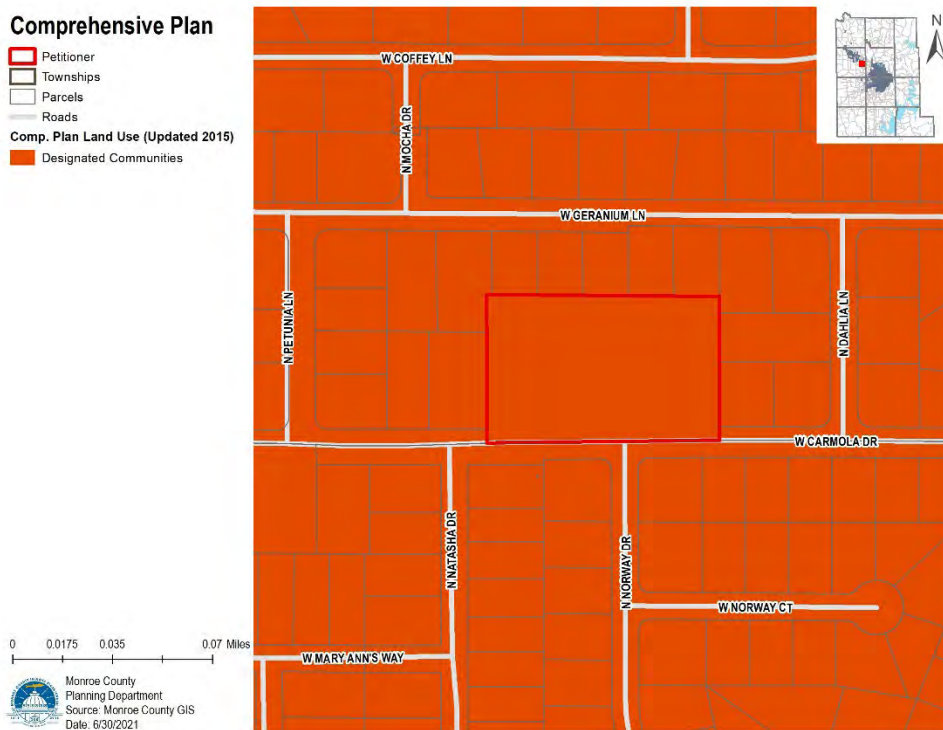
The petition site is located within the **Designated Communities** designation of the Comprehensive Plan. Points that differ from the MCUA districts are highlighted in grey. The Comprehensive Plan states the following for this designation:

### DESIGNATED COMMUNITY PLANS

The Board of County Commissioners adopted the previous Monroe County Comprehensive Land Use Plan on February 2, 1996, establishing a blueprint for the future growth and development of the unincorporated portions of Monroe County. A central element of this plan was the development of a number of focused rural community plans. Each of the plans takes the vision, goals, and preferred development patterns in the prior 1996 comprehensive plan and applies them in a more detailed manner within each of the county's existing rural communities.

As stated in the 1996 Comprehensive Plan, "Growth will primarily occur within the City of Bloomington, guided by the city's Growth Policies Plan; in appropriate areas in the Bloomington fringe, guided by the County's Comprehensive Plan; within the Town of Ellettsville, guided by the town's Comprehensive Plan and within the existing small rural communities located throughout the county, each guided by its own rural community plan. The remaining portions of the county will remain rural with very low residential densities, active agricultural lands, mineral extraction operations, and logging activities, as well as substantial areas of open space. The comprehensive plan proposes this development pattern for a number of reasons, including wise management of limited fiscal resources, protection of the natural and manmade environment, and capitalizing on existing public and private investments."

These rural plans are now incorporated as part of the updated 2010 Monroe County Comprehensive Plan.



### Ellettsville Rural Community Land Use Plan

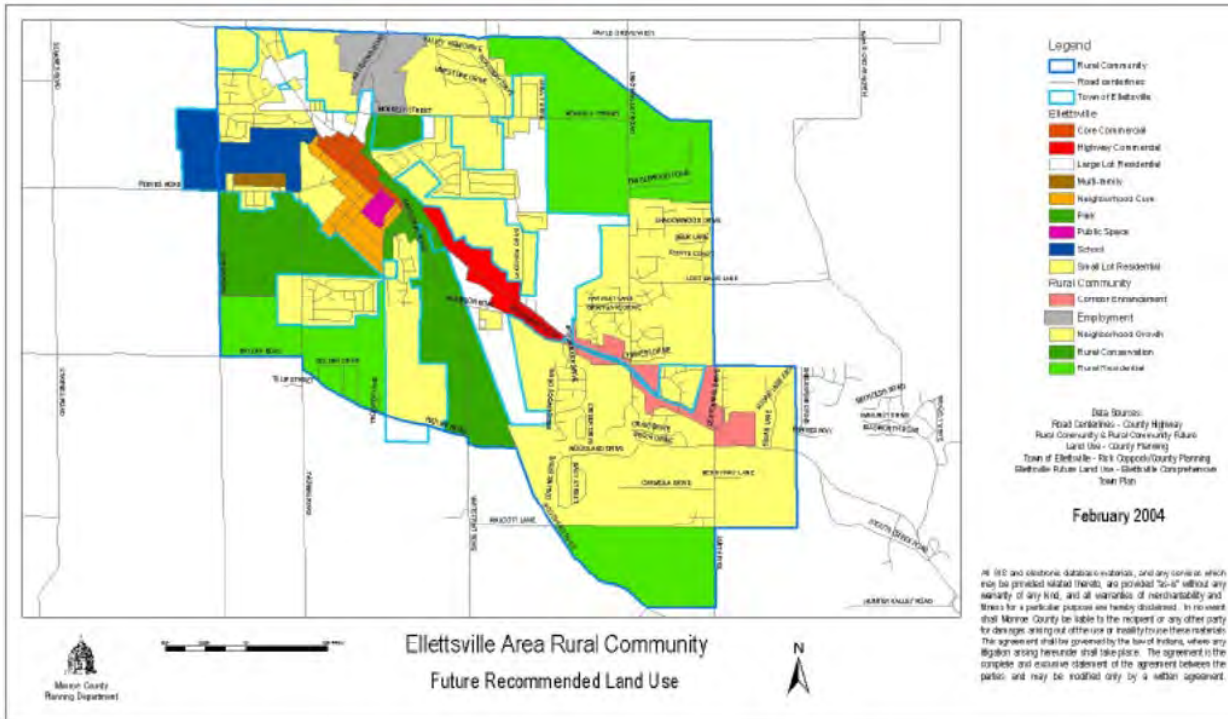
The Ellettsville Rural Community Land Use Plan was approved by the Board of County Commissioners at the July 11, 2003 meeting. The Ellettsville area which includes the Town of Ellettsville and the surrounding area bounded by Ratliff Road and Woodyard Road to the south, near Maple Grove to the east, near West Maple Grove Road to the north, and near the town limits to the west, is the subject of the plan developed within this document.

The Ellettsville Rural Community Land Use Plan proposes to:

- Enhance existing development through the introduction of missing neighborhood elements including open space, mixed uses, and interconnecting transportation facilities
- Enhance the SR 46 Corridor through improved site design, access management and landscaping and facilitate the introduction of a mix of uses and to better link the corridor to adjoining neighborhoods

- Establish a green corridor consisting of open space and alternative transportation opportunities along the Monon Rail Corridor and Jacks Defeat Creek
- Maintain a discernable edge consisting of low density, large lot residential development along the perimeter of the rural community
- Continue focusing new employment activities, such as manufacturing and processing within current locations and within the business and industry overlay located west of town.
- Provide business opportunities within new and existing neighborhoods in a unified and compatible manner
- Coordinates future growth and development activities with the Town of Ellettsville

The Ellettsville Rural Community Land Use Plan map is displayed in Figure 50:



**EXHIBIT 5: Findings of Fact - Subdivisions**

**850-3 PURPOSE OF REGULATIONS**

(A) To protect and provide for the public health, safety, and general welfare of the County.

**Findings**

- Approval of the subdivision would subdivide one lot into seven (7) lots which will meet all design standards;
- Proposed lots have all obtained a Will-Serve letter for sewer access;
- The MS4 Coordinator has not yet fully reviewed the drainage;
- A total of 25-31' of right-of-way is required to be dedicated along W Carmola DR, a Local Road, in addition to a temporary 10' Right-of-Way easement;

(B) To guide the future development and renewal of the County in accordance with the Comprehensive Plan and related policies, objectives and implementation programs.

**Findings**

- The Comprehensive Plan designates the site as Designated Communities, which includes low-density single-family subdivisions;
- The site has access to utilities; water will be provided via Ellettsville Utilities, Sewer access is provided by Eastern Richland Sewer Connection, and electricity will be provided by Duke Energy;
- Burial of above ground utilities in accordance with Chapter 856-41 of the Subdivision Control Ordinance shall be added as a Note on the final plat;
- See findings under Section A;

(C) To provide for the safety, comfort, and soundness of the built environment and related open spaces.

**Findings**

- See findings under (A);
- The proposed use is residential;
- The surrounding uses are residential;

(D) To protect the compatibility, character, economic stability and orderliness of all development through reasonable design standards.

**Findings**

- The property is currently zoned Medium Density Residential (MR) and is undeveloped and vacant;
- Adjacent properties are zoned Medium Density Residential (MR), and are used for residential uses;
- Approval of the subdivision would create seven (7) lots that meet the design standards for the zoning designation MR;
- See findings under Sections A & C;

(E) To guide public and private policy and action to ensure that adequate public and private facilities will be provided, in an efficient manner, in conjunction with new development, to promote an aesthetically pleasing and beneficial interrelationship between land uses, and to promote the conservation of natural resources (e.g., natural beauty, woodlands, open spaces, energy and areas subject to environmental constraints, both during and after development).

**Findings**

- See findings under Sections A & C & D;

(F) To provide proper land boundary records, i.e.:

(1) to provide for the survey, documentation, and permanent monumentation of land boundaries and property;

**Findings:**

- The petitioner has submitted a preliminary plat drawn by a registered surveyor.

(2) to provide for the identification of property; and,

**Findings:**

- The petitioner submitted a survey with correct references, to township, section, and range to locate parcel. Further, the petitioner has provided staff with a copy the recorded deed of the petition site.

(3) to provide public access to land boundary records.

**Findings**

- The land boundary records are found at the Monroe County Recorder's Office and, if approved, this petition will be recorded there as a plat. The plat must comply with Chapter 860 - Document Specifications to be recorded.

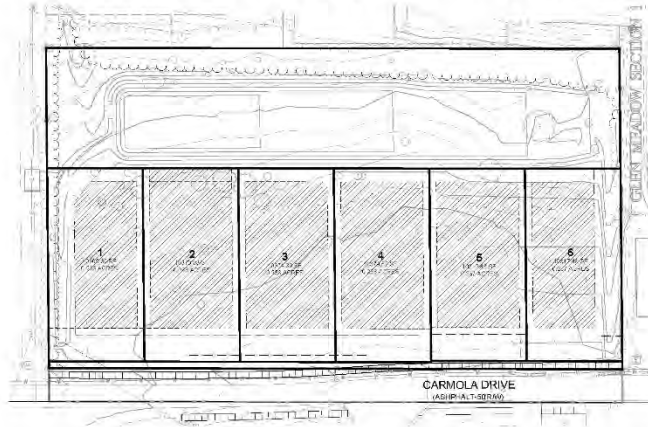


# SPRING WOODS MAJOR SUBDIVISION

## 4050 W CARMOLA DRIVE BLOOMINGTON, INDIANA 47404

### SECTION 24, T-9-N, R-2-W

| Sheet List Table |                                 |
|------------------|---------------------------------|
| Sheet Number     | Sheet Title                     |
| 1                | Title Sheet                     |
| 2                | EXISTING CONDITION & DEMOLITION |
| 3                | Site Plan                       |
| 4                | Grading Plan                    |
| 5                | UTILITY PLAN                    |
| 6                | PRELIMINARY PLAT                |
| 7                | PROFILES                        |
| 8                | DETAILS SHEET 1                 |
| 9                | SWPP PLAN                       |
| 10               | SWPPF EIDEAL                    |
| 11               | SWPPF Specs                     |
| 12               | SWPP Details                    |
| 13               | Landscape Plan                  |

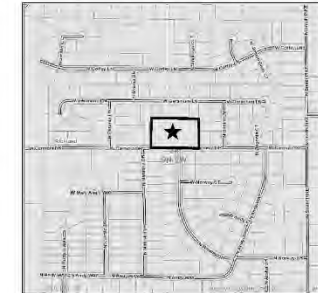


**RICHLAND TOWNSHIP  
SECTION 24  
TOWNSHIP 9 NORTH  
RANGE 2 WEST**

**OWNER(S)**  
BLACKWELL CONTRACTORS  
INC  
PO BOX 3400  
BLOOMINGTON, IN 47402  
INST 2020014812

**DESIGNER(S) & SURVEYOR(S)**  
SMITH DESIGN GROUP, INC  
1487 W ARLINGTON ROAD  
Bloomington, IN 47404  
(812) 336-6536

**DEVELOPER(S)**  
BLACKWELL CONTRACTORS INC  
PO BOX 3400  
BLOOMINGTON, IN 47402  
(812) 336-6110



VICINITY MAP

★ PROJECT LOCATION



N.T.S

**LEGAL DESCRIPTION**

A PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 9 NORTH, RANGE 2 WEST, IN MONROE COUNTY, INDIANA DESCRIBED AS FOLLOWS: TO-WIT: BEGINNING AT A POINT THAT IS 188 FEET WEST AND 182 FEET SOUTH OF THE SOUTHWEST CORNER OF THE NORTH-EAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 9 NORTH FOR A DISTANCE OF 450.00 FEET; THENCE NORTH FOR A DISTANCE OF 360 FEET; THENCE WEST FOR A DISTANCE OF 450 FEET; THENCE SOUTH FOR A DISTANCE OF 360 FEET AND TO THE PLACE OF BEGINNING, CONTAINING 2.81 ACRES, MORE OR LESS.



SCALE: 1"=40'



| SHEET NO. | REVISIONS      | BY | DATE     |
|-----------|----------------|----|----------|
| 10        | Auto PLOT/DATE | JT | 01/18/24 |
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NOT FOR CONSTRUCTION

CERTIFICATION DATE  
**11-29-2023**

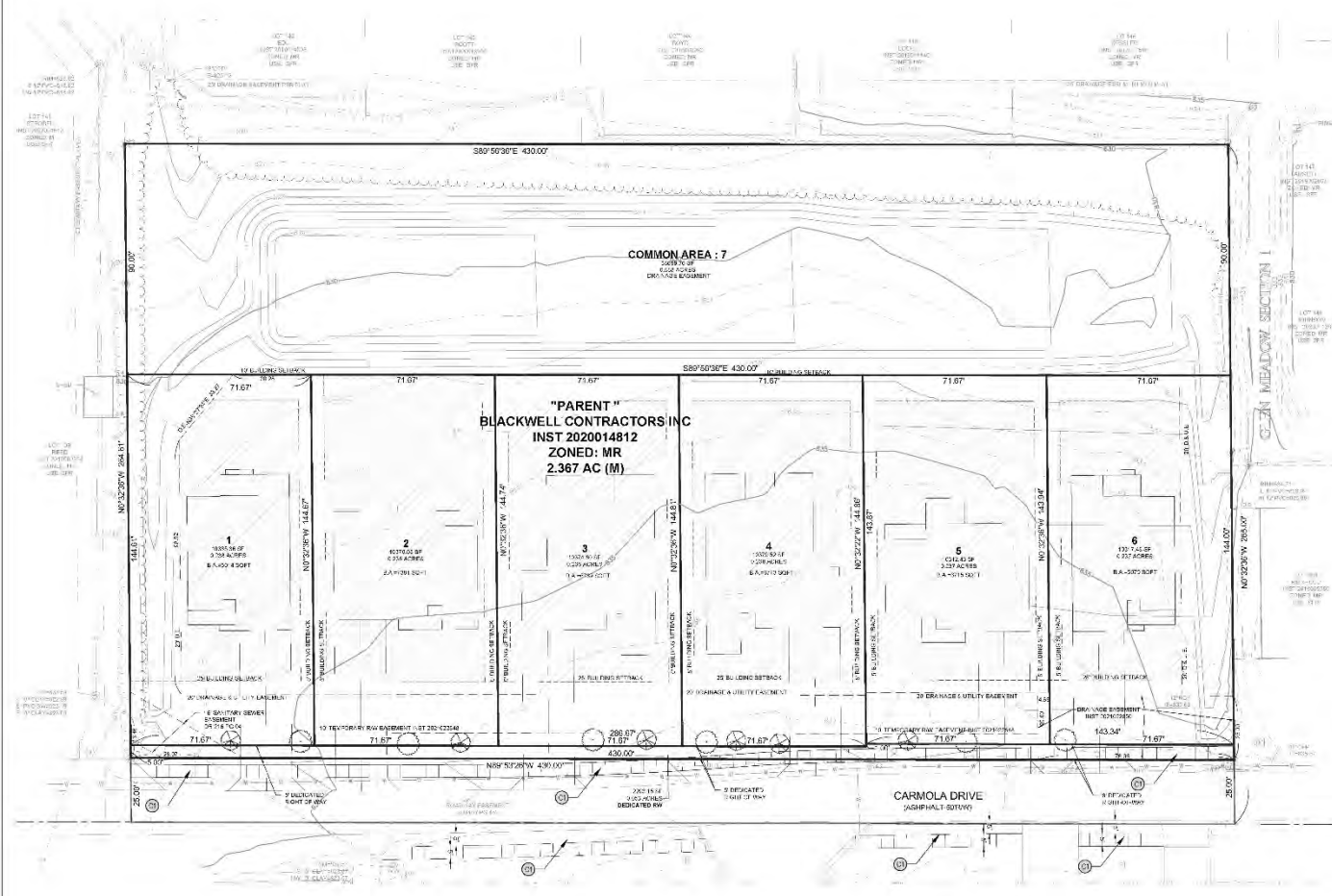
NOTE: WATER, AND SANITARY SEWER ITEMS SHALL BE IN ACCORDANCE WITH THE TOWN OF ELLETTSVILLE UTILITIES AND EASTERN RICHLAND SEWER CORPORATION CONSTRUCTION SPECIFICATIONS. ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE 2021 SMITH DESIGN GROUP, INCORPORATED STANDARD SPECIFICATIONS.



**CIVIL ENGINEERING - LAND SURVEYING**  
1487 W Arlington Road Bloomington, IN 47404  
(812) 336-6536 - smithdgroup.com

**GRADING PERMIT**  
JOB NUMBER: 6293





**SITE PLAN NOTES**

- CONTRACTOR RESPONSIBLE FOR OBTAINING A BONDING COUNTY LICENSE FOR CONSTRUCTION FOR ALL WORK IN THE PUBLIC AND NON-PUBLIC LOCATIONS.
- THE SITE SHALL BE SUBJECT TO THE BONDING COUNTY LICENSE FOR CONSTRUCTION REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BONDING COUNTY AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BONDING COUNTY.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.

**REQUIREMENTS (ZONE MR)**

FROM: 25 FT TO BOUNDARY  
FROM: 10 FT TO BOUNDARY  
FROM: 5 FT TO BOUNDARY

BUILDING HEIGHT: 20 MAXIMUM

MINIMUM LOT: 1.02 ACRES  
MINIMUM LOT: 1.02 ACRES  
MINIMUM OPEN SPACE: 6%

**STATEMENT OF COMPLIANCE**

THE PLANS SATISFY THE PERFORMANCE STANDARDS OF CHAPTER 592 AS FOLLOWS:

- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
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- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.
- ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THIS PLAN.

**SITE MATERIALS**

- CONCRETE IS RECOMMENDED FOR ALL DRIVEWAYS AND PATHS.
- ASPHALT IS RECOMMENDED FOR ALL DRIVEWAYS AND PATHS.

**STREET TREES NOTES**

- STREET TREES SHALL BE SELECTED FROM CHARTER 630 TABLE 380 AND SHALL BE MAINTAINED BY BONDING COUNTY LANDSCAPE DEPARTMENT WITHIN 180 DAYS.
- LOCATIONS OF STREET TREES SHALL VARY TO AVOID UTILITY CONFLICTS, BUT SHALL BE GENERALY TO THE RIGHT OF WAY AND WITHIN 10' OF THE RIGHT OF WAY LINE.
- NOT MORE THAN 1 SPECIES OF STREET TREE SHALL BE PLANTED IN MORE THAN 20% OF THE TOTAL STREET TREES PLANTED ON SITE.

**SITE LEGEND**

BOUNDARY

SETBACK

SETBACK

SETBACK



NOT FOR CONSTRUCTION

11/29/2023

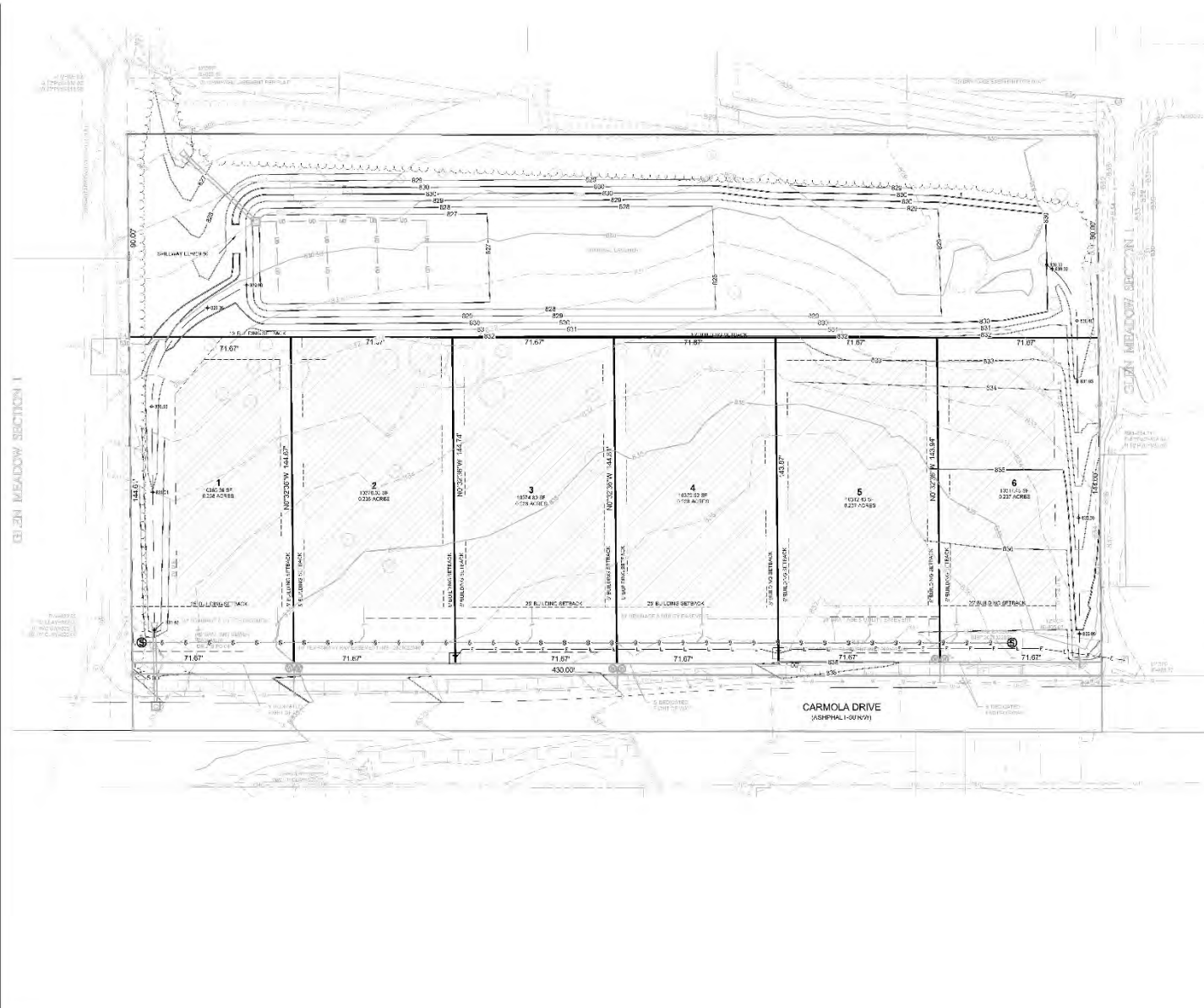
**SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN**

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DATE: 11/29/23  
BY: [Signature]

JOB NUMBER: 6293  
SHEET: 3 OF 13

DATE: 02/12/2024  
SITE PLAN



**GRADING LEGEND**

|                             |          |
|-----------------------------|----------|
| PROPOSED MAJOR CONTROL      | ---      |
| PROPOSED MINOR CONTROL      | ---      |
| PROPOSED MAJOR CONTROL      | ---      |
| PROPOSED MINOR CONTROL      | ---      |
| PROPOSED ELEVATION          | XXX.XX   |
| LEGAL OR MAGNETIC LINEATION | ---      |
| TOP OF CURB IN PAVEMENT     | TO XXXXX |
| HIGH POINT                  | XXX.XX   |
| LOW POINT                   | XXX.XX   |
| FRESH FLOOR ELEVATION       | ---      |
| TOP OF RETAINING WALL       | XXXXXX   |
| TOP OF CURB IN FINISH WALL  | XXXXXX   |
| TOP OF RAFT                 | XXXXXX   |
| SECTION OF RAFT             | XXXXXX   |
| PROPOSED DRAINAGE FLOW LINE | ---      |

**GENERAL NOTES**

1. CONTROL POINT ELEVATIONS ARE BASED ON DATA OBTAINED FROM SURVEY OR OTHER SOURCE. PROPERTY OWNERS SHOULD VERIFY THESE DATA WITH A LICENSED SURVEYOR.
2. THE SUBDIVISION "AS SHOWN" IS SUBJECT TO BE VERIFIED BY THE FIELD BY THE CONTRACTOR.
3. ALL DIMENSIONS SHOWN ARE TO THE CENTERLINE OF THE ROAD OR TO THE CENTERLINE OF THE LOT. THE CENTERLINE OF THE ROAD OR TO THE CENTERLINE OF THE LOT IS TO BE VERIFIED BY THE CONTRACTOR.
4. ALL DIMENSIONS SHOWN ARE TO THE CENTERLINE OF THE ROAD OR TO THE CENTERLINE OF THE LOT. THE CENTERLINE OF THE ROAD OR TO THE CENTERLINE OF THE LOT IS TO BE VERIFIED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

**LEGEND**

|   |                         |
|---|-------------------------|
| ⊙ | SANITARY SEWER MANHOLE  |
| — | SANITARY SEWER LINE     |
| — | SANITARY LATERAL        |
| ⊖ | SANITARY CLEANOUT       |
| ⊕ | WATER VALVE             |
| ⊕ | FIRE HYDRANT            |
| ⊕ | WATER AIR RELEASE VALVE |
| ⊕ | WATER AIR VALVE         |
| ⊕ | WATER LINE              |
| ⊕ | STORM INLET             |
| ⊕ | CON. MANHOLE            |
| ⊕ | STORM YARD INLET        |

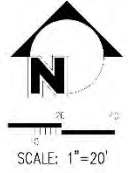


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11/29/2023

SPRING WOODS MAJOR SUBDIVISION  
4050 W CARMOLA DRIVE  
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SMITH DESIGN GROUP, INC.  
6293  
SHEET  
4 OF 13  
02/12/2024  
GRADING PLAN





NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN

Table with columns: DATE, BY, DATE, BY, DATE, BY, DATE, BY, DATE, BY

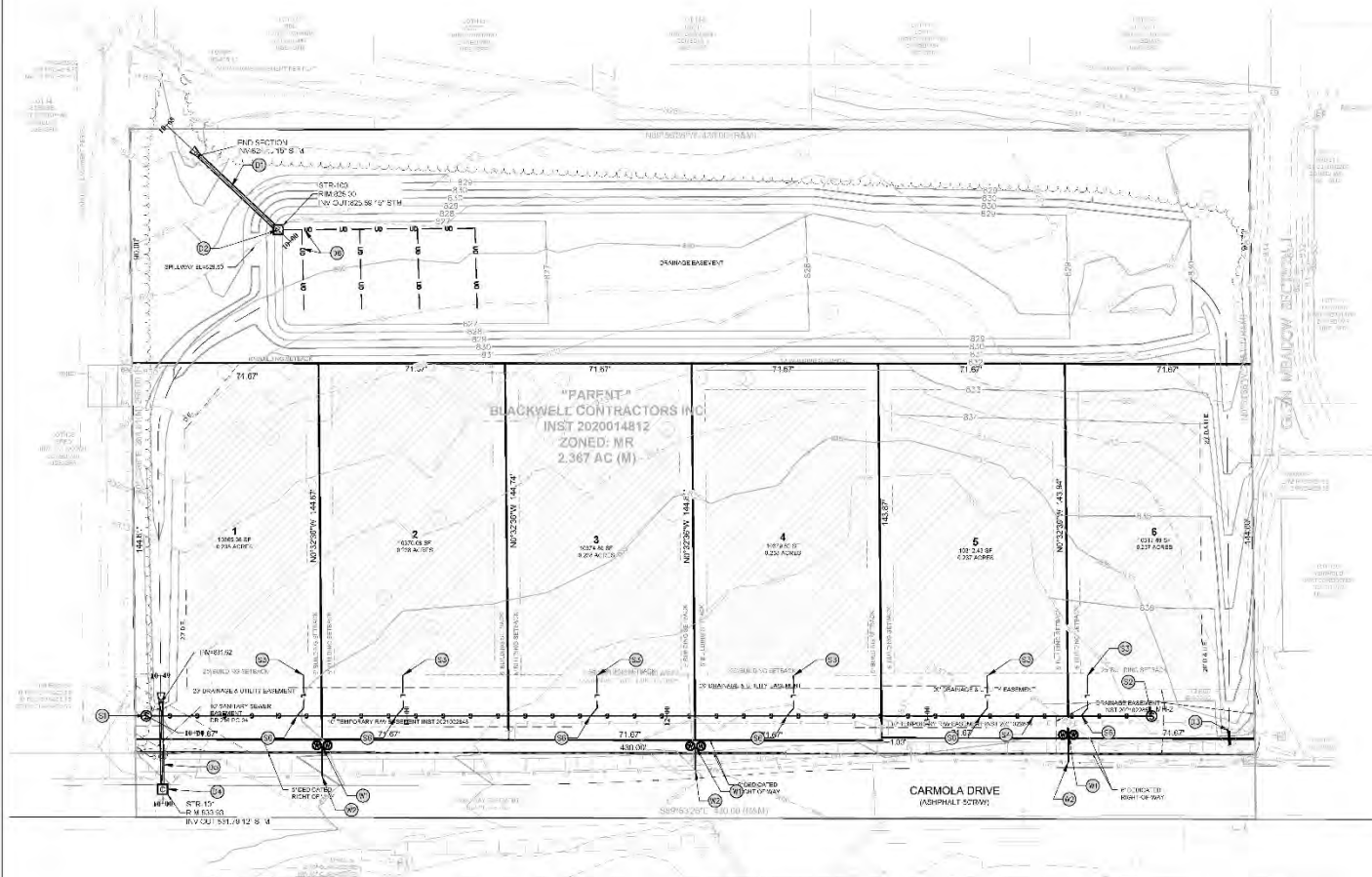
DATE: 02/12/2024

JOB NUMBER: 6293

SHEET: 5 OF 13

DATE: 02/12/2024

UTILITY PLAN



UTILITY KEY NOTES

- WATER LINE NOTES (1) CO... (2) ... (3) ...
SANITARY SEWER NOTES (1) PLACE NEW 48" DIAMETER EXISTING SANITARY ...
STORM SEWER NOTES (1) ... (2) ... (3) ... (4) ... (5) ... (6) ...

UTILITY LEGEND

- FIRE HYDRANT SYMBOL
WATER METER PIT SYMBOL
WATER VALVE SYMBOL
WATER AT THE TRAVEL VAMP SYMBOL
EXISTING SANWER INLET SYMBOL
EXISTING SANWER INLET SYMBOL
EXISTING SANWER INLET SYMBOL
EXISTING SANWER INLET SYMBOL
EXISTING SANWER INLET SYMBOL
WATERLINE SYMBOL
SEWER LINE SYMBOL
SEWER LINE SYMBOL
SEWER LINE SYMBOL
SEWER LINE SYMBOL
URINAL WASHING COLLECTION SYMBOL



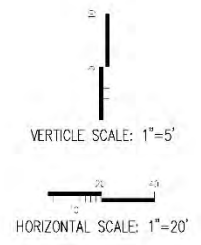
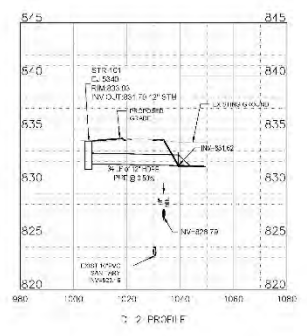
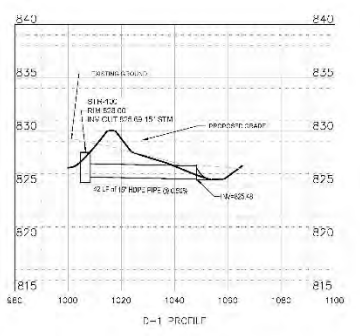
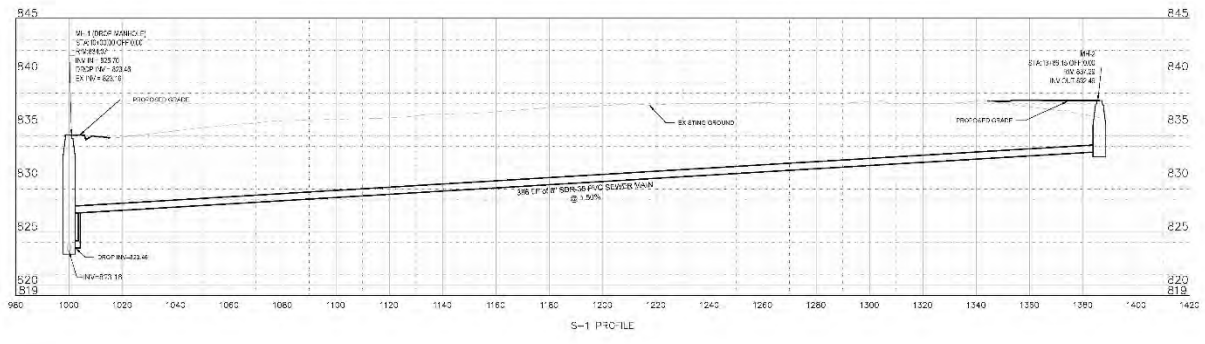
SCALE: 1"=20'

UTILITY NOTES

- 1. ALL UTILITIES SHALL BE ...
2. CONTRACTOR SHALL NOTIFY THE TOWN OF BLOOMINGTON ...
3. SEE SPECIFICATIONS FOR SIZE OF WATER SERVICES ...
4. CONTRACTOR SHALL NOTIFY THE TOWN OF BLOOMINGTON ...
5. SEE SPECIFICATIONS FOR SIZE OF WATER SERVICES ...

- 6. CONTRACTOR SHALL NOTIFY THE TOWN OF BLOOMINGTON ...
7. SEE SPECIFICATIONS FOR SIZE OF WATER SERVICES ...
8. CONTRACTOR SHALL NOTIFY THE TOWN OF BLOOMINGTON ...
9. SEE SPECIFICATIONS FOR SIZE OF WATER SERVICES ...





NOT FOR CONSTRUCTION

11/29/2023

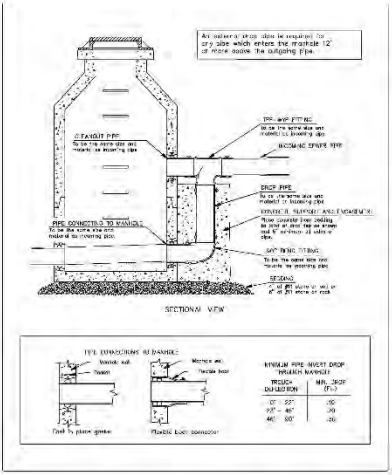
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DESIGNED BY: KES  
 CHECKED BY: KES  
 DATE:  

JOB NUMBER: 6293  
 SHEET: 7 OF 13  
 DATE: 02/12/2024

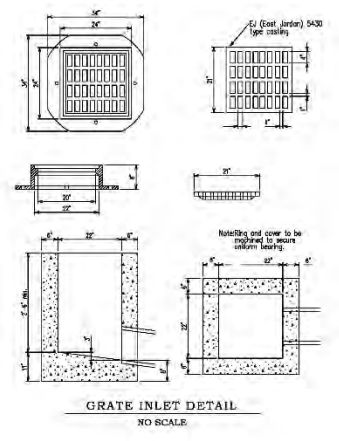
PROFILES



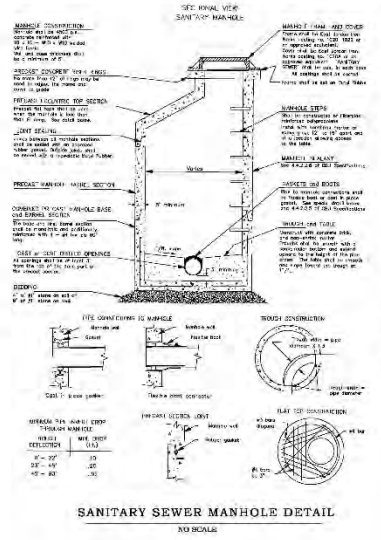
DROP SANITARY SEWER MANHOLE DETAIL  
NO SCALE



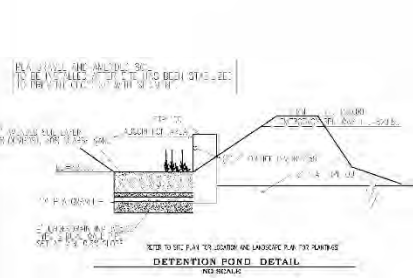
SANITARY SEWER CLEAN OUT  
NO SCALE



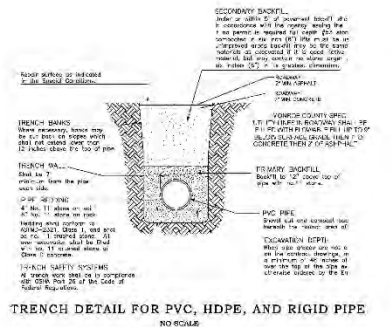
GRATE INLET DETAIL  
NO SCALE



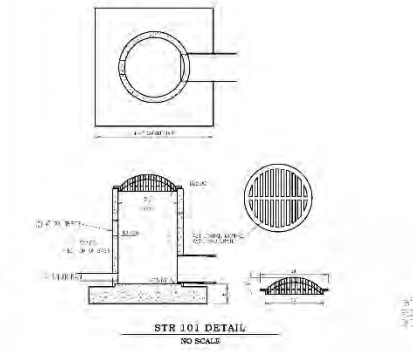
SANITARY SEWER MANHOLE DETAIL  
NO SCALE



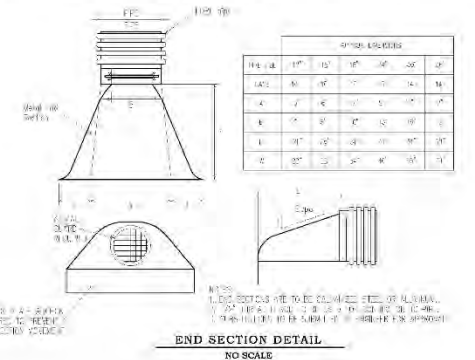
DETENTION POND DETAIL  
NO SCALE



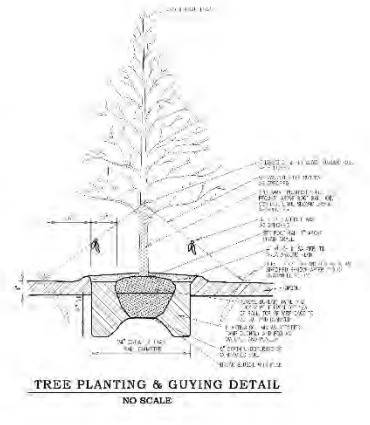
TRENCH DETAIL FOR PVC, HDPE, AND RIGID PIPE  
NO SCALE



STR JOI DETAIL  
NO SCALE



END SECTION DETAIL  
NO SCALE



TREE PLANTING & GUYING DETAIL  
NO SCALE



NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION  
4050 W CARMOLA DRIVE  
BLOOMINGTON IN

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6293  
SHEET

8 OF 13

02/12/2024  
DETAILS SHEET 1



**GENERAL CONSTRUCTION SEQUENCE**

**GENERAL CONSTRUCTION SEQUENCE**

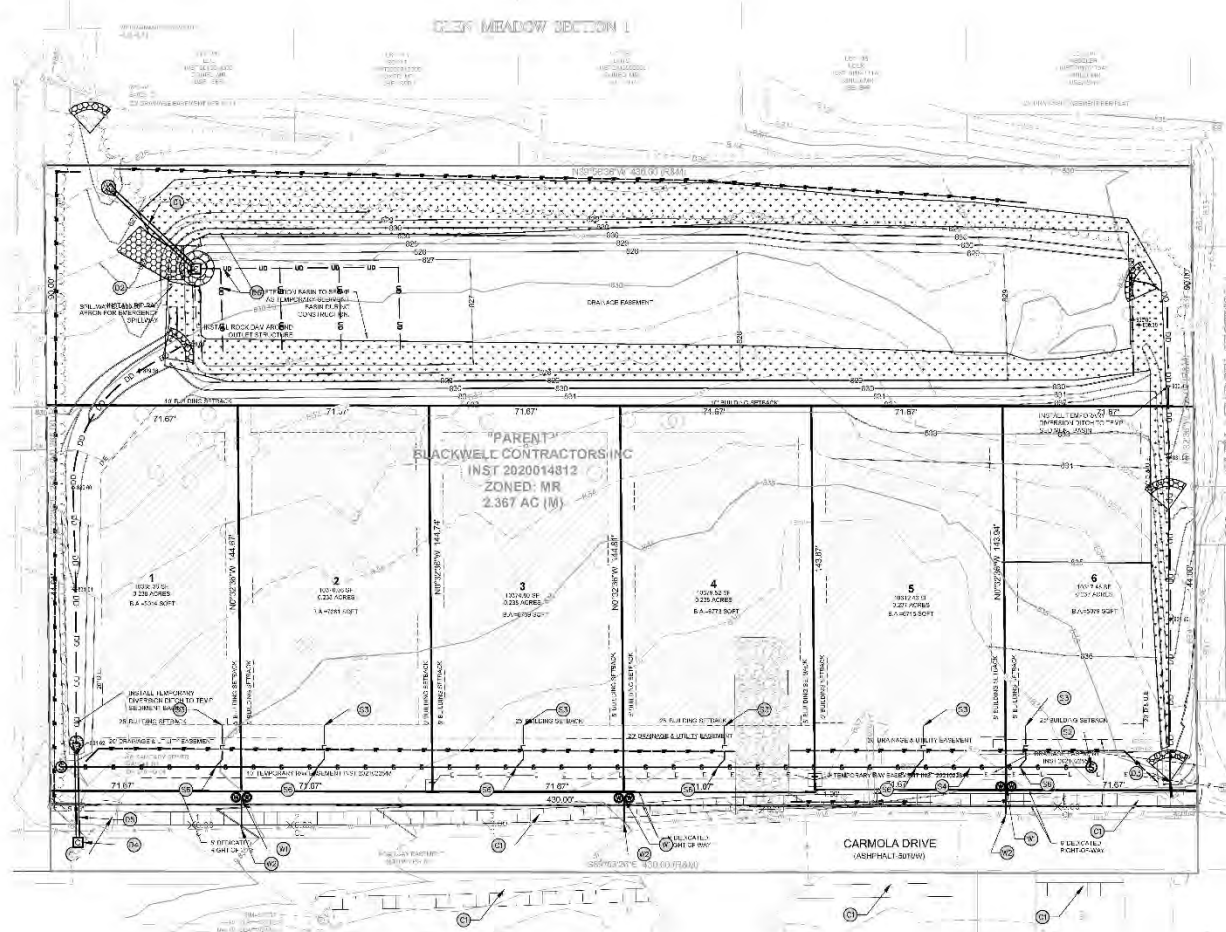
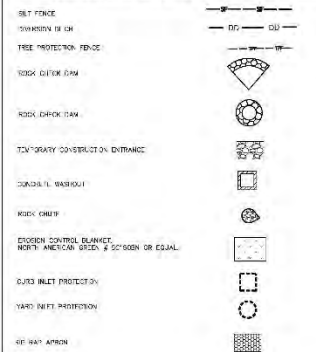
1. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
2. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
3. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
4. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
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11. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
12. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
13. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
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15. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
16. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
17. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
18. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
19. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.
20. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT AND THE LOCAL WATER TREATMENT PLANT.

**SWPP GENERAL REQUIREMENTS**

1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SWPP SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.
2. SWPP SYSTEMS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
3. SWPP SYSTEMS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. SWPP SYSTEMS SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
5. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
6. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
7. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
8. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
9. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
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18. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
19. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
20. SWPP SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

| SWPP SYSTEM    | SIZE    | LENGTH | INSTALLATION DATE |
|----------------|---------|--------|-------------------|
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |
| SEDIMENT BASIN | 12" DIA | 10' L  | 12/15/24          |

**EROSION CONTROL LEGEND**



NOT FOR CONSTRUCTION

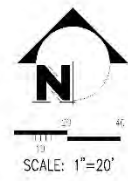
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**SPRING WOODS MAJOR SUBDIVISION**  
4050 W CARMOLA DRIVE  
BLOOMINGTON IN

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SWPP PLAY

JOB NUMBER  
**6293**  
SHEET  
**9 OF 13**  
DATE  
**02/12/2024**  
SWPP PLAY





SECTION 02420  
STORMWATER POLLUTION PREVENTION & EROSION CONTROL

PART 1 GENERAL

- 1.01 SUMMARY
A. Section 02420 Storm Water Pollution Prevention & Erosion Control
B. Section 02420 Storm Water Pollution Prevention & Erosion Control
C. Section 02420 Storm Water Pollution Prevention & Erosion Control

PART 2 REFERENCES

- 1. The City of Bloomington, Indiana, Department of Public Works, Stormwater Pollution Prevention Manual, 2015.
2. The City of Bloomington, Indiana, Department of Public Works, Stormwater Pollution Prevention Manual, 2015.

PART 3 PRODUCTS

- 1. Materials shall be as specified or approved by the City of Bloomington, Indiana, Department of Public Works, Stormwater Pollution Prevention Manual, 2015.
2. Materials shall be as specified or approved by the City of Bloomington, Indiana, Department of Public Works, Stormwater Pollution Prevention Manual, 2015.

Table with 3 columns: Division/Section, Material Name, and Quantity/Notes. Includes items like Stormwater Pollution Prevention Manual, Stormwater Pollution Prevention Manual, Stormwater Pollution Prevention Manual.

- 1.02 EXECUTION
A. Installation
B. Installation
C. Installation

PART 4 RELATED LISTS

- 1.01 RELATED LISTS
A. Installation
B. Installation
C. Installation

- 2. Installation
A. Installation
B. Installation

- 3. Installation
A. Installation
B. Installation

- 4. Installation
A. Installation
B. Installation

- 5. Installation
A. Installation
B. Installation

- 6. Installation
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B. Installation

- 7. Installation
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B. Installation

- 8. Installation
A. Installation
B. Installation

- 9. Installation
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- 10. Installation
A. Installation
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- 11. Installation
A. Installation
B. Installation

- 12. Installation
A. Installation
B. Installation

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B. Installation



NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN

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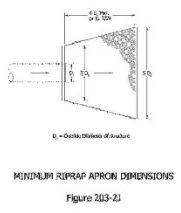
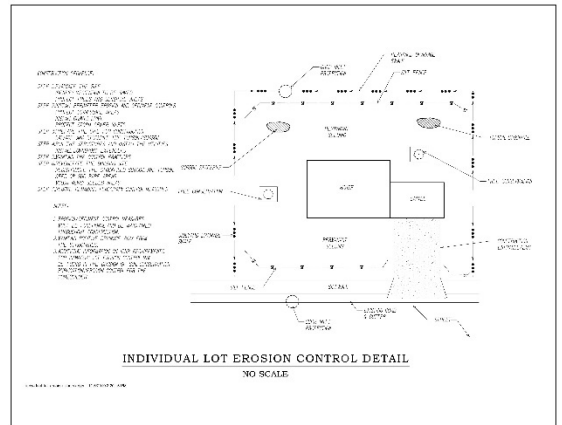
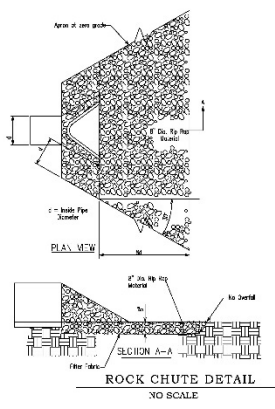
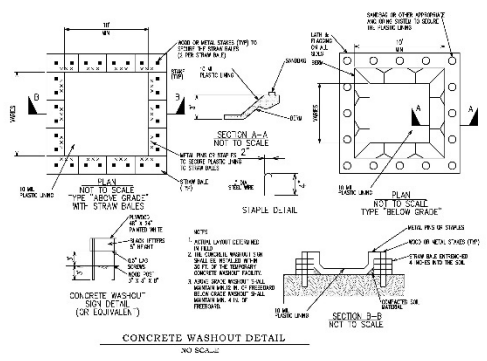
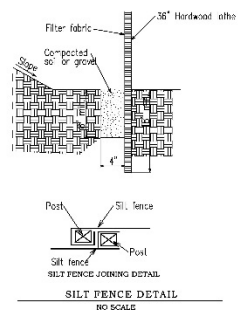
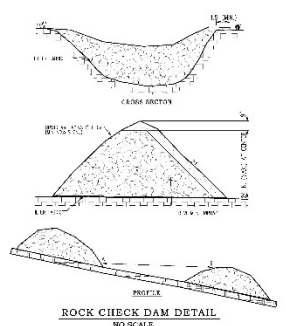
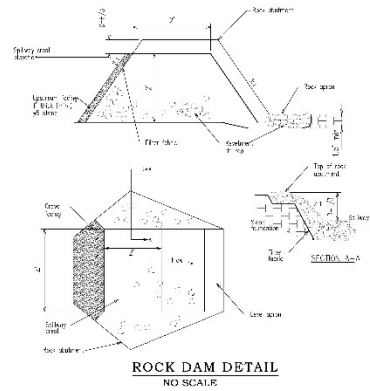
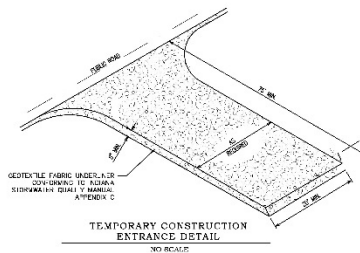
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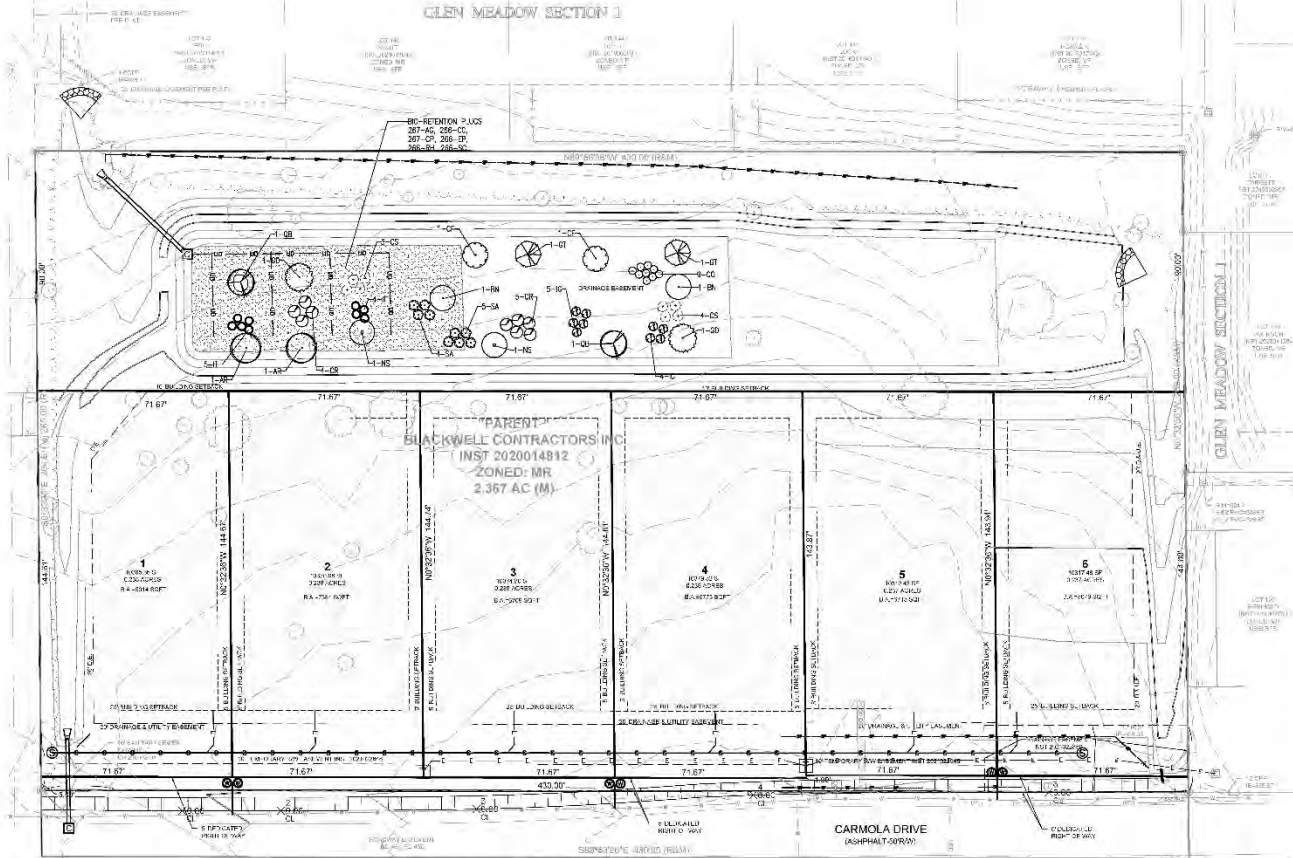
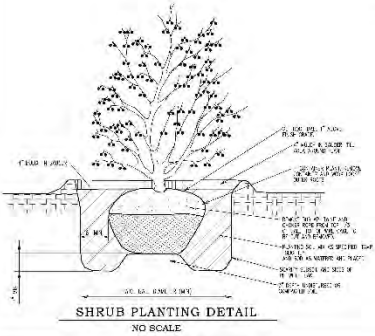
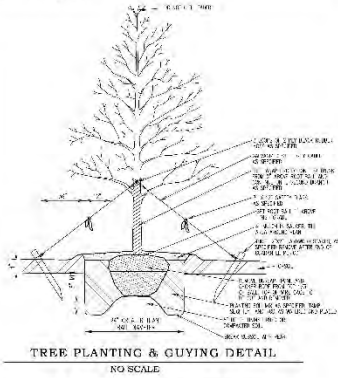
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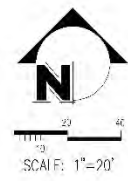
| BIORETENTION PLANT TABLE      |     |                |                           |              |
|-------------------------------|-----|----------------|---------------------------|--------------|
| LET                           | QTY | BOTANICAL NAME | COMMON NAME               | SIZE         |
| <b>TREES</b>                  |     |                |                           |              |
| AK                            | 2   | AZALEA         | Red Maple                 | 2" Caliper   |
| BN                            | 2   | BETULA         | River Birch               | 2" Caliper   |
| CF                            | 2   | CORNUS         | Flowering Dogwood         | 2" Caliper   |
| DT                            | 2   | DYWIDOLADUS    | Kentucky Coffee Tree      | 2" Caliper   |
| GT                            | 2   | GLETTISIA      | Honeylocust               | 2" Caliper   |
| MS                            | 2   | MYRTA          | Black Tupelo              | 2" Caliper   |
| OB                            | 2   | QUERCUS        | Swains White Oak          | 2" Caliper   |
| <b>SHRUBS</b>                 |     |                |                           |              |
| OR                            | 9   | CORVUS         | Gray Dogwood              | 3 Galton     |
| CO                            | 9   | CORVUS         | Red-twig dogwood          | 3 Galton     |
| IS                            | 9   | OSMUNDA        | Cardinal Red-twig dogwood | 3 Galton     |
| IS                            | 9   | IRIS           | Inherry                   | 3 Galton     |
| IT                            | 9   | ITEA           | Virginia Sweetgum         | 3 Galton     |
| SA                            | 9   | SPIRAEA        | Meadowswart               | 3 Galton     |
| <b>PERENNIALS AND GRASSES</b> |     |                |                           |              |
| AC                            | 257 | ANEMONE        | Big Bluestem              | 2" x 3" Plug |
| DC                            | 256 | CAREX          | Bluish Sedge              | 2" x 3" Plug |
| CF                            | 257 | CALTA          | Marsh Marigold            | 2" x 3" Plug |
| DP                            | 258 | DIANTHUS       | Single Cowslip            | 2" x 3" Plug |
| RH                            | 258 | RUDOLPHIA      | Black Lind Susan          | 2" x 3" Plug |
| SC                            | 258 | SCHIZOBIUM     | Little Blue Stem          | 2" x 3" Plug |

Spring Woods Subdivision  
 Bio-retention Landscape Requirements  
 Retention Area is 827' Contour = 3593.57'  
 3 Trees, 9 Shrubs and 1200 plugs required for every 300' of area.  
 24 trees required, 81 shrubs provided, 81 shrubs required, 36 shrubs provided, 1599 plugs plug  
 required, 1498 plugs provided.



- ### GENERAL NOTES
- CONTIGUOUS AND BOUNDARY DATA OBTAINED FROM SMITH DEC 150 & ASSOCIATES, INC.
  - LOCATOR OF EXISTING UTILITY LINES TO BE SHOWN IN THE FIELD BY THE CONTRACTOR. PLEASE NOTIFY ENGINEER OF ANY DISCREPANCIES AND NECESSARILY.
  - EXISTING PAVING AREAS (INC. PARKING SPACES, DRIVEWAYS AND ALLEYS) SHALL BE PAVED WITH PLANT MIX ASPHALT OR CONCRETE WITH REINFORCING BARS AND CURBS AT THE APPROPRIATE LOCATION.
  - SEE SMITH BROS. & ASSOCIATES, INC. STANDARD SPECIFICATIONS FOR CURBS AND CURB/ANDRAILS.
  - PLANTING MATERIALS TO BE SHOWN, SPEC. TO BE SHOWN IN ACCORDANCE WITH SECTION 804 OF THE 2014 ROAD STANDARD SPECIFICATIONS AND AS SHOWN ON THE PLANS.
  - CONTACT MEMPHIS COUNTY PLANNING DEPARTMENT AT (901)344-2550 AND MEMPHIS COUNTY COMMUNITY DEVELOPMENT AT (901)344-2550 TO OBTAIN A RECONSTRUCTION METING PRIOR TO EXISTING EXISTING ACTIVITIES.
  - ALL UTILITIES 3' OF SIZE 10" OR SMALLER TO BE SHOWN BY THE CONTRACTOR WITH THE MEMPHIS COUNTY ZONING ORDINANCE CHAPTER 808.

- ### LANDSCAPE NOTES
- PLANT MATERIALS MUST BE HEALTHY & SHIPING.
  - PLANTING PLACING SHALL BE INSTALLED.
  - ALL UNDESIRABLE TREES AND SHRUBS SHALL BE REMOVED & EITHER PLANTING OR PLANTING SHALL BE INSTALLED. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TIME FRAME.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DURING AND AFTER CONSTRUCTION AS SHOWN ON THE APPROVED PLAN.
- ### FINISH LAWN TYPE
- FINISH LAWN SHALL BE 10' WIDE OF PERMANENT PAVEMENT. SEE ALSO OF OWNERS THE PLAN, 20' WIDE OF CURBED CORNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DURING AND AFTER CONSTRUCTION AS SHOWN ON THE APPROVED PLAN.



SMITH DESIGN GROUP  
 11/29/2023

NOT FOR CONSTRUCTION

11/29/2023

SPRING WOODS MAJOR SUBDIVISION 4050 W CARMOLA DRIVE BLOOMINGTON IN

REVISIONS

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JOB NUMBER: 6293  
 SHEET: 13 OF 13  
 DATE: 02/12/2024  
 LANDSCAPE PLAN

**EXHIBIT 7: Updated Surety Estimate from Highway Inspection 1-31-2024**



**Glen Meadows Phase I & II  
Don Grubb  
Construction Estimate**

**Begonia Court**

| Type of Work                    | Item Number | Qty.    | Unit | Unit Price | Total Price        |
|---------------------------------|-------------|---------|------|------------|--------------------|
| <b><u>Asphalt</u></b>           |             |         |      |            |                    |
| Asphalt                         | 401-07322   | 50.39   | ton  | \$112.15   | \$5,651.24         |
| HMA Patching -Full Depth Type B | 304-12623   | 30.51   | ton  | \$210.47   | \$6,421.44         |
| Milling 1.0"                    | 306-08033   | 1206.87 | sys  | \$1.13     | \$1,363.76         |
|                                 |             |         |      |            | <b>\$13,436.44</b> |

|                        |           |   |      |            |                   |
|------------------------|-----------|---|------|------------|-------------------|
| <b><u>Castings</u></b> |           |   |      |            |                   |
| Casting Repair         | 615-06525 | 2 | each | \$1,222.66 | \$2,445.32        |
|                        |           |   |      |            | <b>\$2,445.32</b> |

|                        |           |     |      |          |                    |
|------------------------|-----------|-----|------|----------|--------------------|
| <b><u>Concrete</u></b> |           |     |      |          |                    |
| ADA Curb Ramps*        |           | 4   | each | \$275.00 | \$1,100.00         |
| Curb & Gutter          | 605-97937 | 29  | lft  | \$54.85  | \$1,590.65         |
| Sidewalk               | 604-02007 | 145 | lft  | \$144.35 | \$20,930.75        |
|                        |           |     |      |          | <b>\$23,621.40</b> |

|                       |           |    |     |         |                 |
|-----------------------|-----------|----|-----|---------|-----------------|
| <b><u>Misc.</u></b>   |           |    |     |         |                 |
| Curb & Gutter Removal | 202-02279 | 29 | lft | \$12.86 | \$372.94        |
|                       |           |    |     |         | <b>\$372.94</b> |

|                                 |           |    |     |         |                 |
|---------------------------------|-----------|----|-----|---------|-----------------|
| <b><u>Pavement Markings</u></b> |           |    |     |         |                 |
| 24.0" Thermoplastic Stop Bar    | 808-75297 | 12 | lft | \$13.97 | \$167.64        |
|                                 |           |    |     |         | <b>\$167.64</b> |

|                       |  |   |      |         |                 |
|-----------------------|--|---|------|---------|-----------------|
| <b><u>Signage</u></b> |  |   |      |         |                 |
| ID Sign               |  | 2 | each | \$50.00 | \$100.00        |
|                       |  |   |      |         | <b>\$100.00</b> |

|                                      |           |       |     |         |                   |
|--------------------------------------|-----------|-------|-----|---------|-------------------|
| <b><u>Stone</u></b>                  |           |       |     |         |                   |
| 4.0" #53 Stone - 4.0' Sidewalk       | 303-01180 | 14.04 | ton | \$41.93 | \$588.70          |
| 7.0" #53 Stone - Full Depth Patching | 303-01180 | 53.08 | ton | \$41.93 | \$2,225.64        |
|                                      |           |       |     |         | <b>\$2,814.34</b> |

**Subtotal \$42,958.08**

Dahlia Lane

| Type of Work                         | Item Number | Qty.    | Unit | Unit Price | Total Price  |
|--------------------------------------|-------------|---------|------|------------|--------------|
| <b><u>Asphalt</u></b>                |             |         |      |            |              |
| Asphalt                              | 401-07322   | 64.99   | ton  | \$112.15   | \$7,288.63   |
| HMA Patching -Full Depth Type B      | 304-12623   | 46.67   | ton  | \$210.47   | \$9,822.63   |
| Milling 1.0"                         | 306-08033   | 1320.42 | sys  | \$1.13     | \$1,492.07   |
|                                      |             |         |      |            | \$55,504.94  |
| <b><u>Concrete</u></b>               |             |         |      |            |              |
| ADA Curb Ramps*                      |             | 4       | each | \$275.00   | \$1,100.00   |
| Curb & Gutter                        | 605-97937   | 29      | lft  | \$54.85    | \$1,590.65   |
| Sidewalk                             | 604-02007   | 237     | lft  | \$144.35   | \$34,210.95  |
|                                      |             |         |      |            | \$36,901.60  |
| <b><u>Misc.</u></b>                  |             |         |      |            |              |
| Curb & Gutter Removal                | 202-02279   | 29      | lft  | \$12.86    | \$372.94     |
| Sidewalk Removal                     | 202-52710   | 237     | lft  | \$27.62    | \$6,545.94   |
|                                      |             |         |      |            | \$6,918.88   |
| <b><u>Pavement Markings</u></b>      |             |         |      |            |              |
| 24.0" Thermoplastic Stop Bar         | 808-75297   | 24      | lft  | \$13.97    | \$335.28     |
|                                      |             |         |      |            | \$335.28     |
| <b><u>Signage</u></b>                |             |         |      |            |              |
| ID Sign                              |             | 3       | each | \$50.00    | \$150.00     |
|                                      |             |         |      |            | \$150.00     |
| <b><u>Stone</u></b>                  |             |         |      |            |              |
| 7.0" #53 Stone - Full Depth Patching | 303-01180   | 81.02   | ton  | \$41.93    | \$3,397.17   |
|                                      |             |         |      |            | \$3,397.17   |
|                                      |             |         |      | Subtotal   | \$103,207.87 |

Geranium Lane

| Type of Work                         | Item Number | Qty.   | Unit | Unit Price | Total Price  |
|--------------------------------------|-------------|--------|------|------------|--------------|
| <b><u>Asphalt</u></b>                |             |        |      |            |              |
| 1.0" HMA Surface                     | 401-07322   | 306.9  | ton  | \$112.15   | \$34,418.84  |
| HMA Patching - Full Depth Type B     | 304-12623   | 41.38  | ton  | \$93.56    | \$3,871.51   |
| Milling - 1.0"                       | 306-08033   | 5398.2 | sys  | \$1.13     | \$6,099.97   |
|                                      |             |        |      |            | \$44,390.31  |
| <b><u>Castings</u></b>               |             |        |      |            |              |
| Casting Repair                       | 615-06525   | 6      | each | \$1,222.66 | \$7,335.96   |
|                                      |             |        |      |            | \$7,335.96   |
| <b><u>Concrete</u></b>               |             |        |      |            |              |
| ADA Curb Ramps*                      |             | 4      | each | \$275.00   | \$1,100.00   |
| Curb & Gutter                        | 605-97937   | 825    | lft  | \$54.85    | \$45,251.25  |
| Sidewalk - 4.0'                      | 604-02007   | 741    | lft  | \$144.35   | \$106,963.35 |
|                                      |             |        |      |            | \$153,314.60 |
| <b><u>Misc.</u></b>                  |             |        |      |            |              |
| Curb & Gutter Removal                | 202-02279   | 825    | lft  | \$12.86    | \$10,609.50  |
| Sidewalk Removal                     | 202-52710   | 414    | lft  | \$27.62    | \$11,434.68  |
|                                      |             |        |      |            | \$22,044.18  |
| <b><u>Signage</u></b>                |             |        |      |            |              |
| ID Sign                              |             | 3      | each | \$50.00    | \$150.00     |
|                                      |             |        |      |            | \$150.00     |
| <b><u>Stone</u></b>                  |             |        |      |            |              |
| 4.0" #53 Stone - 4.0' Sidewalk       | 303-01180   | 31.65  | ton  | \$41.93    | \$1,327.08   |
| 7.0" #53 Stone - Full Depth Patching | 303-01180   | 72.01  | ton  | \$41.93    | \$3,019.38   |
|                                      |             |        |      |            | \$4,346.46   |
|                                      |             |        |      | Subtotal   | \$231,581.52 |



**Mocha Drive**

| Type of Work                    | Item Number | Qty.   | Unit | Unit Price      | Total Price        |
|---------------------------------|-------------|--------|------|-----------------|--------------------|
| <b><u>Asphalt</u></b>           |             |        |      |                 |                    |
| 1.0" HMA Surface                | 401-07322   | 31.1   | ton  | \$112.15        | \$3,487.87         |
| Milling - 1.0"                  | 306-08033   | 634.88 | sys  | \$1.13          | \$717.41           |
|                                 |             |        |      |                 | \$4,205.28         |
| <b><u>Castings</u></b>          |             |        |      |                 |                    |
| Casting Repair                  | 615-06525   | 1      | each | \$1,222.66      | \$1,222.66         |
|                                 |             |        |      |                 | \$1,222.66         |
| <b><u>Concrete</u></b>          |             |        |      |                 |                    |
| ADA Curb Ramps*                 |             | 2      | each | \$275.00        | \$550.00           |
| Curb & Gutter                   | 605-97937   | 48     | ft   | \$54.85         | \$2,632.80         |
| Sidewalk - 4.0'                 | 604-02007   | 138    | ft   | \$144.35        | \$19,920.30        |
|                                 |             |        |      |                 | \$23,103.10        |
| <b><u>Misc.</u></b>             |             |        |      |                 |                    |
| Curb & Gutter Removal           | 202-02279   | 48     | ft   | \$12.86         | \$617.28           |
|                                 |             |        |      |                 | \$617.28           |
| <b><u>Pavement Markings</u></b> |             |        |      |                 |                    |
| 24.0" Thermoplastic Stop Bar    | 808-75297   | 12     | ft   | \$13.97         | \$167.64           |
|                                 |             |        |      |                 | \$167.64           |
| <b><u>Signage</u></b>           |             |        |      |                 |                    |
| ID Sign                         |             | 2      | each | \$50.00         | \$100.00           |
|                                 |             |        |      |                 | \$100.00           |
| <b><u>Stone</u></b>             |             |        |      |                 |                    |
| 4.0" #53 Stone - 4.0' Sidewalk  | 303-01180   | 13.36  | ton  | \$41.93         | \$560.18           |
|                                 |             |        |      |                 | \$560.18           |
|                                 |             |        |      | <b>Subtotal</b> | <b>\$29,808.50</b> |

Petunia Lane

| Type of Work                     | Item Number | Qty.    | Unit | Unit Price | Total Price       |
|----------------------------------|-------------|---------|------|------------|-------------------|
| <b><u>Asphalt</u></b>            |             |         |      |            |                   |
| 1.0" HMA Surface                 | 401-07322   | 56.77   | ton  | \$112.15   | \$6,366.76        |
| HMA Patching - Full Depth Type B | 304-12623   | 9       | ton  | \$93.56    | \$842.04          |
| Milling - 1.0"                   | 306-08033   | 1171.09 | sys  | \$1.13     | \$1,323.33        |
|                                  |             |         |      |            | <b>\$8,532.13</b> |

|                        |           |   |      |            |                   |
|------------------------|-----------|---|------|------------|-------------------|
| <b><u>Castings</u></b> |           |   |      |            |                   |
| Casting Repair         | 615-06525 | 3 | each | \$1,222.66 | \$3,667.98        |
|                        |           |   |      |            | <b>\$3,667.98</b> |

|                        |           |     |      |          |                    |
|------------------------|-----------|-----|------|----------|--------------------|
| <b><u>Concrete</u></b> |           |     |      |          |                    |
| ADA Curb Ramps*        |           | 4   | each | \$275.00 | \$1,100.00         |
| Curb & Gutter          | 605-97937 | 259 | lft  | \$54.85  | \$14,206.15        |
| Sidewalk - 4.0'        | 604-02007 | 23  | lft  | \$144.35 | \$3,320.05         |
|                        |           |     |      |          | <b>\$18,626.20</b> |

|                       |           |     |     |         |                   |
|-----------------------|-----------|-----|-----|---------|-------------------|
| <b><u>Misc.</u></b>   |           |     |     |         |                   |
| Curb & Gutter Removal | 202-02279 | 259 | lft | \$12.86 | \$3,330.74        |
| Sidewalk Removal      | 202-52710 | 23  | lft | \$27.62 | \$635.26          |
|                       |           |     |     |         | <b>\$3,966.00</b> |

|                                 |           |    |     |         |                 |
|---------------------------------|-----------|----|-----|---------|-----------------|
| <b><u>Pavement Markings</u></b> |           |    |     |         |                 |
| 24.0" Thermoplastic Stop Bar    | 808-75297 | 24 | lft | \$13.97 | \$335.28        |
|                                 |           |    |     |         | <b>\$335.28</b> |

|                       |  |   |      |         |                 |
|-----------------------|--|---|------|---------|-----------------|
| <b><u>Signage</u></b> |  |   |      |         |                 |
| ID Sign               |  | 3 | each | \$50.00 | \$150.00        |
|                       |  |   |      |         | <b>\$150.00</b> |

|                                      |           |      |     |         |                 |
|--------------------------------------|-----------|------|-----|---------|-----------------|
| <b><u>Stone</u></b>                  |           |      |     |         |                 |
| 7.0" #53 Stone - Full Depth Patching | 303-01180 | 4.34 | ton | \$41.93 | \$181.98        |
|                                      |           |      |     |         | <b>\$181.98</b> |

Subtotal **\$35,459.56**

|  |  |     |      |             |                    |
|--|--|-----|------|-------------|--------------------|
| <b><u>Misc. - Entire Subdivision</u></b> |  |     |      |             |                    |
| Mobilization/Demobilization              |  | 1   | lsum | \$20,941.45 | \$20,941.45        |
| Street Trees                             |  | 149 | each | \$150.00    | \$22,350.00        |
|  |  |     |      |             | <b>\$43,291.45</b> |

Subtotal **\$43,291.45**

|                               |   |      |             |                    |
|-------------------------------|---|------|-------------|--------------------|
| 10% Contingency               | 1 | Isum | \$46,536.55 | \$46,536.55        |
| 25% Contingency PUD           | 0 | Isum | \$0.00      | \$0.00             |
| 2 Year 10% Maintenance Bond** | 0 | Isum | \$46,536.55 | \$0.00             |
|                               |   |      |             | <b>\$46,536.55</b> |

Subtotal **\$46,536.55**

*Pricing Reflects 2023 INDOT Unit Pricing*

*\* Monroe County Pricing for ADA Ramp Replacement*

*\*\*Maintenance Bond can be no less than \$10,000.00*

Total **\$532,843.53**

## CHAPTER 807

### ZONING ORDINANCE:

#### SIGNS

##### 807-1. Purpose and Intent

The purpose and intent of this chapter is to promote public health, safety, and welfare through a comprehensive system of reasonable, effective, consistent, content-neutral, and nondiscretionary sign standards and requirements, including the following purposes and objectives:

- A. providing guidelines for the placement, number, size, sign type (e.g. ground sign, building sign, canopy sign, etc.), and location of all signs throughout the County Jurisdictional Area;
- B. To encourage sign types that preserve the County's rural character, including building signs, monument signs, and wall signs;
- C. maintaining and enhancing the aesthetic environment and the County's ability to attract tourism and other sources of economic development and growth;
- D. improving pedestrian and traffic movement and safety (e.g., maintaining appropriate sight distances at intersections and reducing distractions);
- E. minimizing the possible adverse effect of signs on nearby public and private property (e.g., the adverse effect of obstructing natural scenic vistas);
- F. enabling and promoting the fair and consistent enforcement of these sign restrictions;
- G. promoting the general purposes set forth in the Zoning Ordinance and the land use planning goals set forth in the Comprehensive Plan;
- H. establishing an efficient permit system to expeditiously approve the location and design of signs, subject to the standards and the permit procedures of this ordinance;

- I. allowing certain temporary signs by-right if they are within a certain size limit stated by this ordinance;
- J. prohibiting all signs not expressly permitted by this ordinance;
- K. restricting the continued existence of abandoned or nonconforming signs unless in compliance with the terms of this ordinance and to eliminate, over time, all nonconforming signs, and;
- L. recognizing that the size and location of signs are correlated, and therefore, applying different sign size standards based on different zoned locations should apply (e.g. residential zones will have smaller sign allocation than commercial zones);

**807-2. Applicability and Message Substitution**

- A. A sign may be erected, placed, established, painted, created, or maintained in the County Jurisdictional Area only in conformance with the standards, procedures, exemptions, and other requirements of this Chapter and with other Monroe County ordinances and resolutions.
- B. “The owner of any sign that is otherwise allowed by this regulation may substitute noncommercial copy in place of any other commercial or noncommercial copy. This substitution of copy may be made without the issuance of any additional permit by a local government agency. The purpose of this provision is to prevent any inadvertent favoring of commercial speech over noncommercial speech, or the favoring of any particular noncommercial message over any other noncommercial message. This provision prevails over any more specific provision in this regulation to the contrary.” (See IC 36-7-4-1109, as amended)

**807-3. Sign Permit Application and Exemptions**

- A. After the effective date of the ordinance codified in this Chapter, and except as otherwise provided, no person shall erect, repair, or relocate any sign as defined herein without first obtaining a permit from the Administrator.
- B. An applicant desiring a sign permit shall apply for the permit on the online permitting website available through the Monroe County Planning Department’s webpage. Persons lacking access to the

online permitting website may request the Monroe County Planning Department to mail them a hard copy (i.e. paper) of the sign permit application.

- C. Prior to the issuance of a sign permit and for a sign permit application to be considered “complete”, the applicant shall furnish the Administrator:
1. Written consent/proof of consent from the landowner(s) upon whose land the sign is to be located. The name of the entity installing and managing the sign;
  2. The deed of the property for which the sign will be placed;
  3. If applicable, a building permit application shall be applied for at the time of the sign permit application;
  4. If applicable per Chapter 815, a site plan application with the location of the sign shown;
  5. A scaled drawing of the sign showing:
    - a. Name, address, and telephone number of applicant;
    - b. Address or location, if no address, of building, structure, or land on which the sign is to be erected, repaired, or relocated. The township and section of the sign location;
    - c. The scope of work (i.e. replacing an existing sign, adding a new sign, etc.);
    - d. The number of signs requested, sign structure components (e.g. wood posts, limestone monument, etc.), sign type (e.g. ground sign, building sign, canopy sign, etc.);
    - e. The zoning of the existing property where the sign will be placed;
    - f. the location, elevation of any sign measured from the ground to top of sign, including setbacks of the sign to property lines, right-of-way, and any recorded easements;
    - g. dimensions and total square footage (length, width, and depth) of any proposed and existing signage;
    - h. whether the sign will be animated/illuminated;,,
    - i. the position of any lighting or other extraneous devices;,,

- j. whether the sign is double sided or v-shaped, and the position of the proposed sign and the public roadway(s) to which the sign is to be directed and from which the sign will be measured for height conformity, as well as any existing signage, on any building or land and its position in relation to nearby buildings or structures and to any private or public street or highway right-of-way.

6. Once the permit is approved, the fee, as determined by the Plan Commission Rules of Procedure, will be assessed and must be paid. The fee payment is not part of the requirement for a complete application, however.

D. Exemptions: The following signs shall be exempted from the permit provisions of 807-3, but shall still be subject all other provisions set forth in this chapter. Signs that are exempt from the sign permit requirement remain subject to the design standards (e.g., the height, bulk, area, location, and format) set forth in this chapter:

1. Signs that have a total of four (4) square feet or less per lot of record are exempt from the permit requirement;
2. Temporary signs are exempt from the permit requirement under the following circumstances:
  - i. No more than thirty-two (32) square feet of temporary signs are located on the same lot of record.
  - ii. Temporary signs that are at least ten (10) feet from any other sign or building;
  - iii. Freestanding temporary signs that do not exceed six (6) feet in height; and
  - iv. There is no external or internal illumination of temporary signs.

3.

**807-4. Timing, Procedure, and Exemptions**

A. Sign applications that are complete and that propose signs that comply with the provisions of this Chapter, shall receive a permit or be notified of denial by the Administrator within twelve (12) business days of receipt per IC 36-7-4-1109. A complete application includes compliance with section 807-3(C). Sign applications that are incomplete or that do not propose signs that comply with the provision of this Chapter, shall be denied by the Administrator within twelve (12) business days of receipt. Notices of permit decision shall be entered on the online permitting website; applicants that opt for paper application shall be mailed notification of permit denial by First Class U.S. Mail to the applicant at the address set forth in the permit application. Should the applicant apply using the online permitting software, the applicant then agrees to receive all permit notifications via the online permitting software. Notice shall be deemed to be served on the applicant on the date of mailing postmark or website posting, whichever is applicable. The Administrator's failure to serve notice of permit decision on the applicant within twelve (12) business days of application receipt will be treated as a denial by the applicant and therefore is subject to appeal. Notices of sign permit denial must identify all reasons for the denial. Sign permit applications that are incomplete will receive notification within twelve (12) business days of missing components to be considered a complete application on either the online permitting website or by First Class U.S. Mail, whichever is applicable. The fee for the permit is only charged upon approval and receipt of the sign permit.

1. Following the erection of a sign, the applicant shall file for a Land Use Certificate and staff shall inspect the sign, and issue a Land Use Certificate in the event the sign complies with that for which the permit was issued. In the event that the sign appears to not be in compliance, staff may request an as-built survey by a licensed surveyor/engineer. Upon receipt of the as-built or site visit verifying non-compliance, the Administrator shall promptly notify the permittee via the online permitting website or by letter, whichever is applicable, all reasons upon which the determination of noncompliance is based. Failure by the permittee to correct any non-compliance within ten (10) days from the date of written notice shall result in revocation of the sign permit, as well as other remedies authorized by Monroe County Code. Notice of failure to comply and notice of revocation shall be mailed First Class U.S. Mail to the permittee at the address on the sign permit application if applicant opts for a paper copy, or shall be posted on the online permitting website; notice shall be deemed to be served on the applicant on the date of mailing postmark or website posting, whichever is



applicable.

2. Sign permit application decisions may be applied for an appeal to the BZA per the approved Board of Zoning Appeals Rules of Procedure. BZA decisions on sign permit appeals may be appealed to the Monroe Circuit Court pursuant to Indiana Code 36-7-4-1600, et seq.

- B. Land Use Certificate: Upon application for a Land Use Certificate by the applicant, the planning staff shall examine the plans, specifications, and other data submitted with the application to determine whether the sign is a legal pre-existing, non-conforming use and was constructed in accordance with the applicable design standard in effect at the time of permitting, and, if necessary, the building or premises upon which it is proposed to erect the sign. If the proposed sign is in compliance with all of the requirements of this zoning ordinance including without limitation, all conditions and commitments, if any, of an applicable conditional use approval, a land use certificate shall be issued.

**807-5. Lawful Nonconforming Signs**

- A. Lawful, pre-existing, nonconforming signs may not be expanded, altered, or relocated, with the following one exception:
1. Maintenance. Subject to Section 803-2 of this ordinance, ordinary maintenance or upgrade to allow new material for the face of the sign, trim, existing lighting of the sign, and any features necessary to allow safe message replacement is permitted. Maintenance may include the replacement of supports with the same type of material and in the same size, number, and configuration as in the original sign supports. For example, wood supports may be replaced with wood supports, but wood supports may not be changed from wood to iron, to aluminum, to steel, to composite metal, or to any other type of material. Replacement of supports shall be subject to the requirements of Section 807-3.

**807-6. Placement Prohibitions. The following prohibitions shall apply in all districts:**

- A. No sign shall be erected or maintained in any form or at any location where it may obstruct or in any way interfere with the view of or be confused with any approved traffic control device or where it may obstruct or in any way interfere with the minimum sight-distance necessary to promote traffic safety.
- B. On any corner lot, no sign which obstructs sight lines at elevations

between two and one-half (2 1/2) feet and ten (10) feet above the crown of the adjacent roadway shall be placed or maintained within a triangular area of twenty-five (25) feet along each of the intersecting streets, to be measured from the property line.

- C. No sign shall be placed in any public right-of-way except publicly owned traffic-control and transit signs.
- D. No sign, either freestanding or mounted on a building, shall project into the public right-of-way.
- E. No sign shall be mounted on a roof or extend above the eave or parapet of a building wall.
- F. No sign shall be affixed to trees, fence posts, or utility poles.

807-7. General Sign Regulations. **All signs shall conform to the following regulations:**

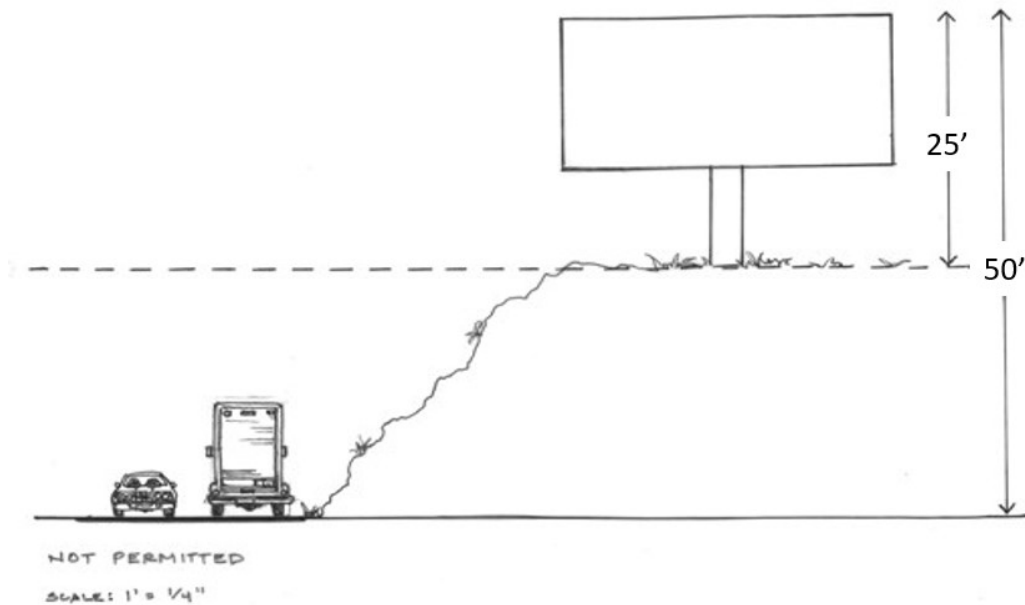
- A. Illumination: Illuminated signs are permitted, subject to the following:
  - 1. The source of illumination for externally illuminated signs shall be located at the top of the sign and directed downward toward the sign face and must be shielded from view of oncoming traffic;
  - 2. The source of illumination for internally illuminated signs must be completely enclosed within a translucent sign unit, or, if attached to the sign face as a design element, may be provided only by translucent tubes, tubing, bulbs or fixtures.
  - 3. Illuminated signs may not produce heat or glare in such a manner as to constitute a nuisance (e.g., shining into a residential building) or a traffic hazard (interfering with a driver's vision); and,
  - 4. The source of illumination may not flash, shine intermittently, or be used to create a strobe effect.
- B. Prohibited Signs: The following signs are prohibited:
  - 1. Portable signs
  - 2. All animated or changeable copy signs (including billboard signs), or signs which move by mechanical means or by the movement of air are prohibited.

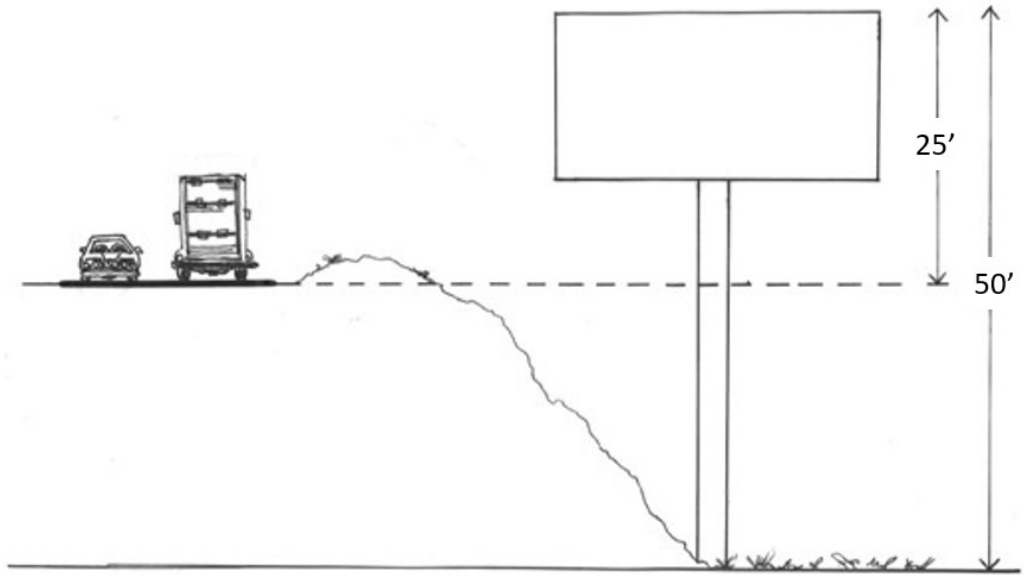
3. Temporary signs or devices consisting of a series of banners, streamers, pennants, balloons, propellers, strung light bulbs, or similar devices are prohibited, except as allowed in 807-3 (D).

4. Snipe Signs

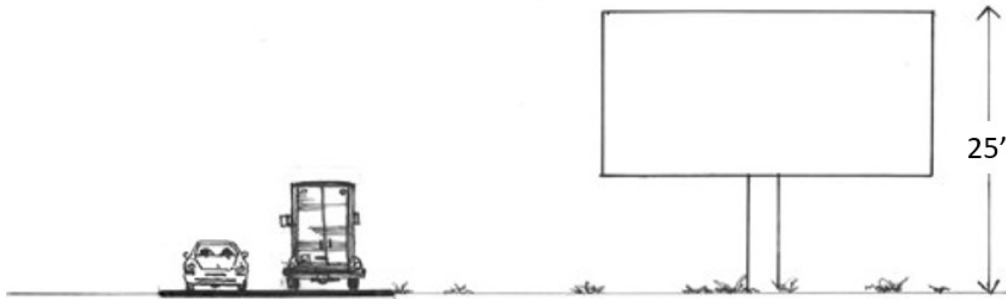
C. Height and setback of signs:

1. No freestanding sign (e.g. ground, or temporary sign) shall exceed twenty-five-(25) feet in height. Sign height shall be measured from the highest point on the sign or sign structure to the location where the sign meets the ground. In addition, the sign height shall not exceed 25' to the top of the sign to the crown of the public road(s) from which the sign's message can be readily viewed, whichever yields the greatest height (See illustrations below). Signs affixed to the a building and that do not exceed the roof height comply with the height requirements for the zoning district.

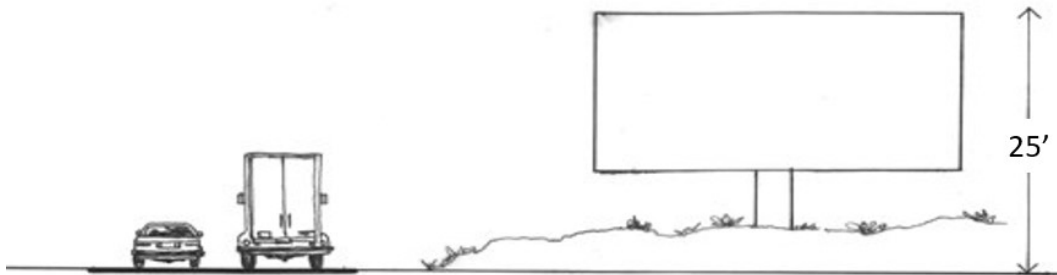




NOT PERMITTED  
SCALE: 1' = 1/4"



PERMITTED  
SCALE: 1' = 1/4"



PERMITTED  
SCALE: 1' = 1/4"

2. All signs shall conform to the side and rear yard requirements for buildings as set forth in Monroe County Code Chapter 804. Setbacks shall be measured horizontally from the vertical plane of the edge of the sign nearest to the right-of-way.
3. Signs shall have a minimum setback of ten (10) feet from dedicated street right-of-way. In the event that there is no dedicated street right-of-way, the front setback for a sign shall be measured from the centerline of the road 25 feet. In no case shall a sign interfere with site distance per Chapter 755.

D. Maintenance: All signs must be kept clean, neatly painted, and free from all hazards, such as, but not limited to, faulty wiring and loose fastenings, and must be maintained at all times in a safe condition so as not to be detrimental to the public health or safety.

E. Total sign allocations and number of signs are regulated as follows:

1. Total sign area permitted for any business or industrial legal lot of record (see Table 7-1) shall be two (2) square feet of sign area for each one (1) linear foot of building fronting on a public street, or one (1) square foot of sign for each one (1) linear foot of property fronting a publicly maintained right-of-way, whichever is greater. Residential legal lots of record (see Table 7-2) are permitted a maximum square footage of 32 sq ft.
2. Location, size, and variety of all signs existing upon a legal lot of record are included in the total sign allocations.
3. Notwithstanding other provisions of these regulations, no premises within any business or industrial zone may be restricted to less than seventy-five (75) square feet of sign area nor shall any premises be permitted to display more than six hundred (600) square feet of sign area per zoning lot of record, except as provided under the "relocation of a pole sign" under 807-7(F)1. No individual sign shall be more than 285 sq ft, except as provided under the "relocation of a pole sign" under 807-7(F)1. One ground sign with a maximum permitted sign surface area of sixty (60) square feet shall be permitted for each street frontage subject to the total lot allocation.
4. No legal lot of record may have more than ten (10) individual signs on the property except where specifically allowed under this ordinance;

F. Relocation of a Pole Sign

1. For the determination of the “relocation of a pole sign”, the sign must be requiring relocation as a result of a road project/ eminent domain.

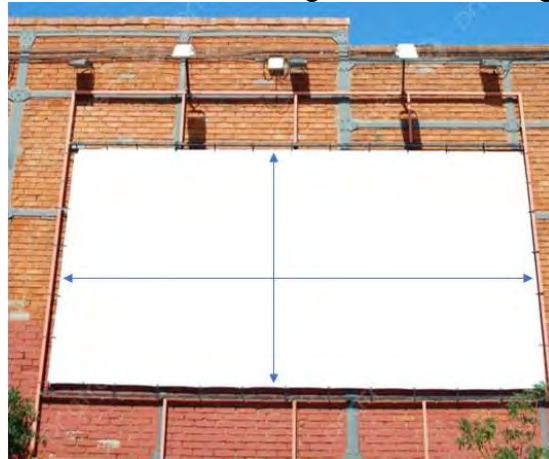
G. Computation of area of individual signs:

1. The area of a sign face (which is also the area of a wall sign or other sign with only one face) shall be computed by means of the smallest square, circle, rectangle, triangle, ellipse, or combination thereof that will encompass the extreme limits of the display, together with any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed, but not including any supporting framework, bracing, or decorative fence or wall when the fence or wall otherwise meets Zoning Ordinance regulations and is clearly incidental to the display itself. See example illustrations below:

Canopy sign face measurements with blue arrows showing the limits of the sign face measurement:



Building sign measurements with blue arrows showing the limits of the sign face measurement (sign not to exceed the height of the building):



Ground sign with blue arrows showing the limits of the sign face measurement



2. The sign area for a sign with more than one face shall be computed by adding together the area of all sign faces visible from any one point. When two sign faces are placed back-to-back, so that both faces cannot be viewed from any point at the same time, and when the sign faces are part of the same sign structure and are not more than forty-two (42) inches apart at the widest section, the sign area shall be computed by the measurement of the largest face. See image below for how to measure the V-shape sign:



Business or Industrial Zones – Refer to Table 7-1:

Table 7-1

| Applicable Zoning Ordinance        | Zoning Districts                |
|------------------------------------|---------------------------------|
| Ch. 833 – Former Fringe            | CL, CA, IL, IG, BP, I, AP, Q    |
| Ch. 802 – Zones and Permitted Uses | LB, GB, LI, HI, ME, PB, IP, REC |

Residential Zones – Refer to Table 7-2:

Table 7-2

| Applicable Zoning Ordinance        | Zoning Districts                         |
|------------------------------------|--|
| Ch. 833 – Former Fringe            | RE2.5, RE1, RS2, RS3.5, RS4.5, RT7, RM7, |
| Ch. 802 – Zones and Permitted Uses | AG/RR, FR, CR, ER, LR, SR, MR, HR, UR    |

H. Special regulations in all districts:

1. A marquee sign:
  - i. shall provide a minimum of ten feet of clearance above the surface over which it projects and shall not otherwise interfere with the reasonable use of the surface;
  - ii. may not be wider than the building from which it projects; and,
  - iii. may not extend below or above the vertical face of the marquee.
  
- I. Shopping Centers. Regardless of the district in which it is located, the following regulations shall apply to property which is developed for or occupied by a shopping center.
  1. Signs for individual stores or business establishments within a shopping center must be located on the front exterior wall of the tenant's space and are limited to one and six-tenths (1.6) square feet of sign area for each one (1) linear foot of front exterior wall length.
  2. Independently placed buildings or buildings with corner locations are limited on each side or rear wall to one-half



the amount of sign area permitted on the front wall, or to one and two-tenths (1.2) square feet of sign area for each linear foot of building on the side or rear of the building, whichever is less.

3. In addition to signs permitted for individual establishments within a shopping center, general shopping center signs will be permitted on the basis of one sign for each fifty-thousand (50,000) square feet of gross building floor area within the development. The total area of each general shopping center sign shall not exceed two hundred forty (240) square feet in area or one hundred twenty (120) square feet per side of a double-sided sign.

APPENDIX 1: Examples of Sign Types:

Sign, Animated:



Sign, Building:



Sign, Canopy:



Sign, Changeable Copy:



Sign, Externally Illuminated:



Sign, Internally Illuminated:



Sign, Freestanding:



Sign, Ground:



Sign, Integral Roof:



Sign, Marquee:



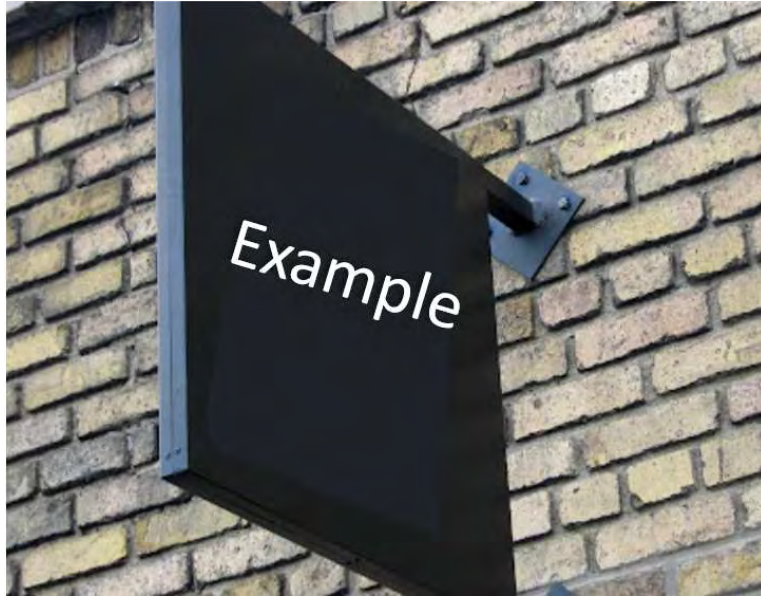
Sign, Pole:



Sign, Portable



Sign, Projecting:



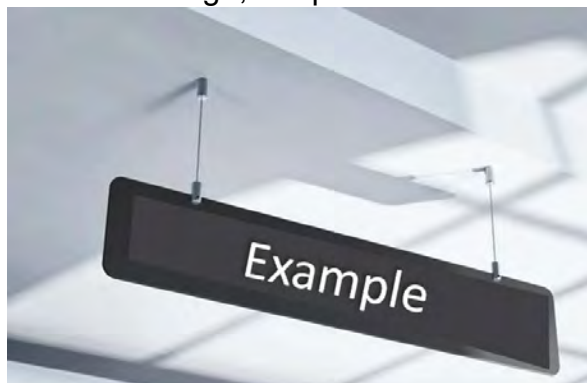
Sign, Roof:



Sign, Snipe:



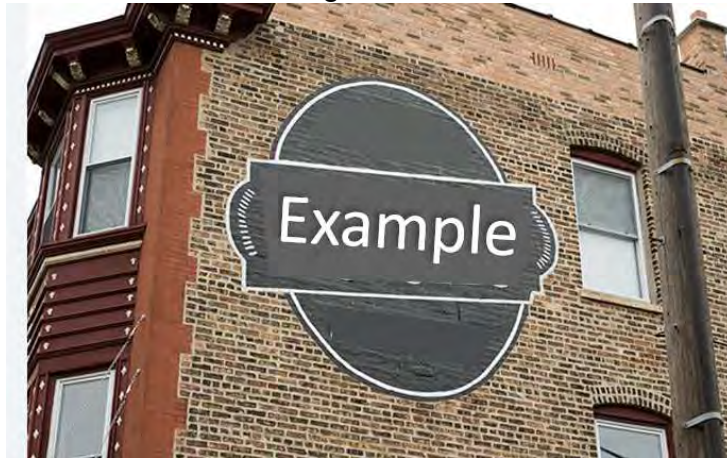
Sign, Suspended:



Sign, Temporary:



Sign, Wall:



Sign, Window:



**[end of chapter]**



|                              |   |
|------------------------------|---|
| <b>CASE NUMBER</b>           | PUO-23-6  |
| <b>PLANNER</b>               | Anne Crecelius  |
| <b>PETITIONER</b>            | Packing House Road LLC<br>c/o Daniel Butler, Bynum Fanyo & Assoc. |
| <b>REQUEST</b>               | North Park II PUD Outline Plan Amendment 1                        |
| <b>ADDRESS</b>               | N Packing House RD, parcel #53-05-30-400-014.000-004              |
| <b>ACRES</b>                 | 98.6  |
| <b>ZONE</b>                  | North Park PUD II   |
| <b>TOWNSHIP</b>              | Bloomington   |
| <b>SECTION</b>               | 30  |
| <b>PLATS</b>                 | Unplatted   |
| <b>COMP PLAN DESIGNATION</b> | MCUA Quarry Landscape, MCUA Open Space                            |

**EXHIBITS**

1. [Link to Karst Study and Location of Features Map](#)
2. [Link to Current North Park II Ordinance 2004-62](#)
3. Petitioner Letter
4. [Link and Pages 2 & 3 of Proposed Development Plan for Later Consideration](#)
5. Permitted Uses from PUD Ordinance
6. Future Road Connections
7. Emails with Daniel Butler, Bynum Fanyo & Associates
8. [Considerations of and Findings regarding Dimension Limestone Resources within the I-69 Section 5 Area of Potential Effects 01242012](#)

**RECOMMENDATION**

Staff recommends forwarding this petition with a **negative recommendation** to the County Commissions subject to the Highway Department and Stormwater reports.

Consideration of this petition site under the CDO Draft Zoning should be considered by the Plan Commission and ultimately the County Commissioners.

If a positive recommendation is considered, staff recommends the following recorded written commitments:

1. A requirement that the developer provide the geotechnical reports during the fill of any portion of the property as stated by the petitioner’s representative in Exhibit 3;
2. Stockpiles on the site should not exceed 20 feet total height;
3. Commit to properly protecting all identified karst features, springs, and sinking streams as identified on the Karst Study in Exhibit 1;
4. A commitment to put in a subsequent industrial use within 10 years from development plan approval.
5. Condition(s) that would monitor off-site contamination and a remediation plan to enact if pollution is identified.

**PUBLIC HEARING TIMELINE**

- December 6, 2023 - Drainage Board
- January 4, 2024 – Drainage Board
- February 8, 2024 – Plan Review Committee – No vote forwarded to Plan Commission.
- February 20, 2024 – Plan Commission (Regular) Preliminary Hearing
  - o Waiver of Final Hearing Requested
- March 19, 2024 – Plan Commission (Regular) Final Hearing

## **SUMMARY**

The petition site is located in Bloomington Township, Section 30 and is 98.6 acres zoned “North Park II” Planned Unit Development. The petitioner is Packing House Road LLC, owned by Milestone Contractors LP. The petitioner is requesting to amend the North Park II PUD ordinance to add “mass grading with filling operations” as a permitted use on this 98 acre property. The petitioner is represented by Daniel Butler of Bynum Fanyo and Associates. North Park II was created in 2004 as an addition the general North Park area. The petition site contains two use areas of the North Park II PUD; the Quarry/Heavy Industrial District and the Light Industrial District. The proposed ordinance amendment would add the use of “mass grading with filling operations” to the list of permitted uses to both use areas. The petitioner’s representative stated in email in response to the request for a definition the following information:

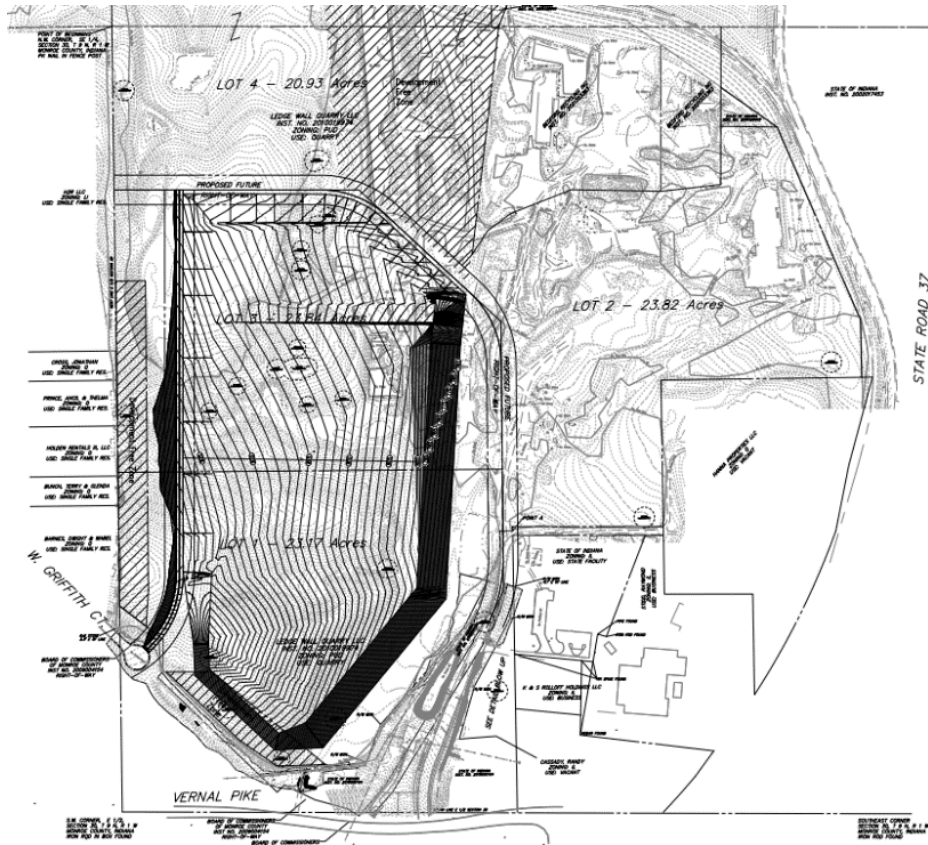
“It is our intention to fill the site with the excess material from our construction projects. The primary clean fill material from the projects would be insitu soils and aggregates from the projects. Asphalt pavements that are removed from projects would be recycled at our asphalt plant and not taken to this site. There is a possibility that a small amount of concrete from removed curbs, sidewalks or drives could be brought to the site but this material would be crushed before it is incorporated into any fill. Once the material is at the site it will be placed in lifts and compacted per Geotechnical Standards for future buildability. On-site crushing of concrete is possible but seldom. All fill material must be clean and no environmental questionable material is allowed unless tested.”

## **PROPOSED USE**

The proposed engineered plan included under Exhibit 4 illustrates the filling of a 26-acre portion of the property, up to 30-50 feet in vertical height. At the north boundary of the fill site the elevation ranges from 765’ to 806’ at the top of the fill area. The highest elevation contour listed is 817’ towards the southern side. The petitioner’s design professional state that this amount of fill is required for future commercial development. During the pre-design meeting they stated that the filling of the 26-acre portion of the property located on the east side would take “3-4 years” and would require “approximately 30,000 tri-axle dump trucks” of fill. The pre-design (PRE-335) also included a draft of the fill on the western portion of the property – see an image clip below. The petitioner’s representative states that the filling would include activities like rock crushing and grinding to create the right material to create a stable fill area. The petitioner has provided the following definition for “mass grading with filling operations”:

“To fill the site with the excess material from other construction projects. The fill must be clean fill material from other projects and could be soils and aggregates. Asphalt pavements that are removed from other projects may not be taken to this site. Concrete is allowed to be brought to the site as fill from other projects but this material shall be properly sized before it is incorporated into any fill. Once the material is at the site it will be placed, compacted and tested per Geotechnical Standards for future buildability. On-site crushing of materials is allowed but anticipated to be seldom and would be for the purposes of obtaining proper clean fill placement. All fill material must be clean and no environmental questionable material is allowed. Resale of any on-site fill is not allowed and only for use of filling site to proposed engineered grades.”

Planning staff recognizes the need for fill sites to support private and public construction operations. Many fill sites were required for the I-69 construction. Monroe County currently has limited approved fill sites, and we recognize the need for a location for materials to go that would be monitored for correct placement and for the materials brought in to be screened for contamination.



After publishing the report for the January Plan Review Committee staff include four (4) questions for the petitioner to answer. Staff asked that they “provide information as to why the site at current grade is not viable for future industrial uses?” This question was asked of the petitioner because their letter states that “the site is designed to utilize the fill for future development to re-use this parcel effectively in the future”. Daniel Butler provided the following response:

“There is a large open quarry hole in the middle of current fill proposal. This is from previous mining that, at a minimum, would need filled with engineered fill to support any economically viable use for industrial or commercial.

Hanna Trucking (adjacent property owner to south) has raised the grade and we are proposing to match similar elevations. Our fill plan has little to no fill at the south end to match south property. 28' to 35' fill to north side under current proposal.

As a general desire, businesses like to be seen and displayed. Current grade of property would be difficult to see businesses developed here. It would not be within normal sight lines when driving on I-69 or SR 46. Also, the future road that is proposed to be constructed through this property and travel to west property needs to also be slowly built up to reach west property line grade without relying on steep public road grades to reach west.”

The third (3) staff asked that they “provide staff information regarding the point of access for the properties located directly adjacent to the north”. Daniel Butler provided the following response:

“The petitioner owns all of the property to the north, as well. The petitioner wishes to fill property to north as a subsequent phase with a future connection coming from future 'built up' road. This fill plan now will be phase 1. For phase 1, the petitioner wishes to access north property through northeast side where grade differences are less right now. However, the property to the north is vacant old quarry land with no access needed anyway temporarily. Perhaps, this north property could also partially be protected as open space for visually protected historical old quarry. Strip to northwest will also be protected as undisturbed open space required per PUD ordinance.”

The properties to the north include parcel numbers 53-05-30-400-007.000-004 and 53-05-30-400-007.000-004, for a total of 9.6 +/- acres. These properties are zoned Quarry and are NOT subject to the North Park II Ordinance. The petitioner suggests that they may be willing to offer protection of this area. The properties contain one (1) quarry hole and an old metal mill structure. See image below.



The fourth (4) question asked by staff is whether there is “any viability of this site to be used as a future quarry?”, to which Daniel Butler responded:

“It is not economically feasible to operate this small of a site as a quarry especially one that has already been previously mined. There appears to be not much reserves of limestone for use left on the property.”

**SITE CONDITIONS**

The petition site is 98.6 +/- acres and is currently vacant. The site is vegetated and contains remnants of the past

use as limestone quarry. One old steel mill structure is still visible on aerial imagery. A karst study was completed by Hydrogeology, Inc and provided by the petitioner. The full report can be found in link provided as exhibit 1, including the map of the location of the features. The study found that there are seventeen (17) sinkholes, five (5) springs, and one (1) sinking stream located on the site (see Exhibit 1). The study recommends 25' Sinkhole Conservancy Areas to protect erosion of the features. The study states that the survey was "limited to surface inspection with no subsurface investigation. Unknown karst features are possibly present in the subsurface at the Site. Dense vegetation and remnant quarry blocks were present over most of the Site, which prevented close ground inspection in those areas". Cartographically, general maps for the area identifies one stream that splits running through the property. There are multiple open quarry pits on the site.

This petition was introduced at the November 1 Drainage Board and discussed at the December 6 Drainage Board meeting. The petitioner is requesting to fill in areas identified by Hydrogeology Inc as a "spring" and a "sinking stream" with the proposed development plan for fill. Future fill also indicates further fill into identified Sinkhole Conservancy Areas. Filling a sinkhole is subject to Drainage Board and Planning review. Typically, SCAs cannot be filled. However, consideration is being given to this site as it was a former quarry site.

## **STORMWATER**

### **Kelsey Thetonia, MS4 Coordinator, Final Comments (01/22/2024)**

Wetland Recon study by AquaTerra performed in Dec 2021. A formal wetland delineation will be requested during development plan review. The Drainage Board will also require a flood inundation study be completed for the stream and that its floodplain be avoided.

I was also thinking about the stockpile height, and how a longer slope will require more runoff management. I think the height of the pile itself should be addressed by the Planning Department. I can look more closely at the runoff and water quality practices (along with our other comments) during development plan review.

### **Project Drainage**

This property drains northwest towards a former quarry area (restricted development-free zone). As a vacant quarry, there are existing quarry ponds and piles of rock throughout the site. There is a stream that runs south to north just west of this proposed fill area. The stream has a drainage area of 0.87 mi<sup>2</sup> and flows to an INDOT culvert that runs under SR 46. There is also off-site discharge from I-69 infrastructure.

### **Kelsey Thetonia, MS4 Coordinator, Drainage Board Comments (01/04/2024)**

#### Sinkholes, Sinking Streams, and Karst Springs:

- SCAs noted on the plans should specify the types of karst features where there are proposed impacts. This information is available in your karst report.
- No karst features should be impacted as part of these fill operations.
  - Please revise plans to show that SS-01 and SP-03 are avoided and their drainage areas protected.
    - 12/6/2023 Revised plans show SCAs are avoided within the 30-acre site showing a draft development plan example.
    - Ensure drainage from sinkholes is provided, if the sinkhole were to stop draining.
- If SP-04 will be impacted due to its proximity to the existing driveway, please show plans for mitigation (what will you do with the water from the spring?) and ideally, this should be communicated to Jason Krothe so he can provide input on appropriate mitigation strategies.
  - From Jason Krothe email to Dainel Butler 12/8/2023:
  - "For SP-04, I recommend a spring box be installed to prevent any impacts to the spring or the roadway. I have attached the specs for two types of spring boxes. The spring currently flows west to the main south to north stream. The spring should continue to flow to this stream after installation of the spring box. We have sampled SP-04 as part of the I-69 water quality sampling since 2017. The most flow we have observed in that time is 10 gallons per minute, although typically it is lower (1-2gpm), and sometimes dry."

- Jason provided an example detail sheet of a spring box from INDOT's manual 'Protection of Karst Features during Project Development and Construction' dated July 2021.

Environmental:

- Is there an environmental report describing the 'development free zone' where the runoff from this project will be discharging to? What are the restrictions?
  - The SWPPP will aim to minimize the amount of sediment and pollutants entering the development free zone.
  - At the 12/6/2023 Drainage Board meeting, the board asked for an additional water quality measure prior to discharging to the development free zone.
- A wetland delineation will be required prior to development plan review.
- Demonstration of compliance with other environmental permitting will be required for concrete crushing operations. Additional stormwater quality measures may be required.

Adequacy of outlets/receiving infrastructure:

- Need more information on how/if water flows north under SR 46?
  - Discharge from the site flows to an INDOT culvert to the north of the project.

Overall Grading Plan:

- The proposed temporary sediment basin is shown roughly 40 feet above existing grade. This is fine for later fill operations, but I need to see a plan for temporary sediment traps to be installed prior to any fill operations beginning. Since this will be a large long-term operation, there should be sediment traps along the toe of the slope to capture erosion from the fill area during different phases of the project.
- Provide benches along the slope in the final grading plan.
- Silt fence is not an adequate practice to capture runoff from a 30-40 ft 3:1 slope. Pipe slope drains may be a good practice to convey water from the top of the pile to sediment traps at the toe of the slope.
- Provide drainage calculations showing the capacity/adequacy of the sediment traps.
- A natural buffer of 50 feet must be provided on either side of the main south-north stream channel.

Final Stabilization:

- Provide a final stabilization plan including topsoil/seed (specify depth of topsoil), wattles along the slopes, and description of the phasing/sequencing.

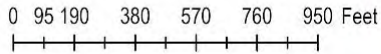
**Some of these specific comments can be addressed during the development plan review. However, I'd like to have the issues with karst impacts figured out before I complete my review of this outline plan.**

**I would like the Drainage Board to provide their input for any additional considerations for this project.**

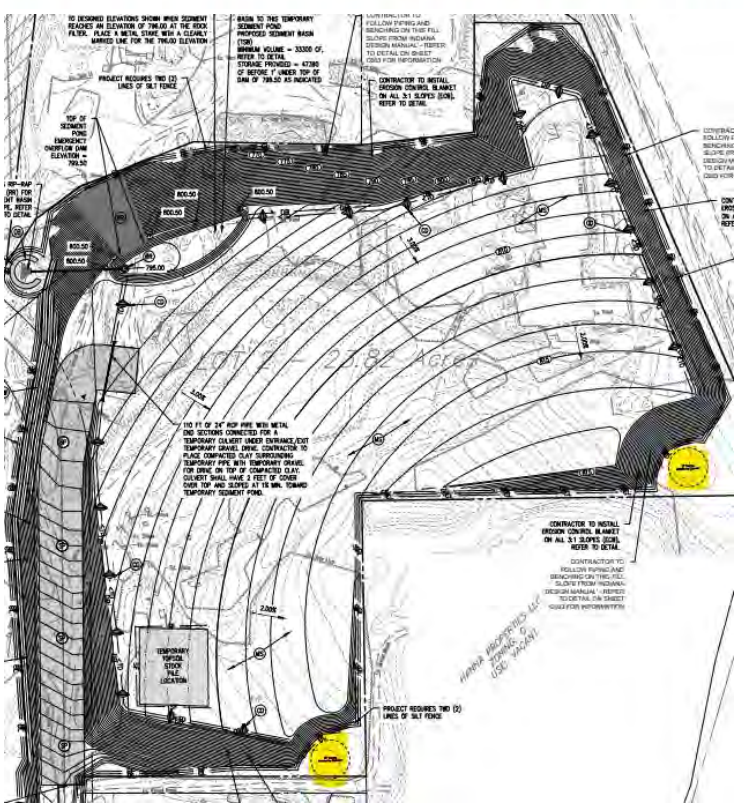
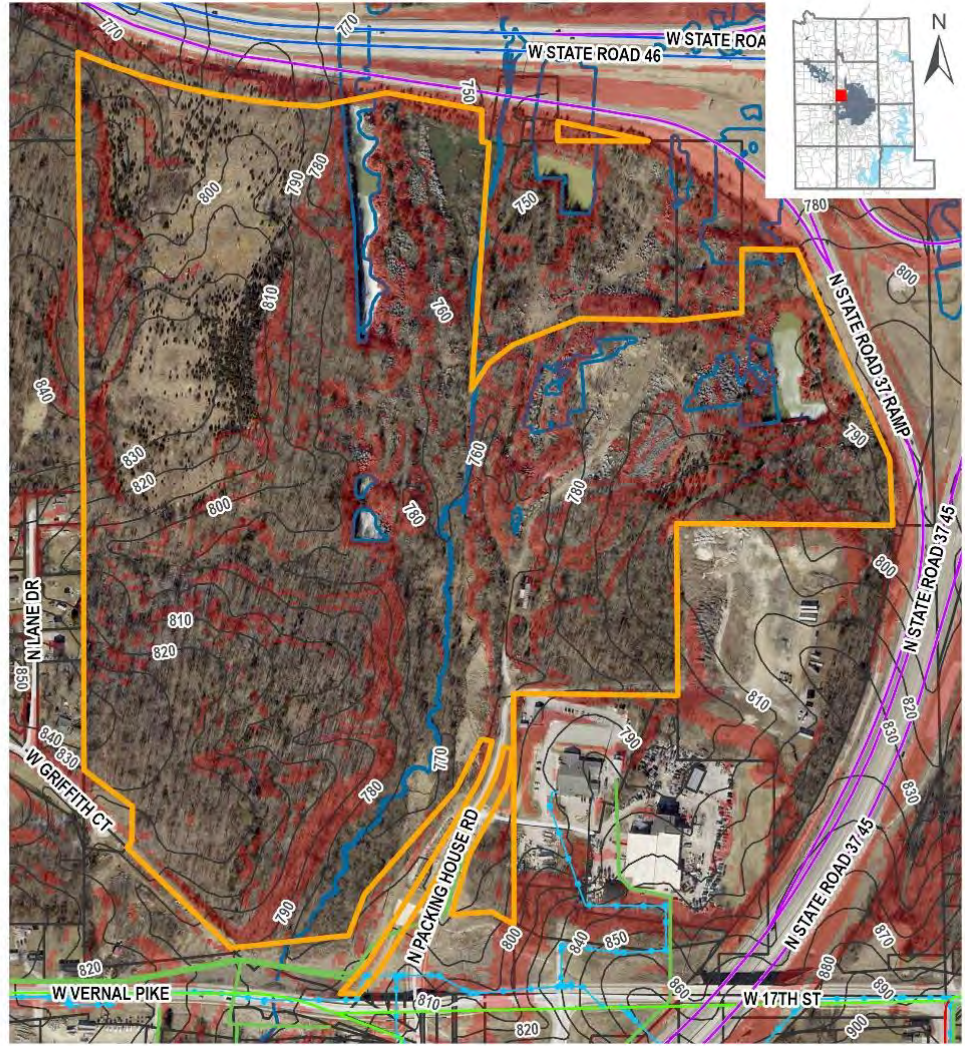
**If this proceeds, I will provide the Drainage Board with an update during the development plan review.**

# Site Conditions Map

- Minor Collector [60']
- Minor Arterial [100']
- Major Arterial [150']
- Interstate
- Petitioner
- Sanitary Pipe
- Water Pipe
- 10-Foot Contours
- 15% Slope (County/ECO2)
- <VALUE>**
- 0 - 15
- > 15
- Local Roads [50']
- Hydrologic Features
- Parcels



Monroe County  
 Planning Department  
 Source: Monroe County GIS  
 Date: 11/1/2023



## **PROPOSED ACCESS**

This property is accessed off W Vernal Pike and N Packing House Rd. North Packing House Road is county road which dead ends into the petition site. Staff recommended the petitioner address the potential damage to public roads from the repeated use by heavy equipment during fill. The petitioner's representative has provided the following statement:

“All material will be brought in in legally loaded trucks and using local truck routes. These roads are assumed constructed to County standards to withstand industrial and commercial traffic in this area. This parcel will need this fill to be able to be brought to elevations for future usefulness.”

The Monroe County Highway Department has received a request for a Right of Way Activity permit (RW-23-251) for a “temporary construction driveway entrance”. Planning staff provided more context and the Highway Dept. may consider a “Haul Route” permit is needed. The Highway Department Project Manager, Ben Ayers, states the Dept. needs the following information: “how many trucks a day they anticipate to start with and a timeline”.

The petitioner has responded with the following statement:

“The timeline will depend on the volume of construction work in the area that contains excess clean fill. We anticipate that based on the current market conditions this could take up to 5 years for completion, which would be up to 30 normal, legal dump truck loads per day. The owner is willing to bond the portion of the roadway that has not been re-constructed to ensure its viability to the county highway dept.”

Under the North Park II ordinance, at the time of certificate of occupancy is sought for the site, two new roads must be constructed to county standards. These are roads that are identified under the North Park II and North Park overall connectivity plans – see Exhibit 6. If this use is approved and a Development Plan is approved, the plan will not require a Certificate of Occupancy as there are no structures.

## **HISTORIC INFORMATION**

For an overview of the site please refer to the Exhibit 8, two maps from the 2012 report “Considerations of and Findings regarding Dimension Limestone Resources within the I-69 Section 5 Area of Potential Effects”. Per the Monroe County Historic Preservation Board of Review (MCHP), the site has no additional protections under the eligibility of possibly become National Registered. See Duncan Campbell, member of the MCHP Board, below:

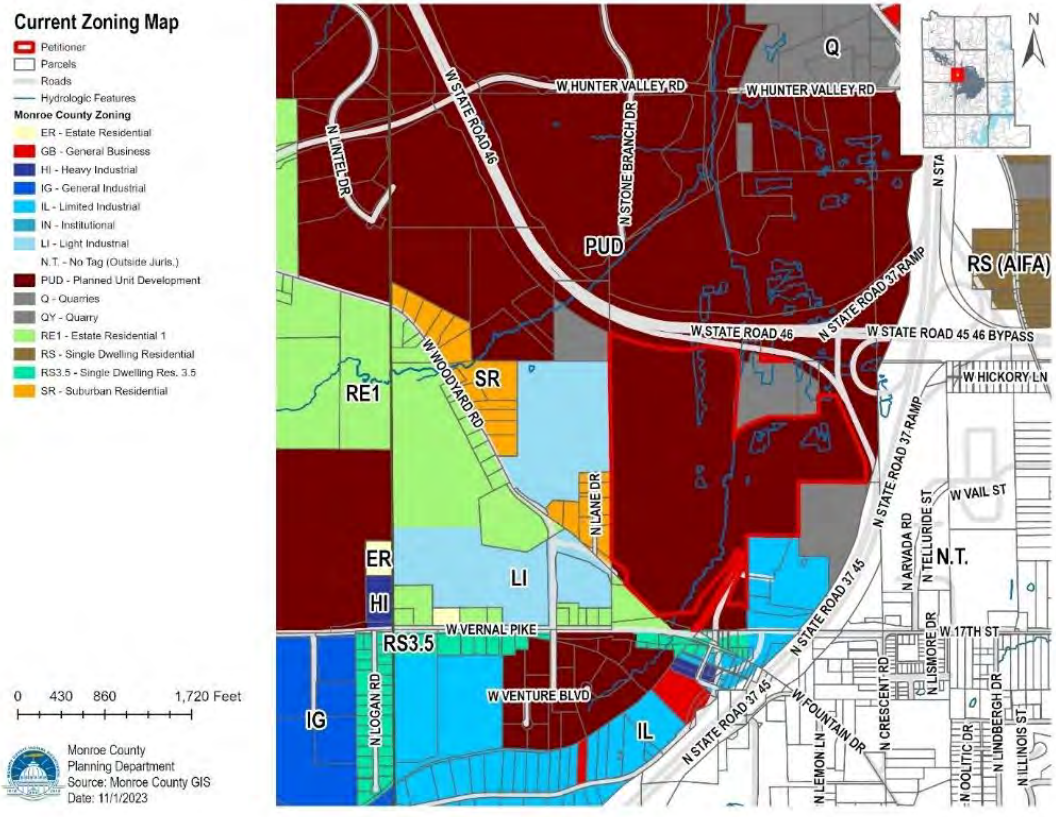
I have made inquiries regarding the historic status of the I-69 corridor limestone sites from both the authoring agency, Weintraut & Associates, Inc, a historic preservation consulting firm, and Paul Diebold, the National Register officer at the Division of Historic Preservation and Archaeology (DHPA), the state historic preservation office. Both have confirmed that a National Register of Historic Places Property Documentation Form (#100001612), titled "Dimension Limestone Industry in the Bloomington, Indiana area, circa 1816 to 1964," was submitted to the National Register of Historic Places in 2015 as a multiple property listing. This document was received, accepted, and endorsed by the National Register (NR#2423), and as such, represents an officially accepted study, cited as a good example of the type of properties that should be nominated to the National Register. As such, the three limestone quarry areas represented in the Multiple Property Documentation Form are eligible for listing in the National Register.

Multiple Property Documentation Forms, when accepted and endorsed by the National Register of Historic Places, serve as qualifying examples of specific historic property types considered eligible for listing in the National Register (emphasis added). The form does not represent individual listings in the NR for those three properties, but qualifies them, as well as other limestone quarry properties like them, as examples of what should be nominated to the NR. This is the purpose of multiple property listings that are accepted and endorsed by the National Register. To find the listing in the SHARD database, use the National Register number shown above, NR #2423.



**ZONING AND ADJACENT USES**

The property is zoned “North Park II” Planned Unit Development, created in 2004 separately from the adjacent, parent, North Park PUD. Adjacent properties are zoned North Park PUD, Light Industrial (LI), Quarry (QY), Limited Industrial (IL), Single Family Residential 3.5 (RS3.5), and Estate Residential 1 (RE1). There are no zoning overlays on the petition site. Adjacent uses include residential to the west and southwest, vacant former quarry land to the north, and industrial and public uses to the east.





**COMPREHENSIVE PLAN DISCUSSION – MCUA Phase 1**

The petition site is located in the **Quarry Landscape**, and **Open Space** districts on the Monroe County Urbanizing Area Plan Phase 1 portion of the Monroe County Comprehensive Plan. Points that align with the proposed rezone are highlighted in **green**. Points that differ from the district are highlighted in **grey**.

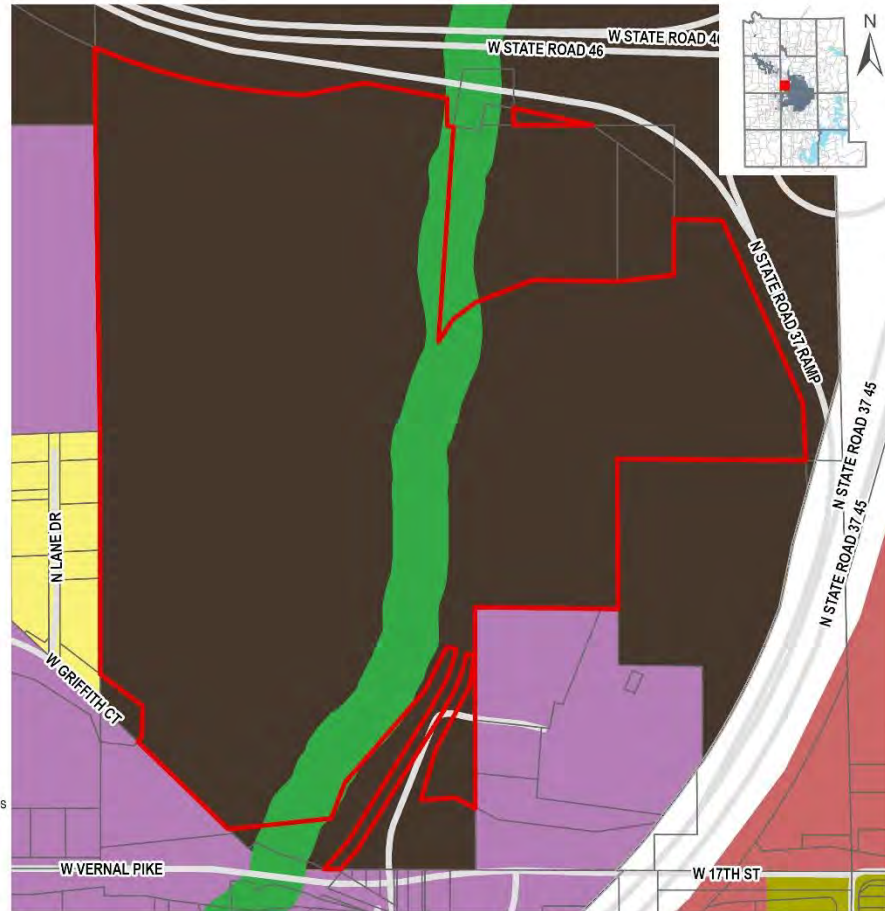
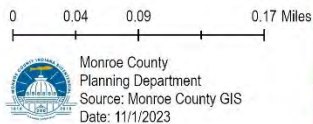
**MCUA Phase 1: 5.1.6 Quarry Landscapes**

*Quarry landscapes are found throughout the urbanizing area, primarily in the south and west portions of the area. These include both actively mined and abandoned quarries, a number of which are either listed or eligible for inclusion on the national register of historic places landscape district registry.*

This land use type may also include lands owned by quarry operators and reserved as buffers to surrounding uses or potential quarry expansion areas. A number of quarries are also located immediately adjacent to the Urbanizing Area boundary. Quarry lands should be preserved to the extent possible for continued mining operations as part of the local economy. Where active mining is no longer viable, quarry landscapes should be preserved and integrated into a comprehensive open space system. However, other types of development may occur within and adjacent to abandoned quarries if sensitively sited to preserve visual and physical access, and designed to be compatible with other surrounding land uses.

## Comprehensive Plan

-  Petitioner
-  Townships
-  Monroe Co. Urbanizing Area (MCUA)
-  Parcels
-  Roads
- Comp. Plan Land Use (Updated 2015)**
  -  MCUA Employment
  -  MCUA Open Space
  -  MCUA Quarry Landscape
  -  MCUA Suburban Residential
- Bloomington Growth Policies Plan**
  -  Employment Center
  -  Urban Residential



## A. Transportation

### *Streets*

Access into and surrounding quarries should be designed to sensitively integrate into the landscape and enhance, rather than detract from scenic views.

### *Bike, pedestrian, and Transit modes*

Physical and visual access for pedestrians and bicyclists should be explored for quarries that may be integrated into the broader open space system. Opportunities for boardwalks and overlooks should be explored.

## B. Utilities

### *Sewer*

Quarries may function as a barrier to routing gravity sewer lines. Utility easements should be sensitively located to minimize disruption to scenic landscapes.

### *Power*

Overhead utility lines near quarries should be buried where feasible to minimize visual clutter to the scenic landscape.

## C. Open space

### *Park Types*

Quarry landscapes offer a unique opportunity for Monroe County and the City of Bloomington to celebrate the region's heritage of limestone production by preserving abandoned and unused quarries and integrating them into a broader system of parks and greenways. The North Park development provides an effective example for preserving quarry lands as dedicated open space within a larger private development plan.

## D. Public Realm Enhancements

### *Lighting*

Lighting should be limited to non-intrusive, pedestrian-oriented fixtures (i.e. bollards and integrated railing lights) in high foot-traffic quarry park settings.

#### Street/Site furnishings

Benches, boardwalks, overlooks and railings should be constructed with rustic materials such as wood, weathered steel, and limestone.

### **E. Development guidelines**

#### *Open Space*

The amount of dedicated open space converted from quarry lands will depend on a variety of factors, including whether or not the quarry is part of a larger private development plan, or if it has been acquired in its entirety for preservation. If part of a larger development, preserved areas should remain contiguous, with connection points to existing or planned greenways. Abandoned quarry lakes should be a focus for preservation, with adequate measures to ensure safety for the general public.

#### *Parking ratios*

Active quarries typically provide sufficient parking for workers. Converted quarry parks may require formal visitor parking, which should be determined as needed in individual situations.

#### *Site design*

Where new development is proposed in or near abandoned quarry sites, structures should be sited to maximize views while also preserving scenic vistas.

#### *Building form*

Adjacent development forms will vary depending on use. Buildings integrated with quarry landscapes are encouraged to incorporate high amounts of window transparency both to maximize views for occupants and to minimize the visual impact of building masses on the landscape. Contemporary building designs with flat or shed-style roofs are encouraged to minimize the visual impact of roof profiles.

#### *Materials*

Appropriate building materials include limestone, wood, glass, architectural metal, and weathered steel.

#### *Signs*

Signs will typically be monument-style ground signs, integrated with the overall landscape design. Use of limestone and native planting schemes is strongly encouraged.

### **MCUA Phase 1: 5.1.8 Parks and Open Spaces**

*Protected open Space includes public parks and privately-owned lands dedicated for active or passive recreation or environmental preservation.*

Examples include karst farm Park, Will Detmer Park, and portions of both residential and non-residential development areas reserved as open space. Protected open spaces include floodplains and riparian corridors where development is either prohibited or strongly discouraged. The future land Use Plan is not intended to illustrate all lands intended for preservation; future open space areas will be determined through the county's parkland acquisition process and the development plan review process.

### **A. Transportation**

#### *Streets*

Most parks and open spaces should have some amount of public street frontage. This is less critical for greenways, but occasional street frontage is still appropriate. Street frontage serves as the "front door" of the open space, provides visual access into the space, and relates the park to the larger public realm of the community. Automobile access to community parks is important, and these larger parks will typically include dedicated parking areas. Neighborhood Parks should provide on-street parking adjacent to the open space, but off-street surface lots should be avoided if possible. Greenway systems should include small trail-head parking areas at strategic locations.

#### *Bike, pedestrian, and Transit modes*

Pedestrian and bicycle access to parks and open spaces is critical. All major parks should be linked together into a comprehensive bikeway system, including greenway trails and roadway facilities where appropriate.

Neighborhood parks should be accessible by sidewalk, and located within a 5-minute walk for nearby residents.

Transit access to major park destinations should be provided wherever possible.

## **B. Utilities**

### *Sewer*

Sewer access is desirable to serve restrooms and other park facilities, but is not always necessary.

### *Power*

Overhead utility lines should be buried to minimize visual disruption of scenic views.

## **C. Open Space Types**

### *Park Types*

A variety of park types should be integrated throughout the Urbanizing Area, depending on the surrounding development context:

- + Greenways
- + Community Parks
- + Neighborhood Parks
- + Plazas, Squares, and Greens
- + Pocket Parks and Streetscape Seating Areas

Refer to the other land use types described in this section for appropriate open space types.

### *Agriculture*

Many open space types can incorporate community-oriented agriculture. Refer to the other land use types described in this section for more information about integrated agriculture.

## **D. Public Realm Enhancements**

### *Street and Traffic Signs*

Public parks should be identified as part of a comprehensive wayfinding system, oriented to motorists, bicyclists and pedestrians.

### *Lighting*

Lighting should be of a pedestrian-scale, including lamp posts, bollard lighting, and ground lighting depending on park type and intended periods of use.

### *Street/Site furnishings*

Parks should incorporate numerous seating options, with co-located waste receptacles. Furnishings should be durable yet attractive and designed to complement the surrounding landscape and character of the open space and are ideal opportunities for public art. Furnishings should be coordinated within a park, but may be unique among different parks.

## **E. Development guidelines**

### *Parking ratios*

Parking requirements will vary depending on the scale, function and location of the park.

### *Site design*

Parks in higher density and more urban development areas will typically have a more formalized design. Larger community-scale parks and greenways should be more naturalized and designed to be integrated with the surrounding landscape.

### *Building form*

Park facilities are encouraged to incorporate high amounts of window transparency both to maximize views for occupants and to minimize the visual impact of building masses on the landscape. Contemporary building designs with flat or shed-style roofs are encouraged to minimize the visual impact of roof profiles.

### *Materials*

Appropriate building and site materials include limestone, wood, glass, architectural metal, and weathered steel.

### *Signs*

Signs should be coordinated throughout the public park system to assist with wayfinding and enhance community identity.

## **COMPREHENSIVE PLAN DISCUSSION – MCUA Phase 2**

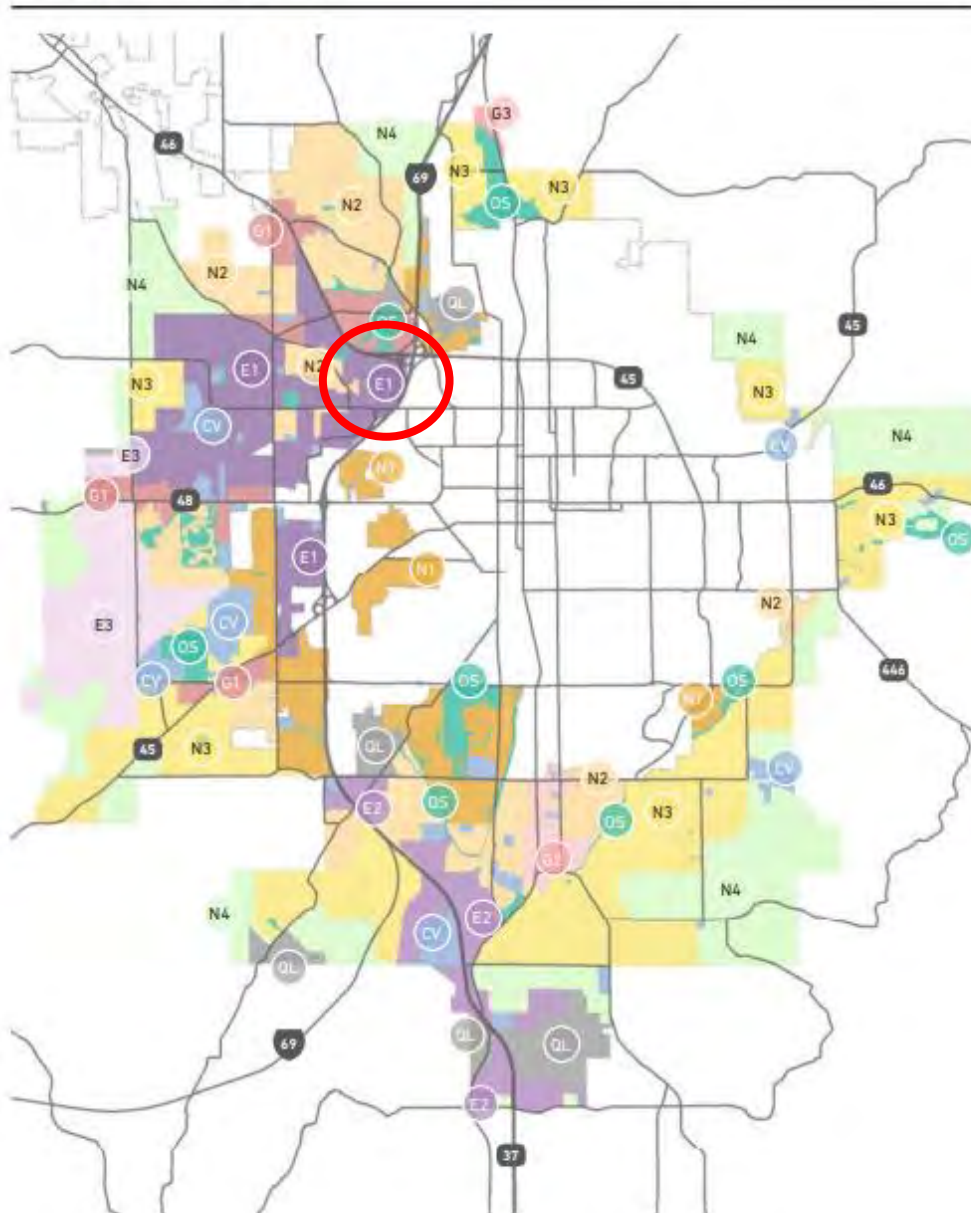
The petition site is located in the **West Side Employment (E1)** district of the Monroe County Urbanizing Area Plan Phase 2 portion of the Monroe County Comprehensive Plan. Points that align with the proposed rezone are highlighted in **green**. Points that differ from the district are highlighted in **grey**.

Employment Districts are intended to advance the objectives for continued economic development opportunities as described in the Urbanizing Area Plan.

This district includes properties to the north of the Third Street Gateway, extending generally to SR 46 and generally designated as the Employment land use type in the Urbanizing Area Plan. It includes existing office and industrial flex buildings and is intended to accommodate additional infill and redevelopment of these uses, and benefit from Tax Increment Finance district opportunities.

This district also includes existing industrial and office development, and highway-oriented commercial uses, south of Third Street between Curry Pike and I-69. Additional employment-oriented development should be compatible and consistent with surrounding patterns.

Conceptual Zoning Map



# Frontage Types - Secondary Roads

The purpose of this table is to identify the location of frontage type applications as they relate to "Local Roads" under the functional road classification in the County Thoroughfare Plan. For all other roads, refer to the Frontage Type Locations Map.

| Frontage Type            | GATEWAY DISTRICTS |    |    | EMPLOYMENT DISTRICTS |    |    | NEIGHBORHOOD DISTRICTS |    |    |    | SPECIAL DISTRICTS |    |    |
|--------------------------|-------------------|----|----|----------------------|----|----|------------------------|----|----|----|-------------------|----|----|
|                          | G1                | G2 | G3 | E1                   | E2 | E3 | N1                     | N2 | N3 | N4 | QL                | OS | CV |
| Highway                  |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Commercial Corridor      |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Employment               |                   |    |    | +                    | +  | +  |                        |    |    |    |                   |    | +  |
| Neighborhood Commercial  |                   |    | +  |                      |    |    |                        |    |    |    |                   |    | +  |
| Neighborhood Residential | +                 | +  |    | +                    |    |    | +                      | +  | +  |    |                   |    | +  |
| Green Transitions        |                   |    |    |                      |    |    |                        |    | +  | +  | +                 | +  |    |

Section 2: Proposed Zoning Framework 45

## Building Type Locations

| Building Type                            | GATEWAY DISTRICTS |    |    | EMPLOYMENT DISTRICTS |    |    | NEIGHBORHOOD DISTRICTS |    |    |    | SPECIAL DISTRICTS |    |    |
|--|-------------------|----|----|----------------------|----|----|------------------------|----|----|----|-------------------|----|----|
|  | G1                | G2 | G3 | E1                   | E2 | E3 | N1                     | N2 | N3 | N4 | QL                | OS | CV |
| Single Family - Small Lot (Rear-Loaded)  |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Single Family - Small Lot (Front-Loaded) |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Single Family - Contemporary             |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Single Family - Mid-Century              |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Single Family - Rural Residential        |                   |    |    |                      |    |    |                        |    |    | +  |                   |    |    |
| Attached Townhome                        |                   |    |    | +                    | +  |    |                        |    |    |    |                   |    |    |
| Attached Courtyard                       |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Two-Family Home (Duplex)                 |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Multi-Family                             |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Commercial                               |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Commercial Duplex                        |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Neighborhood Mixed-Use                   |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Mixed-Use                                |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Office Building                          |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Civic/Institutional Building             |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Flex Building - Option A                 |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Flex Building - Option B                 |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Large-Format Flex Industrial             |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |
| Re-Use/Retrofit                          |                   |    |    |                      |    |    |                        |    |    |    |                   |    |    |

**LOT AND BUILDING STANDARDS**

The following lot and building standards provide typical development parameters for flex building - option (a) buildings. These standards may require further calibration for application to specific locations within the urbanizing area.

|                  | G1, G2, G3     |        | E1, E2, E3 |        |
|------------------|----------------|--------|------------|--------|
|                  | MIN.           | MAX.   | MIN.       | MAX.   |
| Lot Width:       | 30'            | -      | 30'        | -      |
| Lot Coverage:    | N/A            | N/A    | N/A        | N/A    |
| Street Yard (a): | 10'            | no max | 10'        | no max |
| Side Yard (b):   | 5'             | no max | 5'         | no max |
| Rear Yard (c):   | 15'            | no max | 15'        | no max |
| Stories*:        | 1              | 2      | 1          | 2      |
| Height (d)*:     | no min         | 35'    | no min     | 50'    |
| Sign Types       | Wall, Monument |        |            |        |
| Parking Types    | Side, Rear     |        |            |        |
| Development Type | AB             |        | AB         |        |

\*Building heights intended to accommodate high-bay warehouse construction

**PUD REVIEW CONSIDERATIONS**

Section 811-6 (A) of the Monroe County Zoning Ordinance states: “The Plan Commission shall consider as many of the following as may be relevant to the specific proposal:

**(1) The extent to which the Planned Unit Development meets the purposes of the Zoning Ordinance, the Comprehensive Plan, and any other adopted planning objectives of the County.**

*Findings:*

- The current zoning is North Park II PUD created by the County in 2004;
- The Comprehensive Plan designates the property as MCUA Phase 1 Quarry Landscape, and Open Space;
- The Comprehensive Plan designates the property as MCUA Phase 2 as West Side Employment;
- The petitioner requests to amend the ordinance in order to a “mass grading and fill operations” to the permitted use tables for the entire petition site;

**(2) The extent to which the proposed plan meets the requirements, standards, and stated purpose of the Planned Unit Development regulations.**

*Findings:*

- See Findings under section A;
- The petitioner’s representative states that the fill is required for future development;
- The petitioner’s representative also states that “it is our intention to fill the site with the excess material from our construction projects”;

**(3) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including but not limited to, the density, dimension, bulk, use, required improvements, and construction and design standards and the reasons, which such departures are or are not deemed to be in the public interest.**

*Findings:*

- See Findings under section A;
- One of the purposes of the PUD, under Chapter 811, is to encourage a harmonious and appropriate mixture of uses;

**(4) The proposal will not be injurious to the public health, safety, and general welfare.**



*Findings:*

- See Findings (1), (2) and (8);
- Planning staff will request information on how the petition intends to verify that the fill is “clean”, or free from potential pollutants;

**(5) The physical design and the extent to which it makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects common open space, and furthers the amenities of light, air, recreation and visual enjoyment.**

*Findings:*

- The Monroe County Thoroughfare plan has identified N Packing House RD a Local road, and W Vernal PIKE as a Minor Arterial RD;
- The petitioner’s are proposing to access the petition site from N Packing House RD;
- N Packing House RD is currently a dead end at the property line;
- The Monroe County Highway Department has received a request for a Right of Way Activity permit (RW-23-251) for a “temporary construction driveway entrance”;
- Highway Department Project Manager, Ben Ayers, states the Dept. needs the following information: “how many trucks a day they anticipate to start with and a timeline”;

**(6) The relationship and compatibility of the proposal to the adjacent properties and neighborhoods, and whether the proposal would substantially interfere with the use of or diminish the value of adjacent properties and neighborhoods.**

*Findings:*

- See Findings (1), & (9);
- Adjacent properties are zoned North Park PUD, Light Industrial (LI), Quarry (QY), Limited Industrial (IL), Single Family Residential 3.5 (RS3.5), and Estate Residential 1 (RE1).
- There are no zoning overlays on the petition site.
- Adjacent uses include residential to the west and south west, vacant former quarry land to the north, and industrial and public uses to the east.

**(7) The desirability of the proposal to the County’s physical development, tax base, and economic well-being.**

*Findings:*

- See Findings under Section 1;

**(8) The proposal will not cause undue traffic congestion and can be adequately served by existing or programmed public facilities and services.**

*Findings:*

- The petition site is access from N Packing House Rd, a local road that dead ends at the petition site. N Packing House Rd is accessed from W Vernal Pike, a Minor Arterial road per the 2016 Thoroughfare Plan;
- See findings under (d);
- 

**(9) The proposal preserves significant ecological, natural, historical and architectural resources to the extent possible.**

*Findings:*

- There 17 karsts, 5 springs, and 1 sinking stream located on the property;
- Drainage will be reviewed under a PUD Development Plan if this amendment is adopted;
- The area is not located within a critical watershed;

**EXHIBIT 1: Link to Karst Study and Location of Features Map**  
[Link to Karst Study](#)



**EXHIBIT 2: Link to North Park II PUD Ordinance 2004-62**  
[Link to Current North Park II Ordinance 2004-62](#)

**EXHIBIT 3: Petitioner Letter**



BYNUM FANYO & ASSOCIATES, INC.

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING

October 4, 2023

Monroe County Planning Department  
And Monroe County Plan Commission  
501 N. Morton Street, Suite 224  
Bloomington, Indiana 47404

SUBJECT: North Park Area B-9 (northwest corner of the intersection N Packing House Dr and W Vernal Pike)

Monroe County Plan Commission or To Whom It May Concern:

On behalf of Packing House Road LLC, Bynum Fanyo & Associates, Inc. would like to request approval of a partial site filling plan of the SUBJECT property. The fill material that will be brought in to fill primarily the northeast end of the site will be crushed stone and soils from other construction projects Milestone Contractors is working on. The site is designed to utilize the fill for future development to re-use this parcel effectively in the future. This fill must be free of environmental sensitive pollutants. The filling process will be required to be monitored by a geotechnical engineer to ensure property placement and compaction. The parcel of property was the old Ledge Wall Quarry. This parcel of property is not addressed but at the northwest corner of the intersection N Packing House Dr and W Vernal Pike in Monroe County, Indiana located in the North Park PUD zone. This lot contains 98.9 acres (of which 27.5 acres will get disturbed for this plan) and is in the NE quarter of section 30, T9N, R1W, Bloomington township.

We are not asking for any variances or exceptions to the PUD or Monroe County ordinances.

However, the current PUD does not allow for filling as a use in this PUD area so we'd like to add the use of 'Mass Grading with filling operations' to the parcel.

Also, on behalf of Packing House Road LLC, Bynum Fanyo & Associates, Inc. would like to request the Plan Commission waive the need for a 2<sup>nd</sup> hearing and make a determination after the 1<sup>st</sup> hearing.

Sincerely,  
Bynum Fanyo & Associates, Inc.

Daniel Butler, PE, Project Engineer

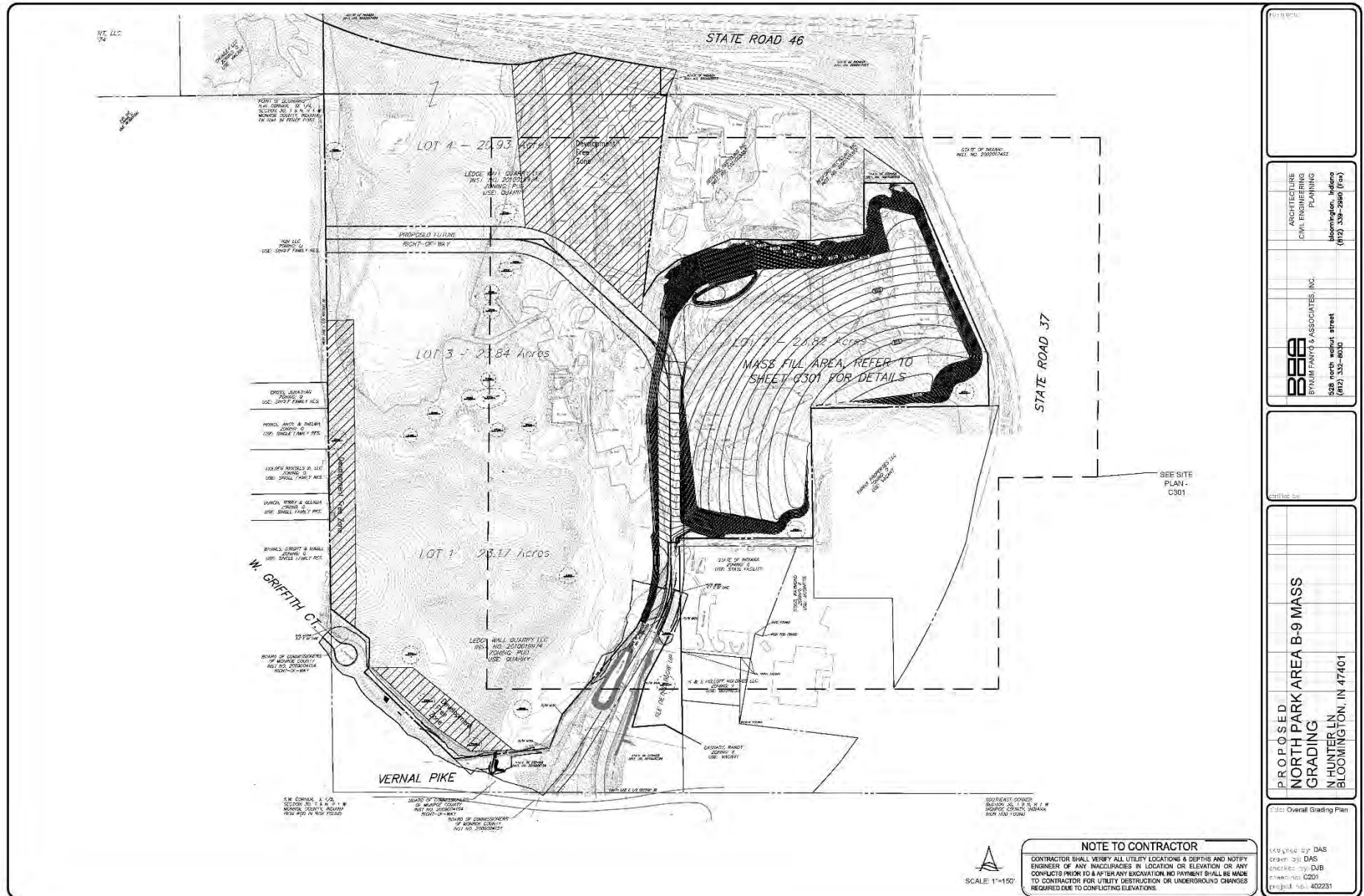
Copy: BFA File #402231

528 NORTH WALNUT STREET  
812-332-8030

BLOOMINGTON, INDIANA 47404  
FAX 812-339-2990

**EXHIBIT 4: Link and Pages 2 & 3 of Proposed Development Plan for Later Consideration**

[Link to Full Proposed Later Development Plan](#)





### GRADING/DRAINAGE LEGEND

|                                 |   |
|---------------------------------|---|
| EXISTING CONTOUR                | — |
| PROPOSED CONTOUR                | — |
| PROPOSED WETTED FLOOD ELEVATION | — |

**PHASING NOTE:** CONTRACTOR TO ADD FILL IN PHASES OF 10 FOOT ELEVATION CHANGES. EROSION CONTROL MEASURES SUCH AS ROCK CHECK DAMS AND SEDIMENT POND ARE TO BE IMPLEMENTED AND MAINTAINED AT EACH PHASE AS SHOWN ON SITE PLAN AND DETAILS SHEETS.

**NOTE:** EXISTING ELEVATION CONTOURS DEPICTED ARE FROM AN AERIAL SURVEY. ACTUAL EXISTING CONDITIONS CONTOURS MAY DIFFER WHEN CONSTRUCTION HAS COMMENCED. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES THAT WOULD INHIBIT GRADING. THE PROPOSED CONTOURS AS INDICATED.

### GRADING & GENERAL NOTES

- PROPOSED CONTOURS SHOWN ARE MAXIMUM TOP OF FILL IN AREAS TO BE WETTED AND SEEDED.
- ALL DISTURBED AREAS SHALL RECEIVE 4" TO 6" OF SOIL/DIRT AFTER FILL OF THE SITE. THIS SOIL IS TO BE PLACED AND LEVEL BY THE CONTRACTOR. DURING CONSTRUCTION THE TOP 4" TO 6" OF EXISTING SOIL SHALL BE STOCKPILED BY THE CONTRACTOR IN AREA DESIGNATED ON PLAN TO THEN BE REDISTRIBUTED THROUGHOUT THE DISTURBED SITE IN ORDER TO ESTABLISH MATURE AND HEALTHY VEGETATION AFTER CONSTRUCTION HAS COMMENCED. ANY AREAS DESIGNATED TO NOT BE COVERED BY SOIL AND MATURE VEGETATION AFTER CONSTRUCTION SHALL BE RE-COVERED, RE-SEEDING AND SETTING/RELOCATED SIGNS.
- CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FINE HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING. ALTERNATE REMOVAL, RELOCATING, REPAIRING OR CORRECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH ALTERATION OF OR RELIEF OF THE FACILITY.
- ALL WORK IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS.
- ALL PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- BEFORE TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. PLANTING LOCATIONS MAY REQUIRE ADJUSTMENTS IN FIELD TO AVOID OVERHEAD AND UNDERGROUND UTILITIES.
- UNDESIRABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY CONTRACTOR.
- BEFORE ANY MACHING WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THIS GRADING PLAN. CONTROL POINTS SHALL BE RECHECKED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. THE LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
- ANY FILL AREAS SHALL BE FILL OF VEGETABLE MATTER (ROBBER, LARGE ROCK, AND OTHER OBLITEROUS MATERIAL). THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6X (6) INCHES IN LOOSE THICKNESS AND SHOULD BE SPERMULATED WITH WATER AS REQUIRED TO SECURE SPECIFIED COMPACTION. EACH LAYER SHOULD BE THOROUGHLY COMPACTED BY MEANS OF SUITABLE EQUIPMENT AS DICTATED BY THE TYPE OF FILL MATERIAL. UNDER NO CIRCUMSTANCES SHOULD A ROLLER OR SIMILARLY TRACKED VEHICLE BE USED AS COMPACTING EQUIPMENT. MATERIAL CONTAINING AN EXCESS OF WATER SHOULD BE SPREAD AND DRIED TO A MOISTURE CONTENT THAT WILL PERMIT PROPER COMPACTION. ALL FILL SHOULD BE COMPACTED TO THE SPECIFIED PERCENTAGE OF MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM DENSITY TEST D-155 (65 PERCENT) OF MAXIMUM DRY DENSITY IF THE SPECIFIED COMPACTION LIMITS ARE NOT MET. SUCH AREAS SHOULD BE REWORKED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED LIMITS ARE MET.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PUBLIC ROADS AND PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

### EROSION CONTROL LEGEND

|   |   |
|---|---|
| — | TEMPORARY EROSION CONTROL BEAM - REFER TO DETAIL. BEAM SHALL BE A MINIMUM OF 2" HIGH, 2" WIDE FLAT TOP AND A MINIMUM OF 31" HIGH SIDES.     |
| — | TEMPORARY EROSION CONTROL STRIP - REFER TO DETAIL. BEAM SHALL BE A MINIMUM OF 2" HIGH, 2" WIDE FLAT BOTTOM AND A MINIMUM OF 31" HIGH SIDES. |
| — | ROCK CHECK DAM (TEMPORARY DURING CONSTRUCTION) - REFER TO DETAIL.   |
| — | EROSION CONTROL SLOTTED BERM - REFER TO DETAIL.   |
| — | CONSTRUCTION LAYERS BOUNDARY BY PROPERTY LINE UNLESS OTHERWISE SPECIFIED.   |
| — | EROSION CONTROL BENCH - REFER TO DETAILS.   |
| — | 6" DEEP STONE PAD 12" DEEP TO KEEP FROM TRACKING MUD OFF SITE - REFER TO DETAIL (TEMPORARY DURING CONSTRUCTION).                            |
| — | PERMANENT EROSION CONTROL BLANKET - DUMPS NET-FREE BEAMS OVER NON-REMOVABLE EROSION CONTROL BLANKET OF APPROVED EQUAL - REFER TO DETAIL.    |
| — | 6" DEEP STONE PAD 12" DEEP TO KEEP FROM TRACKING MUD OFF SITE - REFER TO DETAIL (PERMANENT).  |
| — | IN-SITU BLOCK OF SAND BAGS RETAINING WALL.  |
| — | CONCRETE FILLER BEAM.   |
| — | SPRING BERM - REFER TO DETAIL.  |

### EARTHWORK QUANTITIES

|  |                            |
|--|----------------------------|
| NORTH PARK AREA B-9 TOTAL ACRES                      | 99.8 ACRES                 |
| NORTH PARK AREA B-9 CONSTRUCTION LIMITS = 76.2 ACRES |                            |
| TOTAL FILL SOIL VOLUME                               | APPROX. 380,000 CUBIC YDS. |

### NOTE TO CONTRACTOR

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AT THE START OF EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

20.93 Acres

23.17 Acres

STATE ROAD 37

PROPOSED NORTH PARK AREA B-9 MASS GRADING

528 north west street  
Bloomington, Indiana  
(317) 338-2800

ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING  
Bloomington, Indiana  
(317) 338-2800

PROPOSED GRADING AND EROSION CONTROL PLAN

checked by: DAS  
checked by: DJB  
prepared: GSD  
project no.: 402231

**EXHIBIT 5: Permitted Uses from PUD Ordinance**

| Use Area                         | Default Zoning District |
|----------------------------------|-------------------------|
| Quarry/Heavy Industrial District | ME/HI                   |
| Light Industrial District        | LI                      |

**Section 4. Permitted Principal Uses**

4.1 The uses permitted in each of the use areas established by this PUD Ordinance are shown in the following table. Where identified with a "P", the use is permitted. Where the column is blank, the use is not permitted within the associated use area. All uses shall be subject to the conditions contained in Chapter 802 of the Monroe County Zoning Ordinance and as noted elsewhere in this PUD Ordinance.

For uses not listed, the Administrator shall determine if the proposed use is similar to a permitted use in terms of intensity, anticipated impact upon adjoining and surrounding uses, etc. If the Administrator determines that the use is appropriate, then he/she shall amend the permitted use table to include the same, and shall forward the interpretation to the Plan Commission. All such decisions of the Administrator may be appealed to the Board of Zoning Appeals in accordance with the provisions contained in Chapter 832 of the Monroe County Zoning Ordinance.

**Table 4. Permitted Use Table. District B**

| Use  | Use Area |      |
|--|----------|------|
|  | LID      | QHID |
| <b>Business and Personal Services</b>                      |          |      |
| Industrial Equipment Repair                                | P        | P    |
| Office   | P        | P    |
| Office Equipment Repair                                    | P        | P    |
| Parking Facility   | P        | P    |
| <b>Public and Semi-Public</b>                              |          |      |
| <b>Retail and Wholesale Trade</b>                          |          |      |
| Bakery (Wholesale)   | P        | P    |
| Industrial Supplies  | P        | P    |
| Office Showroom  | P        | P    |
| Wastewater Treatment Facilities                            | P        | P    |
| <b>Automotive and Transportation Services</b>              |          |      |
| Cold Storage Plant   | P        | P    |
| Transfer or Storage Terminal                               | P        | P    |
| <b>Amusement and Recreational Services</b>                 |          |      |
| Private Recreational Facility                              | P        | P    |
| <b>Manufacturing, Mining, Construction, and Industrial</b> |          |      |
| Abrasive Products  | P        | P    |
| Apparel  | P        | P    |
| Appliance Assembly   | P        | P    |
| Appliance Repair   | P        | P    |
| Beverage Products  | P        | P    |
| Bottling Machinery   | P        | P    |
| Caterers   | P        | P    |
| Cement Products  | P        | P    |
| Commercial Printing  | P        | P    |

| Use   | Use Area |      |
|---|----------|------|
|   | LID      | QHID |
| Construction Trailer                            | P        | P    |
| Cut Stone and Stone Products                    | P        | P    |
| Dairy Products                                  | P        | P    |
| Electronic Devices and Instruments              | P        | P    |
| Engineering and Scientific Instruments          | P        | P    |
| Food Products                                   | P        | P    |
| Furniture                                       | P        | P    |
| General Contractor                              |          | P    |
| Glass and Glassware                             | P        | P    |
| Hard Surface Floor Coverings                    | P        | P    |
| Jewelry Products                                | P        | P    |
| Laboratories                                    | P        | P    |
| Leather Goods                                   | P        | P    |
| Machine Assembly                                | P        | P    |
| Machine Shop                                    | P        | P    |
| Metal Fabrication                               | P        | P    |
| Metalworking Machinery                          | P        | P    |
| Mineral Extraction                              | P**      | P*   |
| Musical Instruments                             | P        | P    |
| Office and Computer Equipment                   | P        | P    |
| Optical Instruments and Lenses                  | P        | P    |
| Paper Products                                  | P        | P    |
| Paving Materials, Central Mixing                |          | P    |
| Perfumes, Cosmetics. And Toiletries Manufacture | P        | P    |
| Pharmaceuticals                                 | P        | P    |
| Plastic Products Assembly                       | P        | P    |
| Pottery Products                                | P        | P    |
| Sign and Advertising Displays                   | P        | P    |
| Structural Clay Products                        | P        | P    |
| Terra Cotta                                     | P        | P    |
| Textiles  | P        | P    |
| Textile Machinery                               | P        | P    |
| Tile  | P        | P    |
| Warehousing and Distribution Activities         | P        | P    |
| Watches and Clocks                              | P        | P    |
| Welding   | P        | P    |
| Wood Products                                   | P        | P    |

\*Rock crushing activities are limited to the area being quarried as of the date of this PUD Ordinance (33 acres).

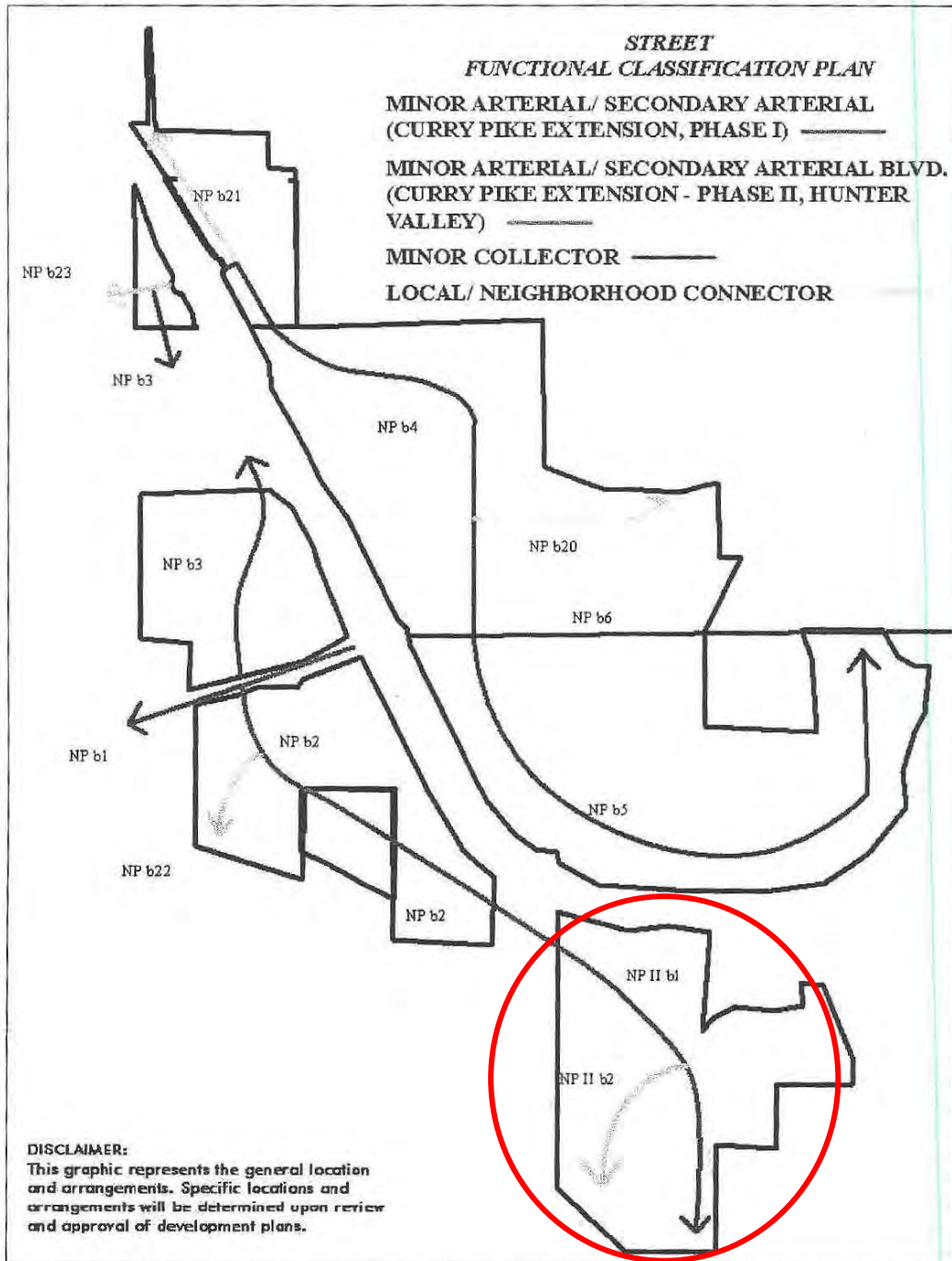
\*\* Upon occupancy use of 75% of the area within the LID use area for permitted uses other than mineral extraction, all mineral extraction activities shall cease in the entirety of the LID use area.

## Section 5. Permitted Accessory Uses and Structures

- 5.1 Accessory uses and structures shall be permitted in all use areas (unless otherwise stated in this PUD Ordinance) and shall be subject to the provisions of Chapter 802 of the Monroe County Zoning Ordinance and shall be customarily accessory, and clearly incidental and subordinate to the principal use on the same lot (platted or otherwise).

**EXHIBIT 6: Future Road Connections**

**Appendix F  
Street Functional Classification Plan**





## EXHIBIT 7: Emails with Daniel Butler, Bynum Fanyo & Associates

### Anne Crecelius

---

**From:** Daniel Butler <dbutler@bynumfanyo.com>  
**Sent:** Wednesday, November 22, 2023 2:47 PM  
**To:** Anne Crecelius  
**Cc:** Jacqueline N. Jelen; Nagle, Mark; Chandler, AJ; Heinzelman, Nick; Bui, MaiHan  
**Subject:** RE: PUO-23-6 - Packing House Road LLC  
**Attachments:** 402231\_Base-C301.Site.pdf; 402231\_Base-0.Cover.pdf; 402231\_Base-C201.Overall.pdf; 402231\_Base-C401.Erosion Details.pdf; 402231\_Base-C402.Erosion Details.pdf; 402231\_Base-C501.SWPPPinfo.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Anne,

Here are some responses to your questions from the last PRC packet that we hope will satisfy enough to get a 'recommendation of approval' for next PRC meeting:

1. See attached for revised plans that now show grading to edge of future ROW. This plan does take into account future planning of the road to go through the property
2. We are only asking for the needed fill of the site to get to a point of commercial or industrial future uses. 3-5 years is the anticipated current timeline for completion of fill as shown.
3. The timeline will depend on the volume of construction work in the area that contains excess clean fill. We anticipate that based on the current market conditions this could take up to 5 years for completion, which would be up to 30 normal, legal dump truck loads per day. The owner is willing to bond the portion of the roadway that has not been re-constructed to ensure it's viability to the county highway dept.
4. Definition for "mass grading with filling operations": to fill the site with the excess material from other construction projects. The fill must be clean fill material from other projects and could be soils and aggregates. Asphalt pavements that are removed from other projects may not be taken to this site. Concrete is allowed to be brought to the site as fill from other projects but this material shall be properly sized before it is incorporated into any fill. Once the material is at the site it will be placed, compacted and tested per Geotechnical Standards for future buildability. On-site crushing of materials is allowed but anticipated to be seldom and would be for the purposes of obtaining proper clean fill placement. All fill material must be clean and no environmental questionable material is allowed. Resale of any on-site fill is not allowed and only for use of filling site to proposed engineered grades.

-Daniel

---

**From:** Anne Crecelius <acrecelius@co.monroe.in.us>  
**Sent:** Wednesday, November 8, 2023 3:25 PM  
**To:** Daniel Butler <dbutler@bynumfanyo.com>  
**Cc:** Jacqueline N. Jelen <jnester@co.monroe.in.us>; Nagle, Mark <Mark.Nagle@milestonelp.com>  
**Subject:** RE: PUO-23-6 - Packing House Road LLC

Hi Daniel – That's fine! We will continue it to the December 14<sup>th</sup> PRC meeting.

Best,

Anne Crecelius

Planner II - Monroe County Planning Department  
501 N. Morton St., Suite 224  
Bloomington, IN 47404  
Phone: (812) 349-2560

---

**From:** Daniel Butler <[dbutler@bynumfanyo.com](mailto:dbutler@bynumfanyo.com)>  
**Sent:** Wednesday, November 8, 2023 2:19 PM  
**To:** Anne Crecelius <[acrecelius@co.monroe.in.us](mailto:acrecelius@co.monroe.in.us)>  
**Cc:** Jacqueline N. Jelen <[jnester@co.monroe.in.us](mailto:jnester@co.monroe.in.us)>; Nagle, Mark <[Mark.Nagle@milestonelp.com](mailto:Mark.Nagle@milestonelp.com)>  
**Subject:** RE: PUO-23-6 - Packing House Road LLC

Anne and Jackie,

The developer for this project is requesting to be continued to next PRC instead of tomorrow. Is that possible?

This request is in hopes to answer more of your questions more in depth to receive recommendation of approval instead of denial.

-Daniel

---

**From:** Anne Crecelius <[acrecelius@co.monroe.in.us](mailto:acrecelius@co.monroe.in.us)>  
**Sent:** Wednesday, November 1, 2023 1:06 PM  
**To:** Daniel Butler <[dbutler@bynumfanyo.com](mailto:dbutler@bynumfanyo.com)>  
**Subject:** PUO-23-6 - Packing House Road LLC

Hi Daniel –

I'm currently working on the report for the PUO amendment for North Park II. After some more discussion with Jackie and Tammy, I think in order to best achieve your goals, the request to be considered under the "North Park" ordinance should be removed. This means the property would remain under the "North Park II" ordinance. It would require a lot of changes to the North Park ordinance which is likely unnecessary to you and your client. Let me know if your amendable to this change. You'll just need to update the petitioner's letter.

We expect to publish the packet for PRC tomorrow.

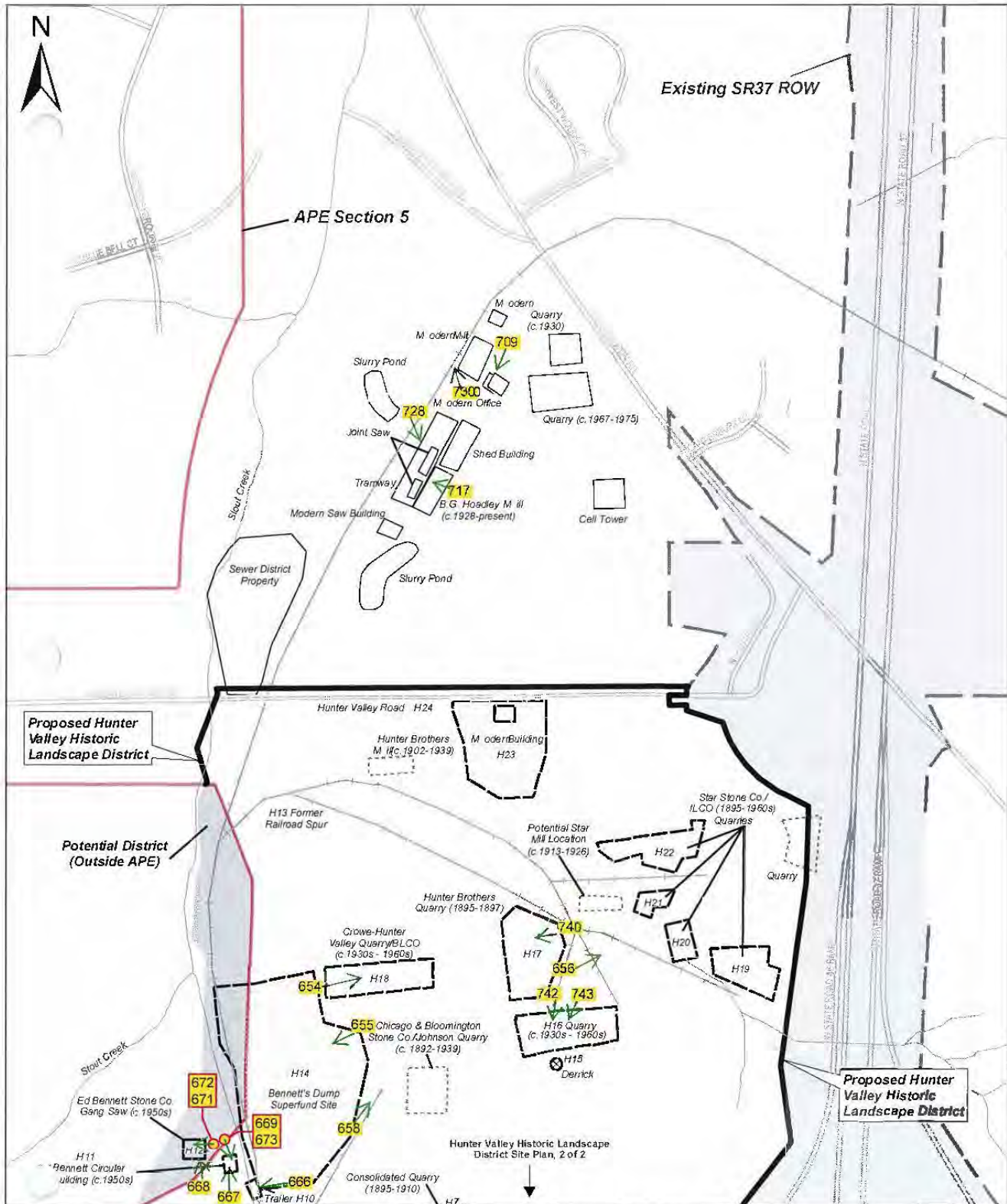
So far the main critiques are the following – most of these points were brought up during the pre-design meeting.

1. How and when the required future roadway will be incorporated into the current fill design
2. Timeline development – fill to public commercial use
3. Address the impact of 30,000+ tri-axle trucks using the public roads over the course of the fill period
4. Define "mass grading with filling operations".

Best,

**Anne Crecelius**  
Planner II - Monroe County Planning Department  
501 N. Morton St., Suite 224  
Bloomington, IN 47404  
Phone: (812) 349-2560

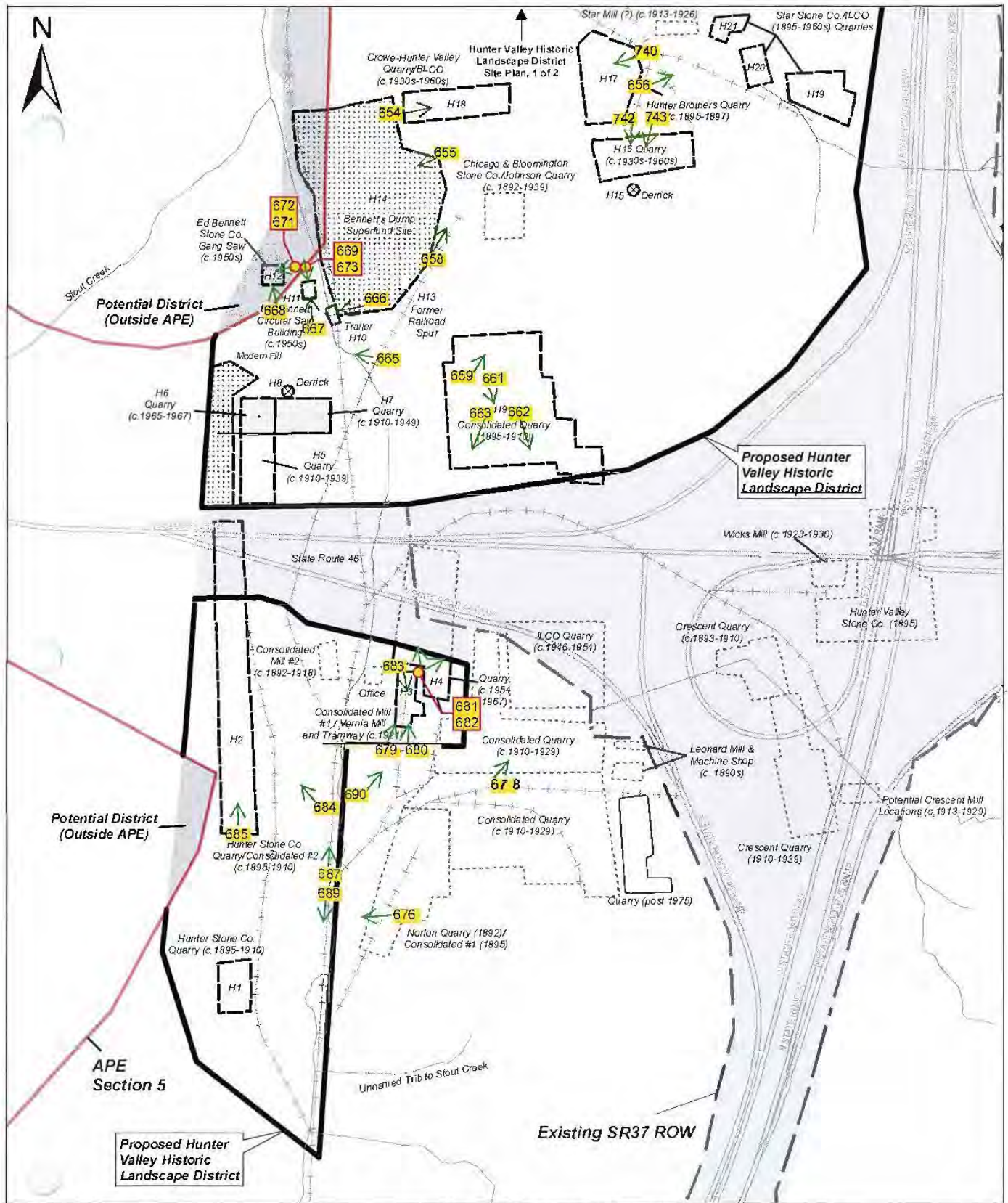
**EXHIBIT 8: Considerations of and Findings regarding Dimension Limestone Resources within the I-69 Section 5 Area of Potential Effects 01242012**



**Hunter Valley Historic Landscape District Photo Key, 1 of 2**

**Figure 11** January, 2012  
**I-69 EVANSVILLE-TO-INDIANAPOLIS TIER 2 STUDIES - SECTION 5**  
 Indiana Department of Transportation

Map based on 2010 Aerial Photography. Data on former site locations taken from: 1939 and 1946 Aerial Photography (US Geological Survey); 1964, 1967, and 1975 Aerial Photography (USDA); 1896 Map of Bloomington (C.E. Sieber), 1910, 1926, and 1966 Bloomington Quadrangle Maps (US Geological Survey); 1927-1949 Sanborn Fire Insurance Maps; 1931 Indiana Oolitic Limestone District (Building Stone Association of Indiana); Al Hodley, unpublished manuscript; and Narrative (Buckley, Clay, "Gazetteer of Limestone Mills of Owen, Monroe, and Linn Counties to 1952").



**Hunter Valley Historic Landscape District Photo Key, 2 of 2**

**Figure 12** January, 2012  
**I-69 EVANSVILLE-TO-INDIANAPOLIS TIER 2 STUDIES - SECTION 5**  
 Indiana Department of Transportation

Map based on 2010 Aerial Photography. Data on former site locations taken from 1939 and 1946 Aerial Photography (US Geological Survey); 1954, 1967, and 1976 Aerial Photography (USDA); 1995 Map of Bloomington (C.E. Sabatini); 1910, 1956, and 1966 Bloomington Quadrangle Maps (US Geological Survey); 1927-1949 Standard Fire Insurance Maps; 1931 Indiana Civil Lineation District (Building Stone Association of Indiana); Al. Hoadley, unpublished manuscript; and Hainesite (Stucky, Chy. "Geology of Limestone Mts. of Owen, Monroe, and Lawrence Counties to 1950").

**MONROE COUNTY PLAN COMMISSION****February 20, 2024**

|                               |   |
|-------------------------------|---|
| <b>PLANNER</b>                | Anne Crecelius  |
| <b>CASE NUMBER</b>            | PUD-23-7  |
| <b>PETITIONER OWNER</b>       | ZRB Development c/o Bynum Fanyo & Associates<br>Logan Land Development LLC  |
| <b>ADDRESS</b>                | 3054 & 3098 N Lintel DR, parcel #53-05-19-300-006.006-004, 53-05-19-300-006.092-004, 53-04-24-400-022.006-011, 53-04-24-400-022.013-011.  |
| <b>REQUEST</b>                | U.S. Dept. of Veteran's Affairs Outpatient Clinic Development Plan<br>North Park B-2 Infrastructure Plan Amd. 1<br>Preliminary Hearing.<br>Waiver of Final Hearing Requested.       |
| <b>ACRES</b>                  | 14.53 +/- acres   |
| <b>ZONE</b>                   | North Park PUD  |
| <b>TOWNSHIP &amp; SECTION</b> | Richland Township, Section 24,<br>Bloomington Township, Section 19  |
| <b>PLATS</b>                  | “North Park Office State Road 46 (Tract B-2 Parcel 1)” - Lot 3, instrument 2015012677<br>“North Park-Office State Road 46 (Tract B-2 Parcel 2A & 3)” - Lot 6, instrument 2020018755 |
| <b>COMP PLAN DESIGNATION</b>  | MCUA Employment, MCUA Open Space  |

**EXHIBITS**

1. North Park Office State Road 46 (Tract B-2 Parcel 1) Final Plat, instrument 2015012677
2. North Park-Office State Road 46 (Tract B-2 Parcel 2A & 3) Final Plat, instrument 2020018755
3. [U.S. Dept. of Veteran's Affairs Outpatient Clinic Development Plan Link](#)
4. [Infrastructure Plan Development Tract B-2, Parcels 2 & 3 of the North Park Development Tract Plat, Amendment 1](#)
5. [North Park PUD Open Space, Linear Park, and Stormwater Management Plan Link](#)
6. Email with Petitioner regarding overpass/underpass trail
7. Staff Review Comments of draft 1, sent 2/4
8. Architectural Plans
9. 2012 Infrastructure Plan Sidewalk Changes

**RECOMMENDATION**

Staff recommends forwarding **approval** of the North Park U.S. Dept. of Veteran's Affairs Outpatient Clinic Development Plan request with the following conditions:

1. SFP-24-2 is recorded by the time of Land Use Certification application.
2. All outstanding review comments are completed to the satisfaction of county staff before the issuance of any Improvement Location Permit (ILP).

Staff recommends forwarding **approval** of the North Park B-2 Infrastructure Plan Amd. 1 request with the following conditions:

1. SFP-24-2 is recorded by the time of Land Use Certification application.

**MEETING SCHEDULE & RECOMMENDATIONS**

- Plan Commission Regular Meeting – February 20, 2024 (Preliminary Hearing)
  - Waiver of final hearing requested.
- Plan Commission Regular Meeting – March 19, 2024 (Final Hearing)

**SUMMARY**

The petition site is four parcels totaling 14.53 +/- acres located in Richland and Bloomington Townships. The petitioner is proposing a PUD Development Plan on lots 3054 & 3098 N Lintel DR. Both properties are platted and will be combined pending a Final Plat Amendment (SFP-24-2). The petitioners have filed an amendment to the North Park Area B-2 Infrastructure plan to remove two sidewalks. The first is a sidewalk that runs parallel with State Road 46, and the second is a sidewalk with stairs located within the previously platted 10' pedestrian easement within the Duke Energy easement on Lot 3. Refer to Exhibit 9 for an illustration the sidewalks that would be removed under the Infrastructure Amendment.



Lot 3, addressed as 3098 N Lintel DR, was platted in 2015 platted within the “North Park Office State Road 46 (Tract B-2 Parcel 1)” plat. This lot shows the 100’ Duke Energy Easement and a 10’ pedestrian easement.

Lot 6, addressed as 3054 N Lintel DR, was platted in 2020 within the “North Park-Office State Road 46 (Tract B-2 Parcel 2A & 3)”.

## ZONING

The zoning for the petition site is North Park Planned Unit Development. Adjacent zoning is North Park PUD. The petition site is currently vacant and undeveloped. Adjacent uses include a Hospital/Wellness Center to the south, and Nursing Home to the east.

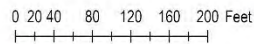


**SITE CONDITIONS**

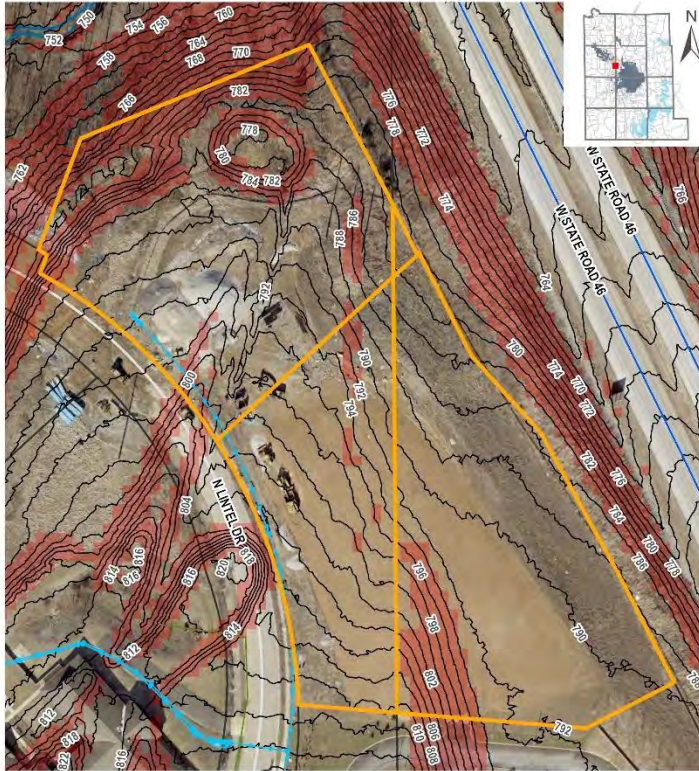
The site has frontage along N Lintel DR. The 2016 Thoroughfare Plan classifies Lintel Drive as a Local road. The petition site is currently vacant and undeveloped. The property is mainly slopes under 15% slopes and contains a regional detention pond in the northeast corner. The lot contains a 100' Duke aerial overhead power line easement.

**Site Conditions Map**

- Major Arterial [150']
- ▭ Petitioner
- Water Pipe
- Storm Water
- 2-Foot Contours
- 15% Slope (County/ECO2)
- <VALUE>
- 0 - 15
- > 15
- Local Roads [50']
- Hydrologic Features
- ▭ Parcels



Monroe County  
 Planning Department  
 Source: Monroe County GIS  
 Date: 1/31/2024



**DEVELOPMENT PLAN REVIEW**

The proposed Development Plan overall meets the majority of design and architectural standards laid out for new construction in the “Office SR46 District”. Staff has included their staff review notes for reference in Exhibit 7; please note that only comments significant to the Plan Commission have been included in this report. Staff has recommended a condition of approval that all review comments be addressed before the issuance of any Improvement Location Permit (ILP).

The plan includes a main outpatient clinic building, a maintenance building, and two off-street parking lots – please refer to Exhibit 3. There are two review comments worth mentioned under parking for discussion. The proposed design currently lacks or lacks information about berming on the northern parking lot, and a swale in the southern parking lot. **If the design is not altered to meet the criteria, the only process forward would be an outline plan amendment to the PUD ordinance.** At this time, staff believes the petitioner is able to provide revisions that can meet all requirements. This development plan can only be approved if all ordinances are followed, or an amendment is sought and achieved.

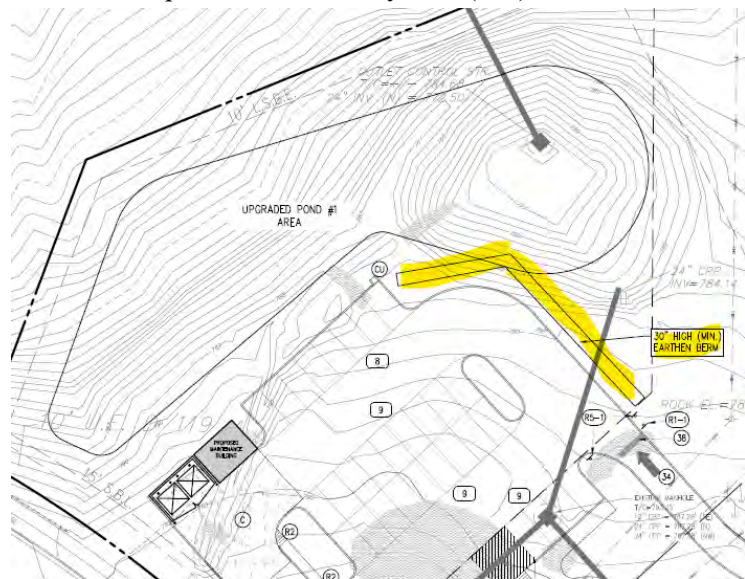
| <i>DEVELOPMENT STANDARDS</i>   |                  |
|--|------------------|
| Front Yard Setback = 15' (Except along SR 46, where no setback is less than 35') | Meets standard   |
| Rear Yard Setback = 15' (Except along SR 46, where no setback is less than 35')  | Exceeds minimum. |
| Side Yard Setback = 5' (Except along SR 46, where no setback                     | Exceeds minimum. |

|   |                       |
|---|-----------------------|
| is less than 35')                                 |                       |
| Maximum Height = 70'                              | Meets standard        |
| Maximum Floor to Area Ratio = 3.00                | Meets Standard (0.12) |
| Parking Stall Requirements= 3/doctor + 1/employee | Meets standard        |

**PARKING**

The petitioner has proposed parking that meets the PUD ordinance requirements. The off-street parking lots are located on the sides of the structure and meets minimum requirements. One noticeable issue is the lack of a wall or berming to block the view of the off-street parking lot on the north side of the petition site. The petitioner has provided a masonry wall for the southern parking lot. The petitioner has update page C301 of the development plan to include a wall shape noted as a “thirty inch (30”) earthen berm”.

This feature doesn’t show the proposed contours needed to construct the berm or the impact on the adjacent stormwater detention.



12. x. No off-street parking areas shall be adjacent to SR46 or Curry Pike/Hunter Valley Road unless located behind buildings, behind a landscaped masonry wall meeting the requirements of Chapter 830, Figure 30-4, or a landscaped berm meeting the requirements of Chapter 830, Figure 30-2 or Figure 30-3.

Standard 13.iv requires that a landscaped 16’ swale is installed every four rows of parking stalls – the plan is currently deficient and will require an update.

13. iv.All off-street parking areas shall utilize small parking fields separated by landscaped areas. In addition to the landscaping requirements of parking areas contained elsewhere in this PUD Ordinance, there shall be a landscaped swale measuring no less than sixteen (16) feet in width with a density of no less than 110 points per 100 lineal feet between every two parking aisles (every four rows of parking stalls). This swale may be counted as a required perimeter yard and may be divided equally among the two adjoining parking fields for the purposes of determining the percent of lot area located in an interior planting area as described in Table 30-3 of Chapter 830 of the Monroe County Zoning Ordinance. This area may also be designed to accept and manage storm water.

**LANDSCAPING**

Except for the absence of the landscaped swale under parking standards, all other proposed landscaping is meeting the requirements listed under the North Park PUD. Staff has comments listed in Exhibit 7 that will be required to be addressed before the issuance of any Improvement Location Permit (ILP).

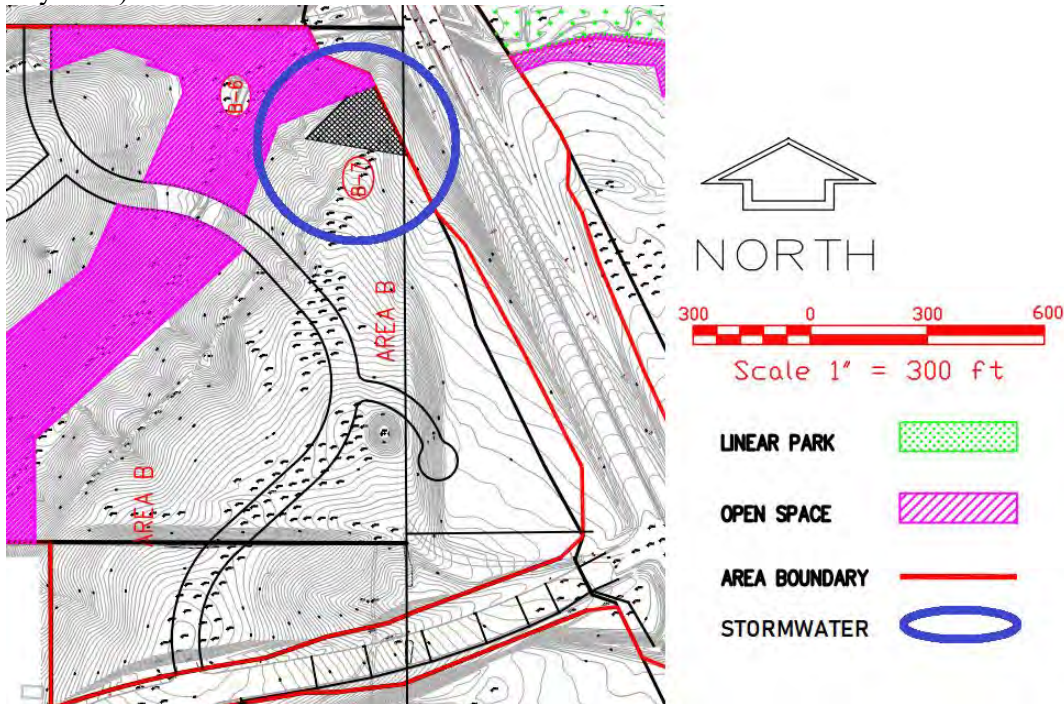
**SIGNS**

No sign permit information has been submitted at this time. Any future submittals will be required to meet both County and PUD design criteria prior to approval during the Improvement Location Permit review.



## **OPEN SPACE**

According to Section 3.4b of the North Park PUD ordinance open space shall be provided in each of the use Districts and shall result in a total of no less than 25% of the gross area of the PUD being preserved as open space. The Open Space Overall Plan for North Park requires specific amounts of acreage to be dedicated in each area for open space. Tract B-2 consists of sections B-5 requiring 8.16 acres, B-6 requiring 4.02 acres and B-7 requiring 0.55 acres (in the form of stormwater detention on previously platted Lot 3) in the plan image below. Proposed Lot 7 is a dedicated open space lot and is 4.16 acres and meets the B-6 requirement. Parcel 3A will be required to set aside the remaining 8.16 acres to meet open space allotments. Appendix A below shows the petitioner is following the outline plan with regards to the open space location (shown in yellow) within Tract B-2.



## **INFRASTRUCTURE**

The Monroe County Highway Engineer has provided comments and has requested the following edits to the Development Plan:

1. Driveway shall have a minimum width of 30 ft. with 25 ft. curb radiuses
2. Use pavement marking paint instead of thermoplastic on concrete surfaces
3. Stopline should be set back 4 ft. from the crosswalk lines

The Monroe County Highway Dept. Project Manager, Ben Ayers, has received two Right of Way Activity permits (RW-23-362 and RW-23-363). The Project Manager has provided specifications for the entrance, site distance, driveway approach grade, driveway pavement, and sidewalk within the Initial Inspection Reports. Both permits will require a surety before the release of the permits.

There is the potential for a pedestrian trail to be constructed over/under State Road 46 on the adjacent lot to the north. The northern lot (adjacent to the site in question) is designated as Linear Park/Open Space under the PUD (see Exhibit 5). This location is one of three potential over/underpass sites called out in the Outline Plan. The pedestrian trail is triggered when one of the three locations is 50% developed. If this development plan is approved, this development would put area B-2 at 49.2% developed (see Exhibit 6).

The petitioner is proposing to amend the 2012 infrastructure plan to remove a sidewalk that ran parallel

with the SR 46 on lots 5, 6A, and 3. This sidewalk wasn't constructed on lot 5 when the Hospital/Wellness use was approved in 2020. Planning staff and the petitioner met and spoke regarding the pedestrian SR46 trail connection. The petitioner expressed interests in re-evaluating the remaining road and trail connections required under the North Park PUD with Planning and Parks and Recreation staff to bring forward a possible outline plan amendment. If pursued, this would come before the Plan Commission and County Commissioners at a future date.

### ***UTILITIES***

The petitioner has provided capacity letters for all utilities on site. The proposed development have access to water (City of Bloomington Utilities), gas (Vectren), electricity (Duke Energy), and sewer (South Central Regional Sewer District). The regional sewer district plant is located immediately east of Stout's Creek on the east side of State Road 46.

Duke Energy has aerial transmission lines on-site within a 100' easement. A capacity letter has been provided by the petitioner. The petitioner has filed a final plat amendment to merge the Lot 3A and Lot 6 together (into lot 6A), as well as to remove the previously platted 10' easement under the Duke Energy aerial powerlines.

### ***STORMWATER FACILITIES***

The petitioner was reviewed by the Drainage Board on February 1, 2024. The project site drains from south to north towards a tributary of Stouts Creek. Modifications to the existing regional detention pond are proposed to increase capacity (see image under Open Space, or Exhibit 5).

Preliminary Drainage Comments: Drainage Easements/Infrastructure:

1. All stormwater infrastructure outside the public right-of-way will be placed in drainage easements.
2. There is existing storm sewer on site that will be utilized. As-built inverts and pipe size/materials are provided. Verify condition of existing infrastructure.
3. There is existing corrugated plastic pipe in the right-of-way.
4. No new storm infrastructure is shown on the conceptual plans yet, but I am assuming runoff from all new impervious surface will be routed to the pond? Adequacy of Outlet:
5. The detention pond discharges to a tributary to Stouts Creek.
6. Not located in a critical watershed. Release Rates/WQv:
7. Can the pond modifications meet the 0.9 and 0.5 cfs/acre release rates for the 1% and 10% AEP events? - 0.5" WQv provided.

Responses to the MS4 Coordinator's comments have not been addressed.

### ***SITE PICTURES***



Photo 1. 2020 Eagleview pictometry.

#### **COMPREHENSIVE PLAN DISCUSSION**

The petition site is located within the **Employment** designation of the Monroe County Urbanizing Area plan. Since this petition does not involve an Outline Plan Amendment at this time, the evaluation criteria is limited to the standards under the North Park Ordinance.

# NORTH PARK-OFFICE STATE ROAD 46 SUBDIVISION (TRACT B-2, PARCEL 1) LOT 4 AMENDMENT ONE

## FINAL PLAT BLOOMINGTON & RICHLAND TOWNSHIPS

**FLOOD NOTE**  
ACCORDING TO FIRM COMMUNITY-PANEL NUMBER 16105C 01260 MAP REVISED DECEMBER 17, 2010 SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA SOURCE: FEMA FIA

DULY ENTERED  
FOR TAXATION  
SEP 09 2015

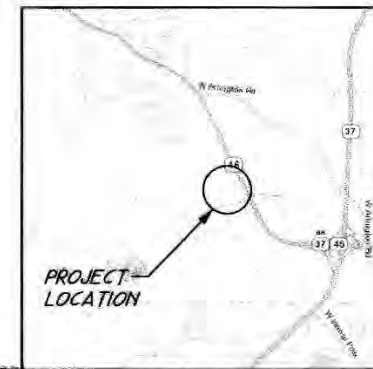
Auditor Monroe County, Ind.

Other General Conditions Applicable to all Use Areas:

- All accessory structures shall adhere to the setback standards identified in the Exhibit and shall be included in the FAR calculation
- Chimneys, spires, flagpoles, etc. are exempt from the height limitations established in the Exhibit
- Architectural features, awnings, canopies, bay windows, chimneys, fire escapes, porches, steps, patios, decks, etc. are allowed to encroach into any required setback areas up to 6 feet
- Driveways, curbs, sidewalks, fences, retaining walls, hedges, flagpoles, landscaping features, planting boxes, recreation features and equipment, refuse disposal facilities, etc. can be located in any yard subject to any applicable provisions regarding screening, landscaping, sight triangle, etc. as established in this PUD Ordinance
- On any corner lot, a wall, fence, sign, structure, display of merchandise, plant growth, etc. which obstructs sight lines of elevations between two and one-half (2 1/2) feet and ten (10) feet above the crown of the adjacent roadway shall not be placed or maintained within a triangle of the area of the lot twenty-five (25) feet from the street right of way at intersections
- Temporary outdoor displays of merchandise, that is merchandise on display for thirty (30) days or fewer may encroach into the required setback by no more than ten (10) feet
- Permanent outdoor displays of merchandise that is merchandise on display for more than thirty (30) days shall conform to the required setbacks for the use area

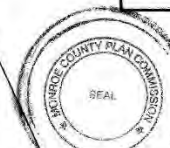
NOTE: THIS PROPERTY IS PART OF THE NORTH PARK PUD

| BUILDING SETBACK TABLE (PUD ZONING) | PUD ZONING   |              |              |        |
|-------------------------------------|--------------|--------------|--------------|--------|
|                                     | FRONT YARD   | SIDE YARD    | REAR YARD    | F.A.R. |
| ALL LOCAL STREETS & CURRY PIKE      | 15' FROM R/W | 5'           | 15'          | 3.0    |
| STATE ROAD 46                       | 35' FROM R/W | 35' FROM R/W | 35' FROM R/W |        |

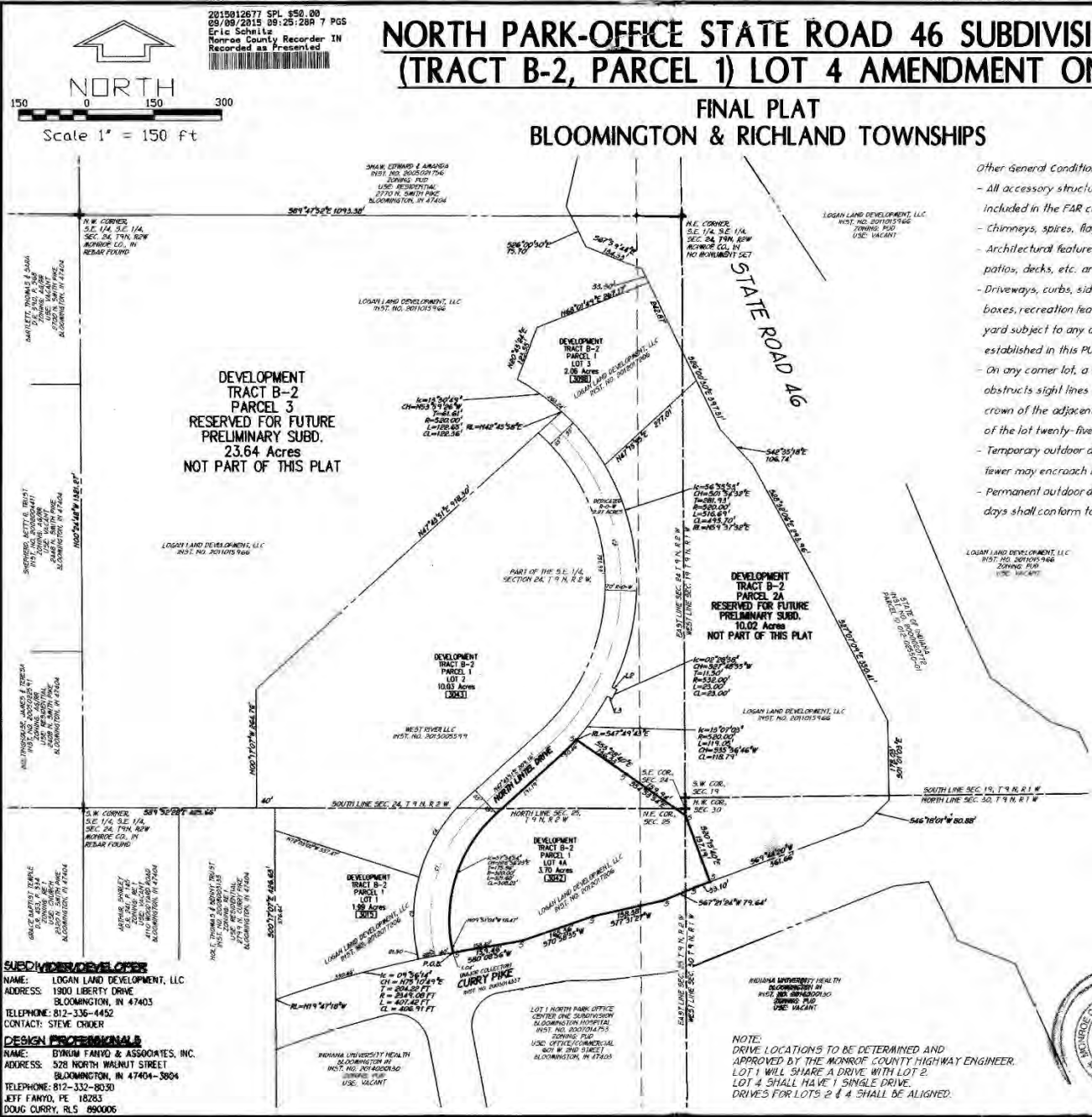


LOCATION MAP

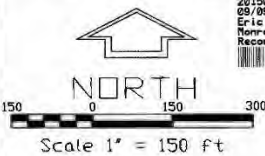
NORTH PARK-OFFICE STATE ROAD 46  
SUBDIVISION (TRACT B-2, PARCEL 1)  
LOT 4 AMENDMENT ONE  
FINAL PLAT  
DATED: MAY 4, 2015  
SHEET 1 OF 7  
JOB. NO. 401525



NOTE:  
DRIVE LOCATIONS TO BE DETERMINED AND APPROVED BY THE MONROE COUNTY HIGHWAY ENGINEER.  
LOT 1 WILL SHARE A DRIVE WITH LOT 2.  
LOT 4 SHALL HAVE 1 SINGLE DRIVE.  
DRIVES FOR LOTS 2 & 4 SHALL BE ALIGNED.



2015012677 SPL \$50.00  
03/08/2015 09:25:28 7 PGS  
Eric Scheitz  
Monroe County Recorder IN  
Recorded as Presented



**SUBMITTER/DEVELOPER**  
NAME: LOGAN LAND DEVELOPMENT, LLC  
ADDRESS: 1900 LIBERTY DRIVE  
BLOOMINGTON, IN 47403  
TELEPHONE: 812-336-4452  
CONTACT: STEVE CHODER

**DESIGN PROFESSIONALS**  
NAME: BYNUM FANTO & ASSOCIATES, INC.  
ADDRESS: 528 NORTH WALNUT STREET  
BLOOMINGTON, IN 47404-3804  
TELEPHONE: 812-332-8030  
JEFF FANTO, PE 18283  
DOUG CURRY, RLS 090006

EXHIBIT 2: North Park-Office State Road 46 (Tract B-2 Parcel 2A & 3) Final Plat, instrument 2020018755

INSTRUMENT NO.

PLAT CABINET

ENVELOPE

**SUBDIVIDER/DEVELOPER**  
 NAME: LOGAN LAND DEVELOPMENT, LLC  
 ADDRESS: 1900 LIBERTY DRIVE  
 BLOOMINGTON, IN 47403  
 TELEPHONE: 812-336-4452  
 CONTACT: STEVE ORDER

**DESIGN PROFESSIONALS**  
 NAME: BYNUM FANYO & ASSOCIATES, INC.  
 ADDRESS: 528 NORTH WALNUT STREET  
 BLOOMINGTON, IN 47404-3804  
 TELEPHONE: 812-332-8930  
 JEFF FANYO, PE 18283  
 CHARLES D. GRAHAM, RLS 9500014

2020018755 SPL \$39.00  
 11/09/2020 01:03:16P 3 PGS  
 Eric Schmitz  
 Monroe County Recorder IN  
 Recorded as Presented

DULY ENTERED  
 FOR TAXATION  
 NOV 06 2020

**NORTH PARK-OFFICE STATE ROAD 46 SUBDIVISION  
 (TRACT B-2, PARCEL 2A & 3)**

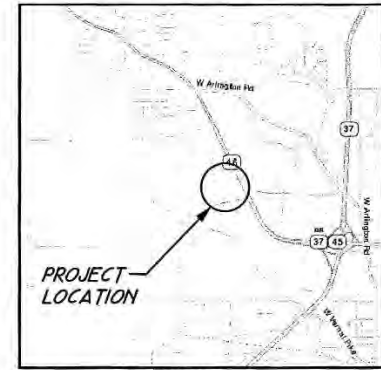
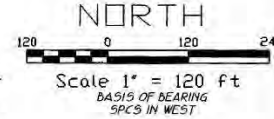
**FINAL PLAT  
 BLOOMINGTON & RICHLAND TOWNSHIPS**

LOGAN LAND DEVELOPMENT, LLC  
 INST. NO. 201015966  
 ZONING: PUD  
 USE: VACANT

NOTE: THIS PROPERTY IS PART  
 OF THE NORTH PARK PUD

**BUILDING SETBACK TABLE (PUD ZONING)**

|                                | FRONT YARD   | SIDE YARD    | REAR YARD    | F.A.R. |
|--------------------------------|--------------|--------------|--------------|--------|
| ALL LOCAL STREETS & CURRY PIKE | 15' FROM R/W | 5'           | 15'          | 3.0    |
| STATE ROAD 46                  | 35' FROM R/W | 35' FROM R/W | 35' FROM R/W |        |



I affirm under penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.  
 Charles D. Graham  
 This instrument prepared by Charles D. Graham

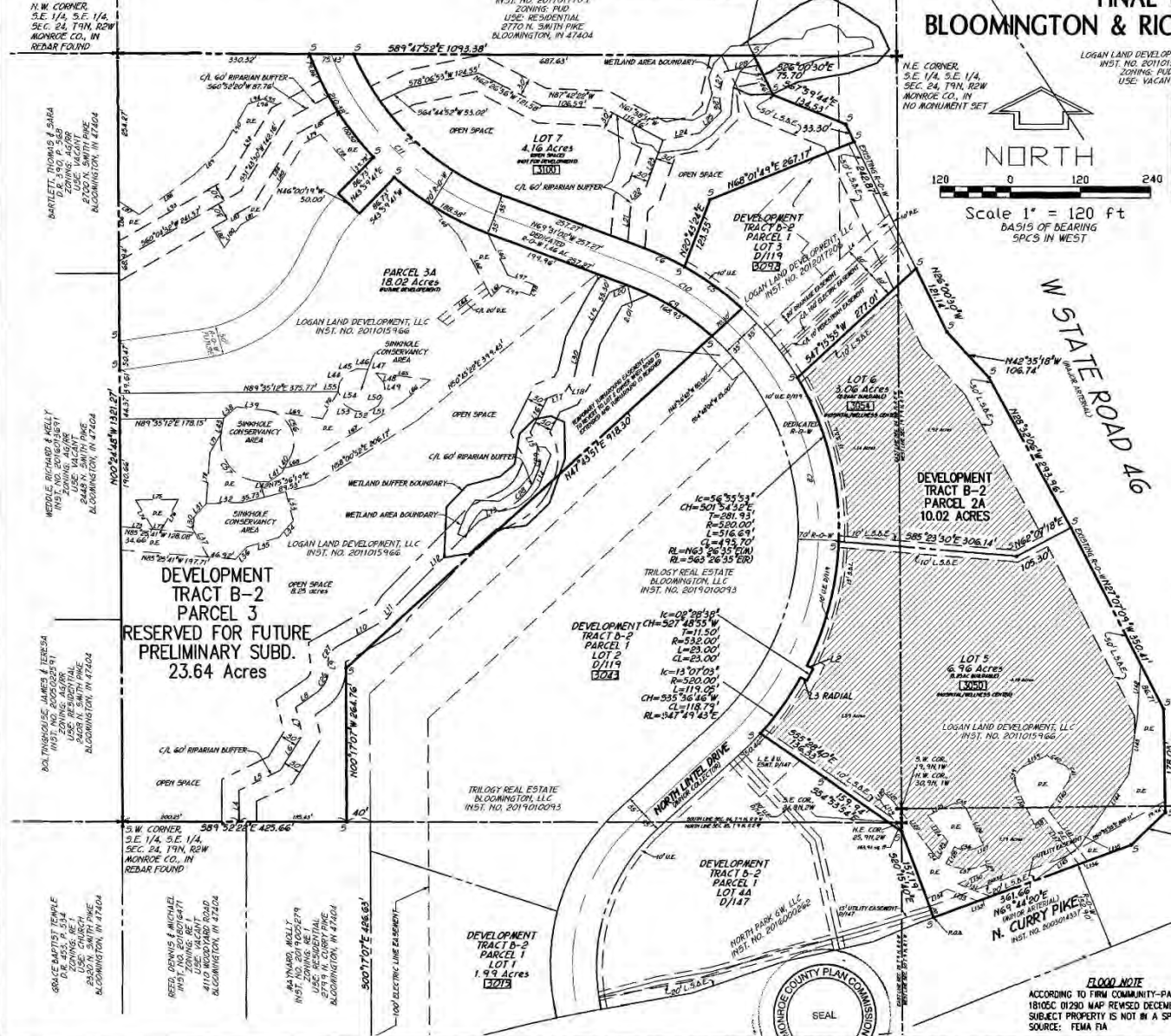
**LEGEND**

|                               |     |
|-------------------------------|-----|
| PROPERTY LINE                 | --- |
| EASEMENT LINE                 | --- |
| GRESS AND EGRESS EASEMENT     | --- |
| UTILITY EASEMENT              | --- |
| DRAINAGE EASEMENT             | --- |
| DRAINAGE AND UTILITY EASEMENT | --- |
| PEDESTRIAN EASEMENT           | --- |
| LANDSCAPE BUFFER EASEMENT     | --- |
| FEED RECORD BOOK AND PAGE     | --- |
| 5/8" REBAR WITH CAP SET       | --- |
| MAX MAX SET                   | --- |
| RECORD                        | --- |
| MEASURED                      | --- |
| POINT-OF-ORIGIN               | --- |
| ADJACENT                      | --- |
| MULTIPLE AREA                 | --- |

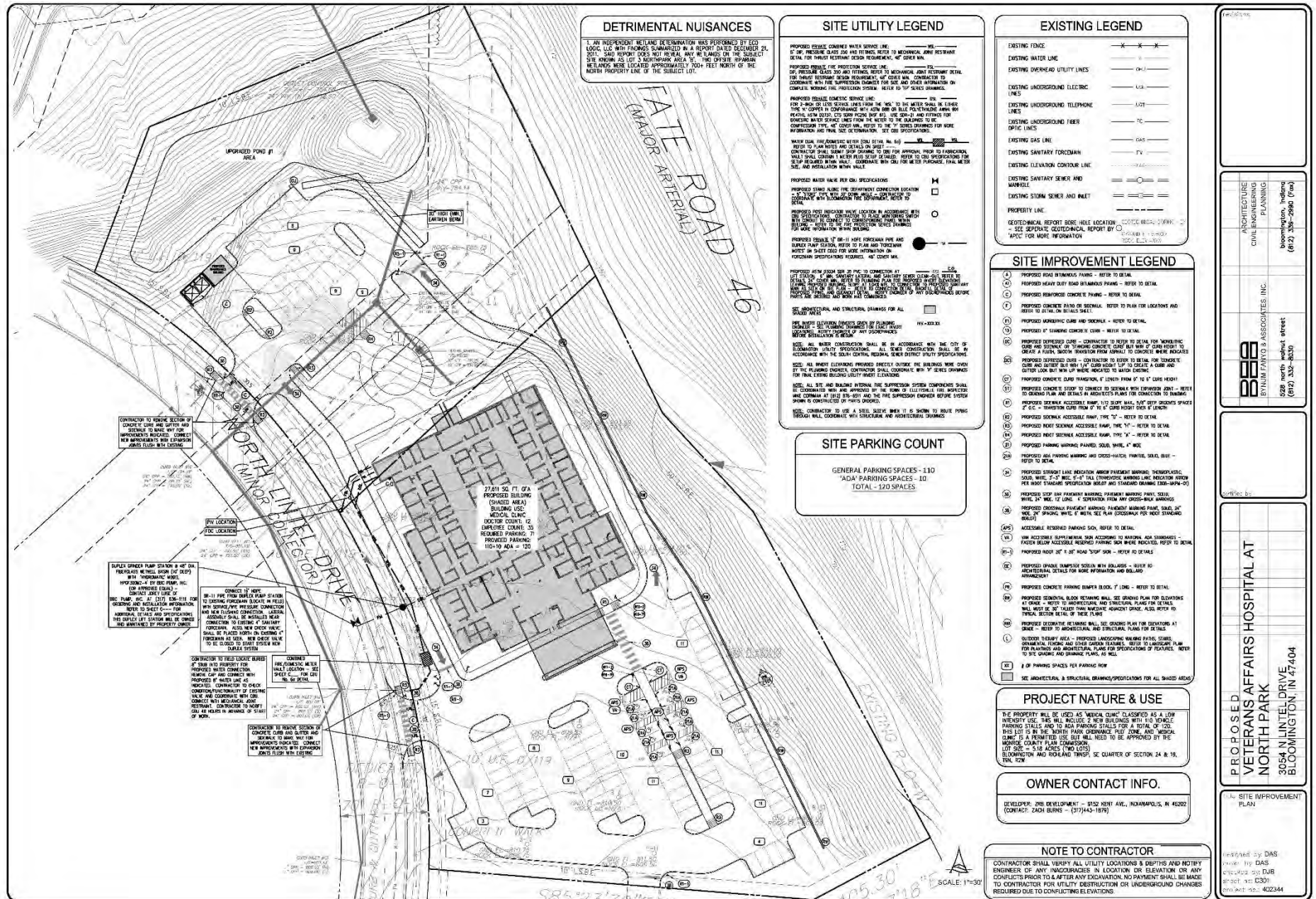
NOTE:  
 DRIVE LOCATIONS TO BE DETERMINED AND  
 APPROVED BY THE MONROE COUNTY HIGHWAY ENGINEER.

**NORTH PARK-OFFICE STATE ROAD 46  
 SUBDIVISION (TRACT B-2, PARCEL 2A & 3)  
 FINAL PLAT  
 DATED: FEBRUARY 18, 2020  
 SHEET 1 OF 3  
 JOB. NO. 402004**

PREPARED BY BYNUM FANYO & ASSOCIATES INC. 528 N. WALNUT ST. BLOOMINGTON, IN. 47404



**EXHIBIT 3: U.S. Dept. of Veteran's Affairs Outpatient Clinic Development Plan Link**



**DETRIMENTAL NUISANCES**

1. AN INSTRUMENTAL RELIANCE DETERMINATION WAS PERFORMED BY EEO LOGIC LLC WITH FINDINGS SUMMARIZED IN A REPORT DATED DECEMBER 01, 2011. SAID REPORT DOES NOT REVEAL ANY RELIANCES ON THE SUBJECT SITE KNOWN AS OF 2 ADJACENT AREAS. THE LISTED SPANISH WELLS ARE LOCATED APPROXIMATELY 700+ FEET NORTH OF THE NORTH PROPERTY LINE OF THE SUBJECT LOT.

**SITE UTILITY LEGEND**

PROPOSED EXISTING CONCRETE WATER SERVICE LINE - WS  
 12" OR GREATER CLASS AND FITTINGS REFER TO MECHANICAL JUNE RESTRAINT DETAIL FOR THREAT RESTRAINT DESIGN REQUIREMENTS, 48" COVER MIN.

PROPOSED EXISTING PROTECTION SERVICE LINE - PS  
 6" OR GREATER CLASS AND FITTINGS REFER TO MECHANICAL JUNE RESTRAINT DETAIL FOR THREAT RESTRAINT DESIGN REQUIREMENTS, 48" COVER MIN. CONTRACTOR TO COORDINATE WITH FIRE SUPPRESSION CONTRACTOR FOR SIZE AND COVER INFORMATION ON COMPLETE WORKING FILE. PROTECTION SERVICE LINE TO 12" SERIES DRAINAGE.

PROPOSED EXISTING CONCRETE SERVICE LINE - CS  
 FOR 2" MAX. 02.00 SLOPE. SERVICE LINES SHALL BE 18" TO THE CENTER SHALL BE LINED WITH 4" COVER. PROTECTION SERVICE LINE SHALL BE 18" TO THE CENTER SHALL BE LINED WITH 18" COVER. 22.5% SLOPE (RIP 80). USE 200-4 AND FITTINGS FOR EXISTING WATER SERVICE CONTRACTOR TO COORDINATE WITH FIRE SUPPRESSION CONTRACTOR FOR SIZE AND COVER INFORMATION ON COMPLETE WORKING FILE. PROTECTION SERVICE LINE TO 12" SERIES DRAINAGE FOR MORE INFORMATION REFER TO THE USE OF THE DETAIL. REFER TO PLAN NOTES AND DETAILS ON SHEET CONTRACTOR SHALL VERIFY COVER DEPTH FOR APPROVAL FROM THE FABRICATOR. WALL SHALL CONTAIN 1" REBAR PLUS 2" STIFF GRADE. REFER TO THE SPECIFICATIONS FOR 2" STIFF GRADE WITH WALL. COORDINATE WITH GUY FOR RETE FOUNDATION. FINAL BE SIZE, AND INSTALLATION WITH WALL.

PROPOSED WATER MAIN PER OCM SPECIFICATIONS  
 PROPOSED STORM MAIN PER THE APPLICABLE CONNECTION DETAIL - SC-1000. REFER TO THE APPLICABLE CONNECTION DETAIL FOR MORE INFORMATION ON THE DETAIL.

PROPOSED 2"00 MINIMUM MAIN LAYOUT IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR TO PLACE WORKING SWITCH WITH LAYOUT TO BE COORDINATED WITH THE CITY OF BLOOMINGTON. REFER TO THE CITY OF BLOOMINGTON FOR MORE INFORMATION ON THE DETAIL.

PROPOSED 2"00 MINIMUM MAIN LAYOUT IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR TO PLACE WORKING SWITCH WITH LAYOUT TO BE COORDINATED WITH THE CITY OF BLOOMINGTON. REFER TO THE CITY OF BLOOMINGTON FOR MORE INFORMATION ON THE DETAIL.

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**EXISTING LEGEND**

EXISTING FENCE - X X X X

EXISTING WATER LINE - W

EXISTING OVERHEAD UTILITY LINES - OH

EXISTING UNDERGROUND ELECTRIC LINES - UL

EXISTING UNDERGROUND TELEPHONE LINES - TL

EXISTING UNDERGROUND FIBER OPTIC LINES - FO

EXISTING GAS LINE - GAS

EXISTING SANITARY FORCEMAIN - TV

EXISTING ELEVATION CONTOUR LINE - ELEV

EXISTING SANITARY SEWER AND MANHOLE - S

EXISTING STORM SEWER AND MANHOLE - SM

PROPERTY LINE - PL

GEOTECHNICAL REPORT BORE HOLE LOCATION - GEOTECH (SEE SPECIFIC REPORT BY OCM) - SEE SEPARATE GEOTECHNICAL REPORT BY OCM FOR MORE INFORMATION

**SITE IMPROVEMENT LEGEND**

(A) PROPOSED ROAD BERM/PAVING - REFER TO DETAIL

(B) PROPOSED HEAVY DUTY ROAD BERM/PAVING - REFER TO DETAIL

(C) PROPOSED REINFORCED CONCRETE PAVING - REFER TO DETAIL

(D) PROPOSED CONCRETE PAVING ON SEWER/STORM - REFER TO PLAN FOR LOCATIONS AND REFER TO DETAIL ON DETAIL SHEET

(E) PROPOSED ASPHALTIC CURB AND SIDEWALK - REFER TO DETAIL

(F) PROPOSED 2" STANDING CONCRETE CURB - REFER TO DETAIL

(G) PROPOSED IMPROVED CURB - CONTRACTOR TO REFER TO DETAIL FOR WORKING DRAWING AND DETAILS. CONTRACTOR TO REFER TO DETAIL FOR CONCRETE CURB AND DETAILS. 18" 1" 1" CURB HEIGHT UP TO 18" CURB HEIGHT. 18" 1" 1" CURB HEIGHT UP TO 18" CURB HEIGHT. 18" 1" 1" CURB HEIGHT UP TO 18" CURB HEIGHT.

(H) PROPOSED CONCRETE CURB TRANSITION, 4" LENGTH FROM 4" TO 18" CURB HEIGHT

(I) PROPOSED CONCRETE STOP TO CONCRETE TO SIDEWALK WITH EXPANSION JOINT - REFER TO DETAIL PLAN AND DETAILS. CONTRACTOR TO REFER TO DETAIL FOR WORKING DRAWING AND DETAILS. CONTRACTOR TO REFER TO DETAIL FOR CONCRETE CURB AND DETAILS. 18" 1" 1" CURB HEIGHT UP TO 18" CURB HEIGHT. 18" 1" 1" CURB HEIGHT UP TO 18" CURB HEIGHT.

(J) PROPOSED NEXT SIGNAGE ACCESSIBLE RAMP, TYPE "X" - REFER TO DETAIL

(K) PROPOSED PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(L) PROPOSED ADA PARKING MARKING AND CROSS-HATCH PAVING, SOLID, BLUE - REFER TO DETAIL

(M) PROPOSED ASPHALT PAVING WITH CURB AND CROSS-HATCH PAVING, SOLID, BLUE, TYPE "X" - REFER TO DETAIL

(N) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(O) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(P) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(Q) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(R) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(S) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(T) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(U) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(V) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(W) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(X) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(Y) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

(Z) PROPOSED STOP AND PARKING MARKING, PAVED, SOLID, WHITE, 4" WIDE

**SITE PARKING COUNT**

GENERAL PARKING SPACES - 110  
 ADA PARKING SPACES - 10  
 TOTAL - 120 SPACES

**PROJECT NATURE & USE**

THE PROPERTY WILL BE USED AS "MEDICAL CLINIC" CLASSIFIED AS A LOW INTENSITY USE. THIS WILL INCLUDE 2 NEW BUILDINGS WITH 100 VEHICLE PARKING STALLS AND 10 ADA PARKING STALLS FOR A TOTAL OF 110. THIS LOT IS IN THE NORTH PARK ORDINANCE ZONE. AND MEDICAL CLINIC IS A PERMITTED USE BUT WILL NEED TO BE APPROVED BY THE MONITOR PLAN COMMISSION. THE TOTAL AREA OF THE PROJECT IS 5.18 ACRES (700 LOTS) BLOOMINGTON AND HIGHLAND TOWNSHIP, SE QUARTER OF SECTION 24 & 18, T1N, R2W.

**OWNER CONTACT INFO.**

DEVELOPER: OHS DEVELOPMENT - 3122 KENT AVE., INDIANAPOLIS, IN 46202  
 CONTACT: ZACH BURIS - (317) 443-1879

**NOTE TO CONTRACTOR**

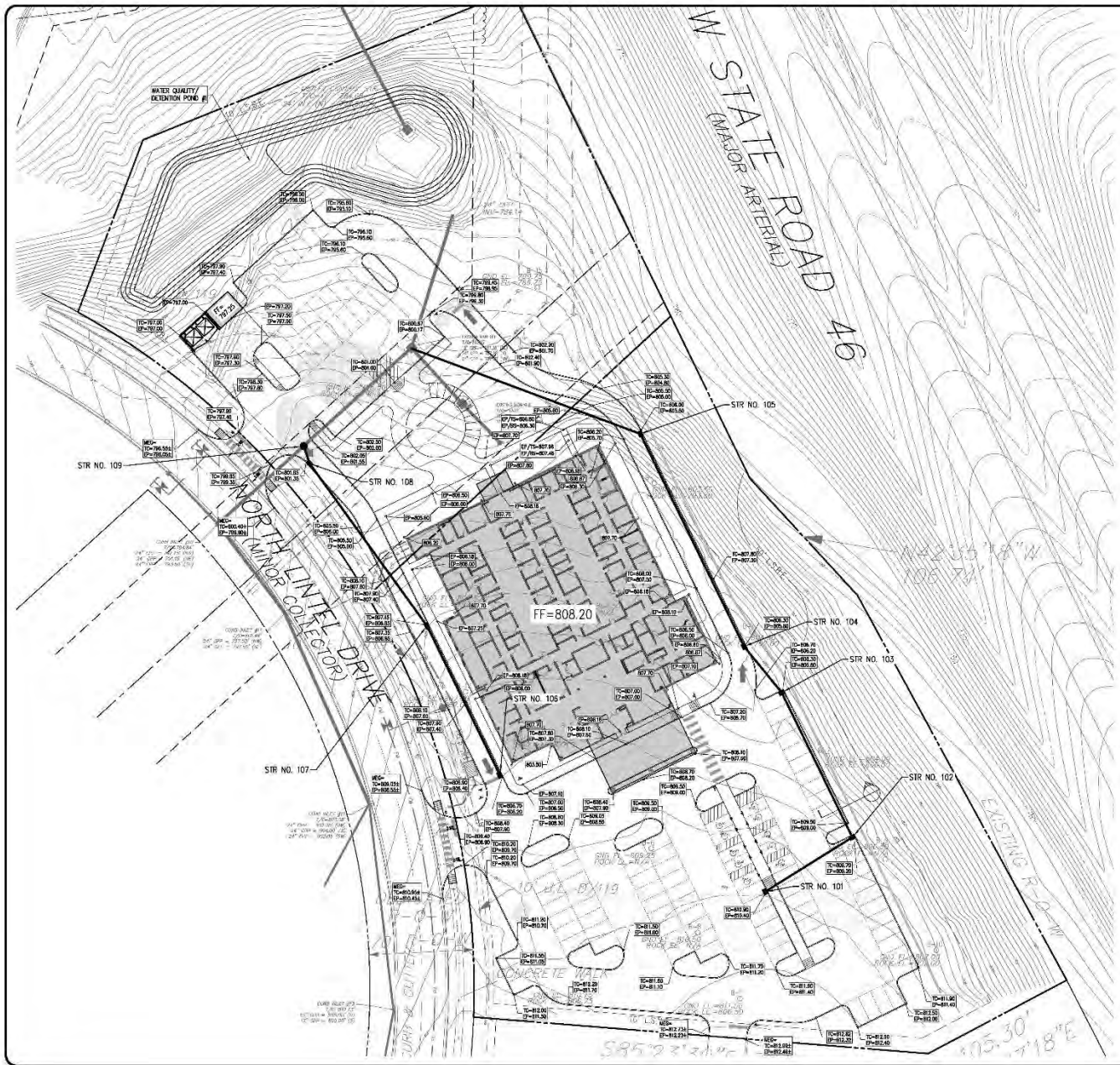
CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INACCURACIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING

**BBS**  
 BENTLEY PARTNERS & ASSOCIATES, INC.  
 528 north indiana street  
 (812) 332-8830

PROPOSED  
 VETERANS AFFAIRS HOSPITAL AT  
 NORTH PARK  
 3054 N LINTEL DRIVE  
 BLOOMINGTON, IN 47404

DATE: 01/15/2014  
 TIME: 10:00 AM  
 PROJECT NO: 402344



### EXISTING LEGEND

|  |               |
|--|---------------|
| EXISTING FENCE                         | — X — X — X — |
| EXISTING WATER LINE                    | — W —         |
| EXISTING OVERHEAD UTILITY LINES        | — O —         |
| EXISTING UNDERGROUND ELECTRIC LINES    | — UE —        |
| EXISTING UNDERGROUND TELEPHONE LINES   | — UT —        |
| EXISTING UNDERGROUND FIBER OPTIC LINES | — FO —        |
| EXISTING GAS LINE                      | — GAS —       |
| EXISTING SANITARY FORCEMAIN            | — SF —        |
| EXISTING ELEVATION CONTOUR LINE        | — 10 —        |
| EXISTING SANITARY SEWER AND MANHOLE    | — S —         |
| EXISTING STORM SEWER AND INLET         | — ST —        |
| PROPERTY LINE                          | — P —         |

GEOTECHNICAL REPORT BORE HOLE LOCATION  
 - SEE SEPARATE GEOTECHNICAL REPORT BY [Redacted]  
 - SPEC FOR MORE INFORMATION [Redacted]

### GRADING/DRAINAGE LEGEND

|   |            |
|---|------------|
| EXISTING CONTOUR  | — 10 —     |
| PROPOSED CONTOUR  | — 10 —     |
| PROPOSED FINISHED FLOOR ELEVATION   | FF=808.20  |
| PROPOSED SPOT GRADE ELEVATION   | 808.00     |
| TOP PROPOSED TOP OF CURB ELEVATION<br>(=PROPOSED EDGE OF PAVEMENT ELEVATION<br>AS NOTED ON SHEET) | TC=808.00  |
| TOP PROPOSED TOP OF WALL ELEVATION AT SEWER<br>(=PROPOSED BOTTOM OF WALL ELEVATION AT GRADE)      | TW=808.00  |
| FRESH FLOOR ELEVATION   | FF=808.00  |
| FRESH EDGE OF PAVEMENT AT GRADE   | EP=808.00  |
| WALL TOP FINISHED GRADE ELEVATION AT CURB<br>CORNER. NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES   | WEC=808.00 |

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 10  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 2  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 3  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 4  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 5  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 6  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 7  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 8  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 9  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 10  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 11  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 12  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 13  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 14  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 15  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 16  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 17  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 18  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 19  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 20  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 21  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 22  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 23  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 24  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 25  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 26  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 27  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 28  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 29  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

PROPOSED STORM PUMP AND WELL/AUGERED WELL NO. 30  
 PLAN OR FULL SECTION AND DETAILS FOR SCHEDULE  
 SPECIFICATIONS WILL BE FURNISHED SPECIFYING PUMP  
 MAKE, MODEL, CAPACITY

**NOTE:**  
 GEOTECHNICAL REPORT DEVELOPED BY 'APWC', 6155 WEST 400 NORTH, GREENFIELD, INDIANA 46140 AND CERTIFIED BY DONALD J HUBBARD AND ADAM M. COLLINS ON 11.10.23 IS BY REFERENCE MADE A PART OF THESE PLANS. CONTRACTOR TO FOLLOW RECOMMENDATIONS IN GEOTECHNICAL REPORT IN RELATION TO THESE GRADING PLANS AND NEW BUILDINGS TO BE PLACED. REFER TO STRUCTURAL PLANS AS RELATED TO THE GEOTECHNICAL REPORT AS WELL. STRUCTURAL PLANS NOT A PART OF THIS PLAN SET

**NOTE TO CONTRACTOR**  
 CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS & DEPTHS AND NOTIFY ENGINEER OF ANY INCONGRUITIES IN LOCATION OR ELEVATION OR ANY CONFLICTS PRIOR TO & AFTER ANY EXCAVATION. NO PAYMENT SHALL BE MADE TO CONTRACTOR FOR UTILITY DESTRUCTION OR UNDERGROUND CHANGES REQUIRED DUE TO CONFLICTING ELEVATIONS.

ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING

**BBB**  
 BRYUM FANNING & ASSOCIATES, INC.  
 528 north linell street  
 (812) 332-8030

PROPOSED  
 VETERANS AFFAIRS HOSPITAL AT  
 NORTH PARK  
 3054 N LINELL DRIVE  
 BLOOMINGTON, IN 47404

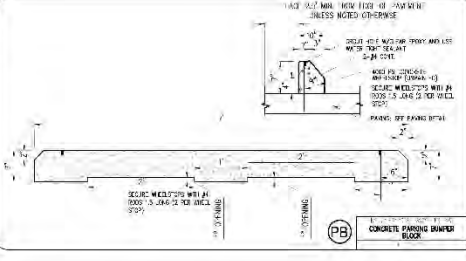
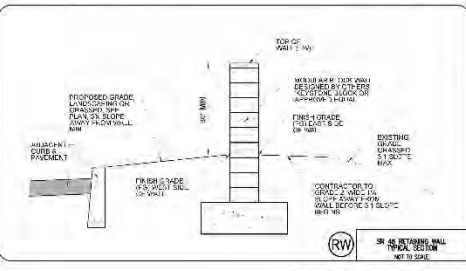
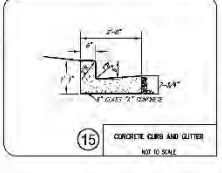
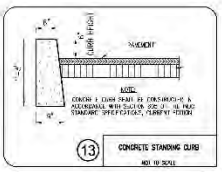
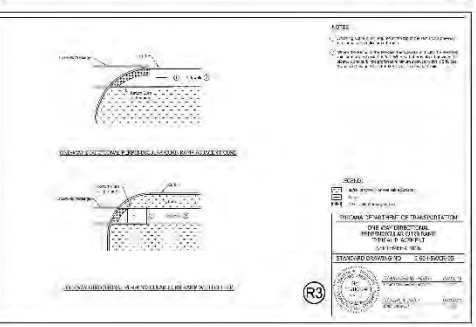
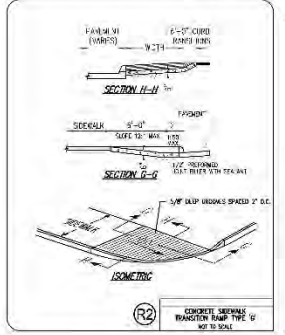
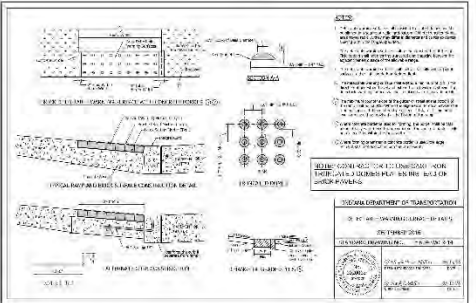
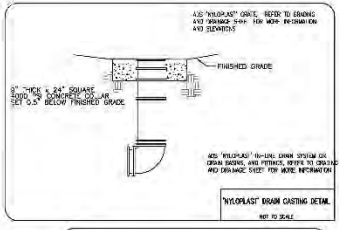
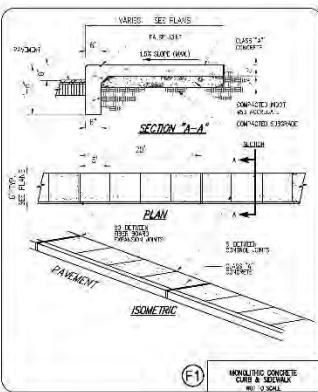
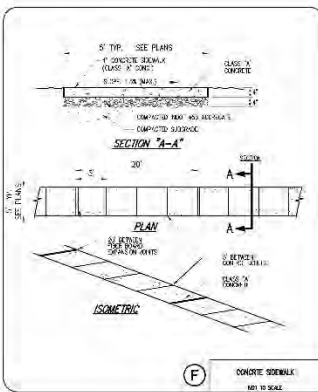
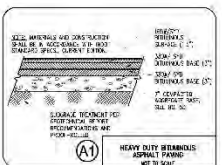
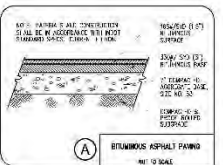
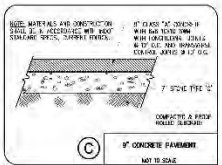
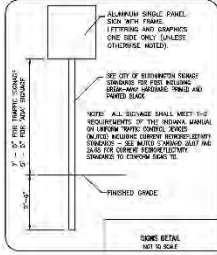
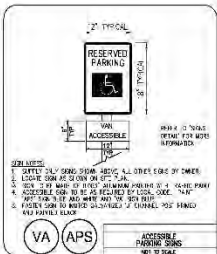
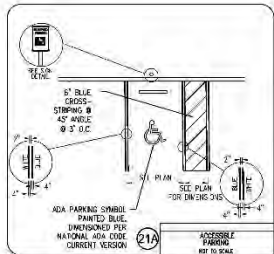
SITE GRADING &  
 DRAINAGE PLAN

DJB  
 DJB  
 Checked by JSP  
 11/10/23  
 11/10/23  
 11/10/23  
 11/10/23









ARCHITECTURE  
CIVIL ENGINEERING  
PLANNING  
BENJAMIN FRANKLIN ASSOCIATES, INC.  
505 North Walnut Street  
Bloomington, Indiana  
(812) 336-2800  
FAX (812) 336-2800

DESIGNED BY  
DUB

PROPOSED  
VETERANS AFFAIRS HOSPITAL AT  
NORTH PARK  
3054 N. UNTEL DRIVE  
BLOOMINGTON, IN 47404

MISCELLANEOUS  
SITE DETAILS  
DESIGNED BY: DUB  
CHECKED BY: DJB  
ISSUED TO: CDD1  
PROJECT NO.: 402344

PARCEL 1 TRACT B-2  
JOB No. 401044

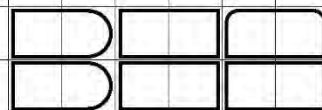
# PROPOSED: INFRASTRUCTURE PLAN DEVELOPMENT TRACT B-2, PARCELS 2 & 3 OF THE NORTH PARK DEVELOPMENT TRACT PLAT



VICINITY/LOCATION MAP  
SCALE: 1"=2000'

BLOOMINGTON, INDIANA

| UTILITY CONTACT INFORMATION   |   |  |  |
|---|---|--|--|
| <b>GAS</b><br>KEYVEN<br>105 N. WALNUT ST.<br>BLOOMINGTON, IN 47401<br>DUGL ANDERSON (812)332-4400 | <b>WATER</b><br>CITY OF BLOOMINGTON UTILITIES<br>105 N. WALNUT ST.<br>BLOOMINGTON, IN 47401<br>MARCY ANDERSON (812)332-3000 | <b>ELECTRIC</b><br>DUKE ENERGY<br>105 N. WALNUT ST.<br>BLOOMINGTON, IN 47401<br>JAN SHEETS (317)719-2077 | <b>SEWER</b><br>SINTEC CENTRAL REGIONAL SEWER DISTRICT<br>P.O. BOX 202<br>BLOOMINGTON, INDIANA 47402<br>TICK COFFMAN (812)332-3007 |
| <b>TELEPHONE</b><br>AT&T<br>P.O. BOX 76<br>BLOOMINGTON, IN 47402<br>BRETT MAGNIE (812)332-4402    | <b>CABLE TELEVISION</b><br>COMCAST<br>3400 SOUTH WOODSON STREET<br>BLOOMINGTON, IN 47408<br>SCOTT TUMULTON (812)332-1822    | <b>UNDERGROUND UTILITY LOCATION</b><br>NORMAL UNDERGROUND<br>PLANT PROTECTION<br>1-1 (800)844-3444       |  |



**BYNUM FANYO & ASSOCIATES, INC.**  
528 North Walnut Street  
Bloomington, Indiana 47404 (812) 332-8030

| INDEX     |  |
|-----------|--|
| SHEET NO. | SHEET NO.  |
| 1-2       | INFRASTRUCTURE PLAN OVERVIEW WITH MATCHLINES FOR LOCATIONS |
| 2A - 2B   | DETAILS  |
| 3         | ROAD R-1 PLAN AND PROFILE                                  |
| 4         | SWPPP  |
| 5         | SWPPP INFORMATION  |
| 6 & 7     | SWPPP DETAILS  |
| 8         | WATER MAIN PLAN & PROFILE                                  |

architecture  
civil engineering  
planning

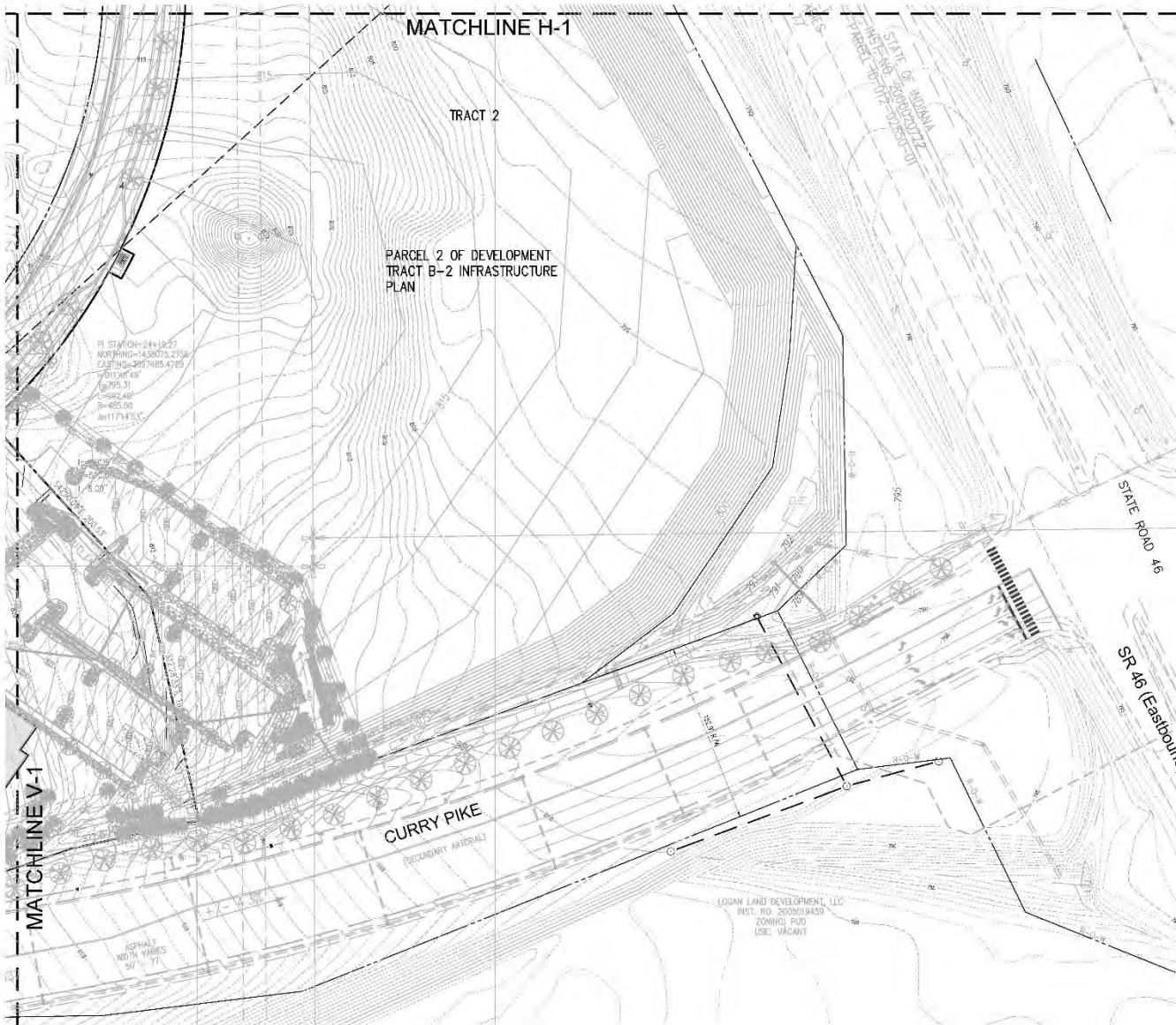
OWNER/DEVELOPER  
LOGAN LAND DEVELOPMENT LLC  
1900 LIBERTY DRIVE  
BLOOMINGTON, INDIANA 47403

THE CURRENT EDITION OF THE INDIANA DEPARTMENT OF TRANSPORTATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & CITY OF BLOOMINGTON UTILITIES STANDARD SPECIFICATIONS IS TO BE USED WITH THESE PLANS



certified by:  
*Jeffrey S. Fanyo*  
JEFFREY S. FANYO, P.E.  
IND. REG. NO. 18283

revisions  
1-6-12 Name Change Planning Committee  
2-6-12 Name Change Planning Committee  
3-6-12 Name Change Planning Committee  
5-22-12 Parcel #, Lot #& Subdivision  
PROPOSED: INFRASTRUCTURE PLAN - DEVELOPMENT  
TRACT B-2 OF THE NORTH PARK ADMINISTRATIVE SUBDIVISION  
JOB No. 401044



### SITE LEGEND

|       |  |
|-------|--|
| (S)   | PROPOSED BITUMINOUS PAVING                   |
| (A)   | PROPOSED ASPHALT SIDEPAH                     |
| (C)   | PROPOSED CONCRETE CURB AND GUTTER            |
| (W)   | PROPOSED CONCRETE SIDEWALK                   |
| (R)   | PROPOSED ACCESSIBLE RAMP, TYPE "C"           |
| (S)   | PROPOSED STOP BAR                            |
| (S)   | PROPOSED MARKING: PAINTED, SOLID, YELLOW, 4" |
| (S-1) | PROPOSED "STOP" SIGN                         |

### UTILITY AND GRADING LEGEND

|   |       |
|---|-------|
| PROPOSED 10" WATER LINE   | —X—   |
| PROPOSED WATER VALVE  | —H—   |
| PROPOSED WATERLINE CAP AND VALVE  | —H—   |
| PROPOSED FIRE HYDRANT (FH)  | —H—   |
| PROPOSED WATER METER (TO BE SIZED BY THE CITY OF BLOOMINGTON UTILITIES)                         | —M—   |
| PROPOSED 8" PVC SANITARY SEWER AND SANITARY SEWER MANHOLE                                       | —S—   |
| PROPOSED 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT                                       | —S—   |
| PROPOSED SEWER PIPE, INLET AND END SECTION  | —S—   |
| PROPOSED UNDERDRAIN: SDR-35 PERFORATED DRAIN PIPE   | —U—   |
| PROPOSED SOLID SDR-35 DRAIN PIPE TO POINT OF DISCHARGE  | —U—   |
| PROPOSED SCHEDULE 40 PVC PIPE, ELECTRICAL GRADE (GREY) CONCRETE BURIED 36" BELOW FINISHED GRADE | —E—   |
| PROPOSED FLOW LINE  | —XXX— |

NOTE: ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BLOOMINGTON UTILITY SPECIFICATIONS.  
NOTE: ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CENTRAL REGIONAL SEWER DISTRICT SPECIFICATIONS.

10/23/2019  
 10/23/2019 Proposed Grading, Utilities, and Infrastructure Plan  
 10/23/2019 Proposed Grading, Utilities, and Infrastructure Plan  
 10/23/2019 Proposed Grading, Utilities, and Infrastructure Plan  
 10/23/2019 Proposed Grading, Utilities, and Infrastructure Plan  
 10/23/2019 Proposed Grading, Utilities, and Infrastructure Plan

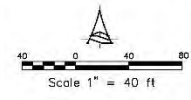
ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING  
 BLOOMINGTON, INDIANA  
 (812) 339-2960 (FAX)

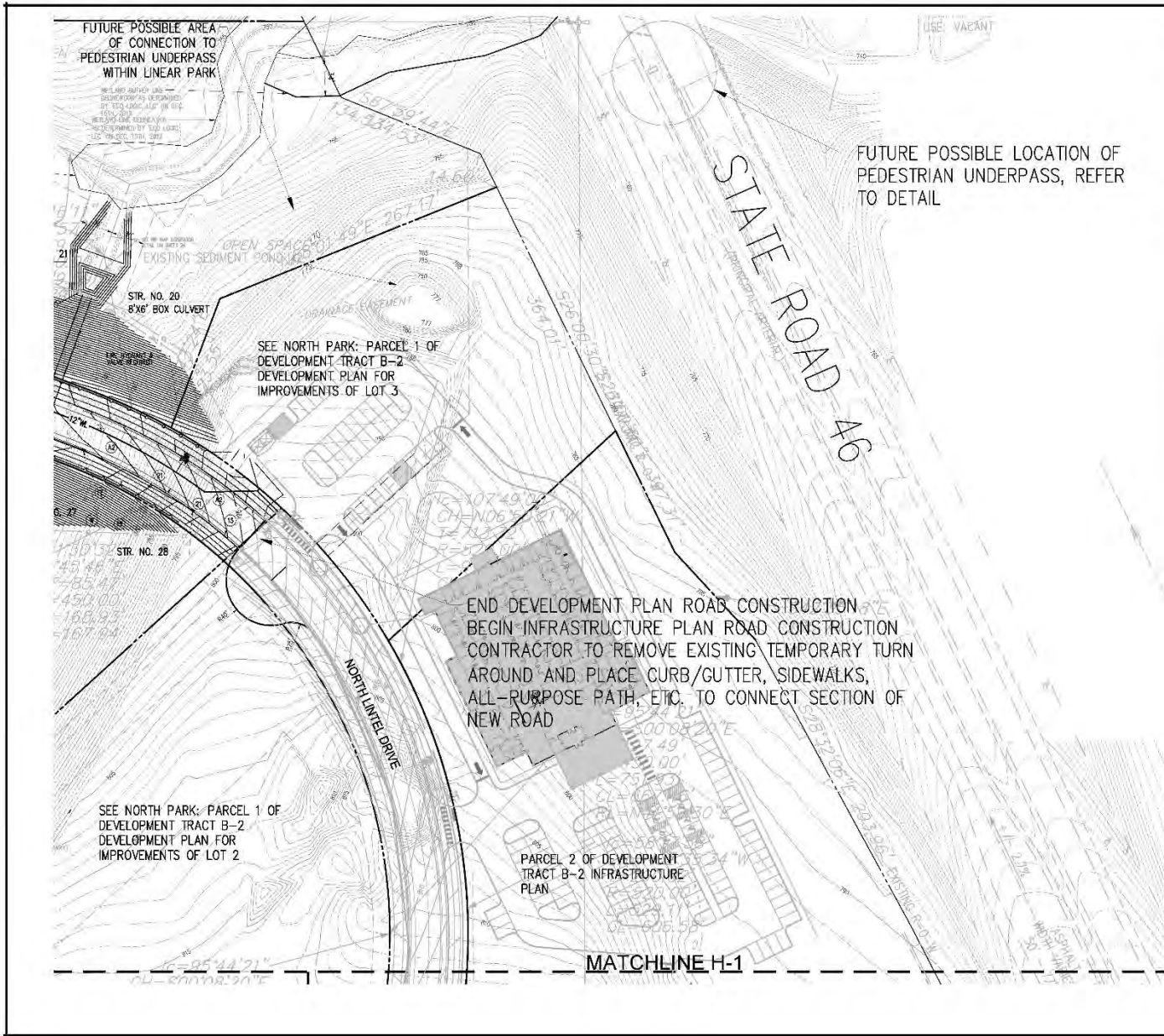
**BBB**  
 BRUNNEN FANTO & ASSOCIATES, INC.  
 528 North Walnut Street  
 Bloomington, Indiana  
 (812) 332-8030

JEFFREY S. FANTO  
 No. 18283  
 STATE OF INDIANA  
 PROFESSIONAL ENGINEER  
 11/06/2015

Proposed:  
**NORTH PARK  
 TRACT B-2 INFRASTRUCTURE PLAN**  
 Bloomington, Indiana

INFRASTRUCTURE PLAN  
 Revision: 03/20/2020  
 Author: JRF  
 Checker: JRF  
 Date: 03/20/2020  
 Project No.: 401044





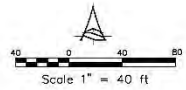
**SITE LEGEND**

- (2) PROPOSED BITUMINOUS PAVING
- (4) PROPOSED ASPHALT SIDEPAH
- (6) PROPOSED CONCRETE CURB AND GUTTER
- (7) PROPOSED CONCRETE SIDEWALK
- (8) PROPOSED ACCESSIBLE RAMP, TYPE "C"
- (9) PROPOSED STOP BAR
- (11) PROPOSED MARKING: PAINTED, SOLID, WHITE, 4"
- (R-1) PROPOSED "STOP" SIGN

**UTILITY AND GRADING LEGEND**

- PROPOSED ROCK-LINED DITCH — RC —
- PROPOSED ANMA C500 DR 14 PVC WATER LINE — C-W —
- PROPOSED WATER VALVE — W —
- PROPOSED WATERLINE CAP AND VALVE — W-C —
- PROPOSED FIRE HYDRANT (FH) — FH —
- PROPOSED WATER METER (TO BE SIZED BY THE CITY OF BLOOMINGTON UTILITIES)
- PROPOSED 8" PVC SANITARY SEWER AND SANITARY SEWER MANHOLE — LINE "S-3" —
- PROPOSED 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT — 6" SSL — C.O. —
- PROPOSED STORM PIPE, INLET AND END SECTION — S —
- PROPOSED UNDERDRAIN, SRI-35 PERFORATED DRAIN PIPE — U —
- PROPOSED SOLID SDR-35 DRAIN PIPE TO POINT OF DISCHARGE — U-S —
- PROPOSED SCHEDULE 40 PVC PIPE, ELECTRICAL GRADE (GREY) CONCRETE BURIED 3" BELOW FINISHED GRADE — E-C —
- PROPOSED CONTOUR — XXX —
- PROPOSED FLOW LINE — —

**NOTE:** ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BLOOMINGTON UTILITY SPECIFICATIONS.  
**NOTE:** ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CENTRAL REGIONAL SEWER DISTRICT SPECIFICATIONS.



11/13/2012  
 08/20/2012 Revised Project Sheet  
 08/20/2012 Added Notes, 08/20/2012  
 Added Note 08/20/12  
 02/20/2014 Revised lot 2 and removed  
 04/26/14 1st and 2nd sheet #1  
 06/26/14 1st and 2nd sheet #1  
 08/20/14 1st and 2nd sheet #1

**ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING**  
 Bloomington, Indiana  
 (812) 339-2960 (Fax)

**BEBB**  
 BRUNNEN FANTO & ASSOCIATES, INC.  
 526 North Walnut Street  
 Bloomington, Indiana  
 (812) 332-8300



**Proposed:  
 NORTH PARK  
 TRACT B-2 INFRASTRUCTURE PLAN**  
 Bloomington, Indiana


**INFRASTRUCTURE  
 PLAN**

Drawn by: JBT  
 Checked by: JBT  
 Date: 11/13/12  
 Project No.: 401044

**EXHIBIT 5: [North Park PUD Open Space, Linear Park, and Stormwater Management Plan Link](#)**


**EXHIBIT 6: Email with Petitioner regarding overpass/underpass trail**

RE: Message received about PUD-23-7: 3098 N Lintel DR

 Daniel Butler <[dbutler@bynumfanyo.com](mailto:dbutler@bynumfanyo.com)>  
 To: Anne Crecelius; Zach Burns  
 Cc: Tammy Behrman; Jacqueline N. Jelen; Jeff Fanyo

  Reply  Reply All  Forward  

Thu 12/21/2023 12:11 PM

 Click here to download pictures. To help protect your privacy, Outlook prevented automatic download of some pictures in this message.

Hi Anne,

Per our conversation this morning to follow up additional questions below, this is the standard you are looking at for the requirement of the underpass/overpass, correct:

A pedestrian overpass/underpass shall be constructed prior to approval of 50% or more single family dwelling units or 50% or more multi family dwelling units and 50% of the acreage of the SR46 Office Use Area or 50% of the acreage of the Curry Pike Industrial Use Area. This facility shall be connected into the multi-use trail.

We are not at 50% development of the SR46 USE Office yet. The SR46 Use Office total area is 53.7 acres per the ordinance. With this new VA clinic approval and development, we will have developed 26.43 acres. That equates to 49.2% within this area.

Also, we will get you documentation that the design and construction of underpass/overpass and connection is to be paid for by TIF tax money and not individual lot developers. This was to be done at the time of the triggers being met. This has been the case for other triggers including area B-2 road infrastructure requirements. (this occurred with our last approved development at area B-2 – 3050 Lintel Drive)

-Daniel

**EXHIBIT 7: Staff Review Comments of draft 1, sent 2/4**



**MONROE COUNTY PLANNING DEPARTMENT**  
 Monroe County Government Center, 501 N. Morton St., Suite 224  
 Bloomington, IN 47404  
 Telephone: (812) 349-2560 / Fax: (812) 349-2967

**STAFF PUD Development Plan Checklist**

|                          |          |                        |  |
|--------------------------|----------|------------------------|--|
| <b>CASE #:</b>           | PUD-23-7 | <b>PUD NAME:</b>       | VA Outpatient Clinic Development Plan Amd. 1 |
| <b>Review of Draft #</b> |          | 1, initial application |  |

| <b>Complete?<br/>Y, N, N/A</b>                 | <b>Submittal Requirement</b>   |
|--|--|
| deficient                                      | Development Plan (Chapter 811-5(C)(2) & Chapter 815)<br>Please provide grading plan<br>General notes pages? missing info on asphalt, curbs, etc. |
| Y basically will update after recording of SFP | Current deed(s)  |

|                        |  |
|------------------------|--|
| Y                      | Completed RoW Activity permit application<br>-RW-23-362 and RW-23-363  |
| Y                      | Septic Permits (if applicable)/ capacity letter for sewer  |
| Y                      | Capacity letters for water and electric  |
| deficient              | Sign permit application (if applicable)<br>Please apply for a sign permit application here:<br><a href="https://monroecountyin.portal.opengov.com/categories/1085/record-types/6480">https://monroecountyin.portal.opengov.com/categories/1085/record-types/6480</a> |
| Y                      | Construction Stormwater General Permit & O & M Manual  |
| Y, infrastructure plan | Any additional information required by the Outline Plan approval   |
| Y                      | Projected construction schedule  |
| 2012014070 uploaded    | Agreements and covenants which govern the use, maintenance, and continued protection of the Planned Unit Development and its common spaces, shared facilities, and private roads.  |
| n/a                    | Guaranty of Performance for Completion of Improvements (Chapter 811-5(C)(6))   |
| Y                      | Proof of mailings (at least 5 business days prior to hearing date) (*only if going to Plan Commission hearing)   |

**\*\*NOTE:** The outline plan shall indicate the land use, development standards, and other applicable specifications of the Monroe County Code which shall govern the Planned Unit Development. If the outline plan is silent on a particular land use, development standard, or other specification of the Monroe County Code, the standard of the underlying district or the applicable regulations shall apply. \*\*

| Completed?<br>Y, N, N/A | # | DEVELOPMENT PLAN REQUIREMENTS  |
|-------------------------|---|--|
| Y                       | 1 | An accurate map exhibit of the entire phase for which Development Plan approval is being requested, showing the following:<br>Precise location of all buildings to be constructed, and a designation of the specific use or range of uses for each building. Single family residential development on individual lots need not show precise locations of buildings on each lot, but plans shall show setback and other bulk constraints. |
| Y                       | 2 | Design and precise location of all streets, drives, and parking areas, including construction details, centerline elevations, pavement type, curbs, gutters, and culverts.   |
| Y                       | 3 | Location of all utility lines and easements  |
| Y                       | 4 | A final detailed landscape plan, in conformance with Chapter 830.  |
| n/a                     | 5 | Tabulation on each separate subdivided use area, including land area, number of buildings, number of dwelling units per acre, type of unit, bedroom breakdown, and limits on occupancy.  |

| Completed?<br>Y, *blank*,<br>N/A | # | SITE LAYOUT INFORMATION   |
|----------------------------------|---|---|
| Y                                | 1 | the name and address of the owner and developer, engineer, surveyor, architect  |
| Y                                | 2 | the location of the project by public way, township and section<br>Comment: under project nature & use box  |
| missing                          | 3 | the legal description of the subject property   |
| deficient                        | 4 | a map including date, scale and North arrow, which shows the location, size, capacity, and use of all buildings and structures existing or to be placed on the subject property |
| deficient                        | 6 | the nature and intensity of the operations involved in, or conducted in connection with the project   |

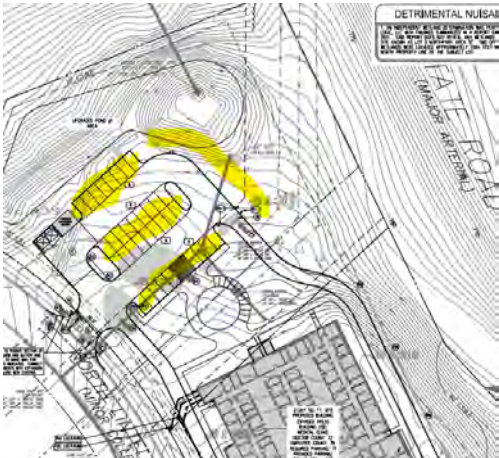
|           |    |  |
|-----------|----|--|
|           |    | plans state that the use is a "Hospital/Wellness" use. The use determination issued was for a "Medical Clinic". USE-23-49 was issued to a Zachary Burns. Please confirm with your client regarding the intended use of the property.   |
| Y         | 6  | the site layout of the project including the location, size, arrangement and capacity of the area to be used for yards, setbacks, and buildings, vehicular access, parking, and loading  |
| deficient | 7  | the names of public ways giving access to the subject property and the location, width and names of existing platted public ways, railroads, parks, utility easements and other public open spaces associated with the project the layout of proposed public ways, their names and width, and the width of alleys, walkways, paths, lanes and easements<br>Add width of N Lintel DR                                      |
| deficient | 8  | the location, dimensions and design of all signage for the project<br>Please apply for a sign permit application here:<br><a href="https://monroecountyin.portal.opengov.com/categories/1085/record-types/6480">https://monroecountyin.portal.opengov.com/categories/1085/record-types/6480</a>  |
| deficient | 9  | the location, height, intensity, direction of illumination and bulb type (i.e., florescent, sodium incandescent, etc.) of all external lighting fixtures<br>See comment below under NP area requirements #15   |
| deficient | 10 | the contours with spot elevations of the finished grade and the directions of storm water runoff<br>provide grading plan   |
| n/a       | 1q | the layouts of proposed lots with their numbers and dimensions   |
|           | 12 | the land use density factors<br>see comment under #6   |
| N/A       | 13 | outside storage and/or product display area if allowed   |
| Y         | 14 | a subscribed statement of an engineer or architect, licensed by the State of Indiana, certifying that the proposed activity will satisfy the performance standards of Chapter 802 of this ordinance  |
| Y         | 15 | construction plans, if any   |
|           | 16 | all other permits, certificates and/or approvals required from any State or local agency relative to the use or improvement of the subject property or to the use or installation of public improvements which may serve the subject property (e.g., Indiana Department of Transportation approval of State highway improvements, private sewage disposal system permit from the Monroe County Health Department, etc.). |

| Completed?<br>Y, N, N/A | # | PARKING PLAN   |
|-------------------------|---|--|
| Y                       | 1 | Off-street parking spaces accessory to principal uses shall be provided in accordance with Table 6-1, or in the event a specific use is not listed in Table 6-1, the planning staff shall determine the number of spaces required, as described in Ch. 806-5(C).   |
| Y                       | 2 | Accessible spaces shall be provided in sufficient numbers and to the specifications of the Americans with Disabilities Act (ADA) and the Indiana Building Code (IBC). Each accessible or van accessible parking space shall be located adjacent to an access aisle and in close proximity to the entrance(s) most accessible for the disabled. |
| Y                       | 3 | Off-street parking spaces for commercial, industrial or institutional uses shall be located not more than 700 feet from the principal use building.  |
| N/A                     | 4 | Off-street parking spaces may be located in any yard, subject to applicable setback standards.   |
| Y                       | 5 | Off-street parking areas shall be set back from all public rights-of-way lines a minimum of 10 feet. Any such areas abutting a zone or use with a more restrictive setback shall comply with the more restrictive setback.   |
| Y, no                   | 6 | Off-street parking spaces shall have minimum rectangular dimensions of not less than 9 feet in   |



|           |    |  |
|-----------|----|--|
| parallel  |    | width and 18 feet in length, except that parallel parking spaces shall be at least 24 feet in length.  |
| N/A       | 7  | Not more than 10 percent of the required parking spaces may be compact stalls with minimum rectangular dimensions of not less than 8 feet in width and 16 feet in length.  |
| Y         | 8  | Each such space shall have vertical clearance of at least 7 feet.  |
| Y         | 9  | All dimensions shall be exclusive of obstructions and of driveways, aisles, and other circulation areas.   |
| Y         | 10 | The following minimum aisle or driveway width standards shall apply: 25 feet wide for 90 degree parking; 20 feet wide for 60 degree parking; 20 feet wide for 45 degree parking; and 15 feet wide for parallel parking.  |
| deficient | 11 | Clearly defined driveways shall be provided for ingress and egress to off-street parking areas in accordance with the following standards: <ul style="list-style-type: none"> <li>a. Maximum width at property line is 40 feet - YES</li> <li>b. Minimum distance from interior lot line is 12 feet- YES</li> <li>c. Minimum distance from street intersection is 50 feet - YES</li> <li>d. Space between two drives on the same property is 40 feet - YES</li> <li>e. Radius of curb return: Minimum of 5 feet and Maximum of 20 feet – Please confirm</li> </ul> |
| Y         | 12 | Whenever possible, the number of traffic access points for uses fronting on arterial streets shall not exceed one (1) per 300 feet. Where direct access to an off-street parking area is provided by an arterial or federal aid secondary road, acceleration and deceleration lanes shall be provided on both sides of the access road in accordance with AASHTO standards.  |
| Y         | 13 | All areas devoted to off-street parking shall be designed so that no vehicle is required to back into a street.  |
| deficient | 14 | Off-street parking areas (including parking spaces, aisles and driveways) shall be paved with plant mix asphalt or concrete within one (1) year of the date on which the improvement location permit for the parking area is issued.<br><b>Details page is missing</b>   |
| deficient | 15 | Poured-in-place concrete curbs shall be installed to separate off-street parking areas from the front and sides of any abutting building or structure, otherwise barrier curbs may be installed as necessary to safely and efficiently direct the movement and parking of motor vehicles.<br><b>Please confirm. I see the detail stating “F1” for a monolithic curb and sidewalk but don’t see this annotated on the plan.</b>   |
| Y         | 16 | The off-street parking area shall be drained so as to dispose of all surface water accumulated in the parking area in such a way as to preclude channeled or concentrated drainage of water onto adjacent property or toward buildings.  |
| Y         | 17 | No part of any off-street parking area, excluding drives that do not provide direct access to abutting parking spaces, shall have a slope of greater than 5%.  |
| deficient | 18 | Lighting - Any lighting used to illuminate a required off-street parking area shall be shielded with appropriate light fixtures directing the light away from adjacent properties in order that the illumination at any property line shall not exceed one (1) foot candle.<br><b>See comment below under NP area requirements #15.</b>  |
| n/a       | 19 | Shared Parking Requirements – see Chapter 806-6, if applicable.  |
| deficient | 20 | Loading Areas/Berths – see Chapter 806-7 and 806-8, if applicable.<br><b>Is there a loading berth? External sign indict a freight entrance.</b>  |

|                                 |          |                       |
|---------------------------------|----------|-----------------------|
| <b>Completed?<br/>Y, N, N/A</b> | <b>#</b> | <b>LANDSCAPE PLAN</b> |
|---------------------------------|----------|-----------------------|

|           |    |   |
|-----------|----|---|
| deficient | 1  | <p>the location and dimensions of all existing and proposed structures, parking lots and drives, roadways and right of way, sidewalks, bicycle paths, ground signs, refuse disposal areas, bicycle parking areas, freestanding electrical equipment, recreation facilities, utility lines and easements, freestanding structural features, and other landscape improvements, such as earth berms, walls, fences, screens, sculptures, fountains, street furniture, lights, and courts or paved areas</p> <p>see comment under #6</p> <p>Please show a crosswalk and sidewalk accessible ramp from N Lintel Sidewalk for connectivity from Lintel sidewalks.</p> |
| Y         | 2  | the name and address of the owner, developer, and plan preparer, the date the plan was prepared, scale, and north arrow   |
| deficient | 3  | <p>the location, quantity, size, Density Value (D Value), and name - both botanical and common - of all proposed planting materials</p> <p>please calculate total d-value and quantity for bioretention</p>   |
| Y         | 4  | the location, size, and common name of existing trees and individual shrubs/perennials/grasses/ferns, areas of dense trees or shrubs, and other natural features, indicating which are to be preserved and which are to be removed  |
|           | 5  | the approximate location and generic identification of existing structures and plant materials within the yard of adjoining properties  |
| missing   | 6  | <p>existing and proposed grading of the site, including proposed berming, indicating contours at not more than two foot intervals. The planning staff may waive this requirement for situations in which grading is negligible</p> <p>berming was discussed between the northern parking lot and SR46</p>   |
| Y         | 7  | specification of the type and boundaries of all proposed vegetative ground cover  |
| Y         | 8  | design of fences and other significant accessory structures   |
| Y         | 9  | the location of barriers to be placed at or beyond the drip line of any trees to be preserved, and the type of material to be used for the barrier  |
| Y         | 10 | planting and installation details as necessary to ensure conformance with all required standards  |
|           | 11 | <p>details indicating specific grading measures or other protective devices where trees are to be preserved in areas of cut and fill</p> <p>are any trees being preserved?</p>  |
| deficient | 12 | <p>a tabulation clearly displaying the relevant statistical information necessary for the Plan Commission to evaluate compliance with the provisions of this ordinance</p> <p>see comment under #3</p>  |
| deficient | 13 | soil mix for landscaping/bufferyard areas   |

|         |    |  |
|---------|----|--|
|         |    | see comment under #3   |
| missing | 14 | a plan sheet shall be provided that identifies the parking lot areas that contribute runoff to landscaped bioretention areas and that labels the amounts of both these watershed areas and of the landscaped areas |

| Completed?<br>Y, N, N/A | # | PERFORMANCE STANDARDS   |
|-------------------------|---|---|
| missing                 | 1 | Fire Protection   |
| missing                 | 2 | Electrical Disturbance.   |
| missing                 | 3 | Noise.  |
| missing                 | 4 | Vibration.  |
| missing                 | 5 | Air Pollution.  |
| missing                 | 6 | Heat and Glare. All exterior lighting shall be hooded and shielded so that the light source (i.e. bulb, filament, etc.) is not directly visible from the residential property lines. In residential areas, exterior lighting at any property line shall not exceed one (1) foot candle. |
| missing                 | 7 | Water Pollution.  |
| missing                 | 8 | Waste Matter.   |

| Completed?<br>Y, N, N/A | # | OTHER CONSIDERATIONS  |
|-------------------------|---|---|
|                         | 1 | Structures meet all applicable development standards (Height, Bulk, Area, And Density) for PUD?   |
| n/a                     | 2 | In ECO Area 1, 2 or 3? (If yes, must comply with Chapter 825)   |
| n/a                     | 3 | Complies with any applicable conditions of permitted use or conditional use and/or prior approvals?   |
| Y                       | 4 | Any apparent concerns or observations that may need attention (location in floodplain, potential for erosion, etc). If so, please note and pass along information to applicant and any applicable Department or organization. |
| Y                       | 5 | Complies with any other applicable requirements (SCAs, Riparian buffer zones, etc).   |

a. Office SR46 District (Within District B) –

**RED text below is staff comment. Yellow highlight is question/comment for the Design Professional.**

1. Height, setbacks, minimum frontage, etc. shall be in accordance with Appendix D of this PUD Ordinance.
2. Individual buildings shall relate to adjacent buildings and those directly across the street in terms of scale and massing.
3. All elevations of buildings facing public streets, plazas, or open space shall incorporate all of the following:
  - i. All elevations shall be brick, stone or cultured stone, wood, or masonry/wood based siding product, masonry, or pre- cast panels finished with some architectural finish such as fluting, stamping, etc.,, excluding window, doors, and similar appurtenants. Materials such as exterior insulated finish systems (EIFS), anodized metal and glass may be used in combination with any of the previously mentioned materials as architectural accents, constituting 50% or less of the area of the elevation.

Meets criteria, only additional information requested. Please confirm that the sf listed for the storefront glazing system includes the door/window glass sf. Please have architect include sq. ft. of metal screen. Glazing system and metal screening appears to be under 50% requirement.

- ii. All elevations fronting on a public street, parking area, plaza, or open space shall include an entrance. Entrances shall be defined by architectural elements appropriate for the design of the building and shall either be covered or recessed and shall incorporate street furniture into their design.  
West elevation (fronting on a public street) may not meet requirement for side entry to be recessed or covered. Main entries are on SW and N elevations. Street furniture appear on SW and SE corners.
- iii. All facades fronting on a public street shall include a minimum 30% fenestration which shall be calculated by taking the building's length multiplied by a height of ten (10) feet.  
Please have architect include this calculation on elevation plans.
- iv. All facades fronting on a public street, parking area, plaza or open space that measure greater than eighty (80) feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least five percent (5%) of the length of the façade and extending at least twenty percent (20%) of the length of the façade. No uninterrupted length of any such façade shall exceed eighty (80) feet.
4. A minimum of two (2) materials or colors shall be used for all buildings.  
Meets criteria.
5. All buildings shall be designed with a minimum of six (6) external corners, in order to eliminate "box" designs. Meets criteria.
6. All other elevations not finished with the materials identified in the previously mentioned manner shall have the corners wrapped a minimum of thirty (30) feet with the same finish as that on the elevations fronting on a public street, plaza, or open space. Meets criteria.
7. Rooftop equipment shall be fully screened on all sides from view at street level using parapets or other similar method which is integrated into the overall building design. Meets criteria.
8. Gutters and downspouts shall be appropriate to or visually integrated with the architectural style of the structure. Provide information or have architect update design.
9. The primary base color of a building shall feature natural tones/hues.  
Meets criteria.
10. Flat roofs are permitted, but must include a parapet wall or similar architectural element appropriate for the design of the building. Pitched roofs shall include articulated cornices and other appropriate architectural elements and shall be sheathed in dimensional asphalt shingles, cedar shingles, slate or composite slate, or standing seam metal materials. Does not appear to have a parapet wall or similar architectural element. Provide information or have architect update design.
11. Any accessory structures or permanent outdoor display (excluding silos, water towers, etc.) shall be constructed of the same materials and in the same manner

as the principle building. Further, the height of the accessory structure shall not exceed that of the principle building and if provided, the roof shall be constructed in the same manner and of the same material as the principle building.

**Provide information about the design of the dumpster screening and maintenance building.**

12. Parking for all structures shall be in accordance with the following:
- i. On-street parking that may be counted as part of the required parking is permitted on local streets and parking aisles, but is prohibited on all other streets and alleys. On-street parking shall be in the form of parallel or angled head-in parking, with all spaces measuring at least nine (9) feet in width and eighteen (18) feet in length and shall be placed within a parking lane. **N/A**
  - ii. All on-street and off-street parking spaces required shall be used only for the parking of vehicles of occupants, patrons, visitors or employees and shall not be used for any kind of continuous storage of a vehicle for more than forty-eight (48) hours. **Property owner to follow**
  - iii. All off-street parking areas shall be located behind or on the side of the buildings they serve. **All parking is located on the side of the building**  
(Ord 2020-23) For Tract B-2 (only for Tract B-2 Parcel 2A (Lots 5 & 6 INST: 2020018755)) the following is applicable: All off-street parking areas shall be located behind or on the side of the buildings they serve except for the Hospital/Wellness use where off-street parking areas may be located in front of, behind, or on the side of the buildings they serve; provided that where adjoining open space areas or any publicly-maintained road, the parking areas are located behind a landscaped masonry wall meeting the requirements of Chapter 830, Figure 30-4 or a landscaped berm meeting the requirements of Chapter 830, Figure 30-2 or Figure 30-3. **N/A**
  - iv. All off-street parking areas shall provide accessible spaces in sufficient numbers and to the specifications of the Americans with Disabilities Act and the Indiana Building Code.  
**Is there ADA parking on the north side? Is the north side employee only?**
  - v. Parking space access for all off-street parking areas shall be provided in accordance with 806-4(C)(1)(3) and (4); 806- 4(D).  
**3/doctor + 1/employee. Meets criteria.**
  - vi. The minimum number of parking spaces required shall be in accordance with the provisions of Chapter 806 of the Monroe County Zoning Ordinance. A parking plan detailing the calculations shall accompany all site plans and development plans submitted for uses within this area. On-street parking areas provided within the use area may be counted toward the required parking.  
**Meets criteria.**
  - vii. Loading areas equivalent to the standards established in 806-8 shall be provided. Minor deliveries such as those made by the U.S. Postal Service, express carriers, etc. may utilize any provided on-street parking areas.

- Meets criteria.
- viii. A dedicated transit loading, unloading, and waiting area shall be provided within at least one parking area in each use district, within three hundred (300) feet of a public entrance, unless otherwise provided for in an equal form on an adjacent public street. The area shall be large enough to accommodate a parked bus without blocking parking spaces or aisles and shall include street furniture to accommodate waiting passengers. There shall also be associated facilities for storing and securing bicycles. This area shall not be counted toward the required parking spaces.  
 Is this the side driveways along the W & E elevations? Are there bike racks?
- ix. All parking areas shall be connected into adjacent alternative transportation features.  
 Meets criteria – will connect to side path along Lintel. Requested that a crosswalk be added.  
 Structured parking may be used for off-street parking provided it is either located underground or utilizes architectural finishes and elements equivalent to that used in adjacent buildings. N/A
- x. No off-street parking areas shall be adjacent to SR46 or Curry Pike/Hunter Valley Road unless located behind buildings, behind a landscaped masonry wall meeting the requirements of Chapter 830, Figure 30-4, or a landscaped berm meeting the requirements of Chapter 830, Figure 30-2 or Figure 30-3.  
 See note above in table. Please add berming or wall to the NE parking to shield from 46.
13. Landscaping and buffer yards shall be provided in accordance with the following:
- i. A landscape plan for each site plan and development plan shall be prepared in accordance with the provisions of 830- 4 of the Monroe County Zoning Ordinance.
  - ii. All landscaped areas shall be in accordance with the provisions of Chapter 830-6 of the Monroe County Zoning except that landscaping islands serving as part of the storm water management facilities need not be separated by curbing so long as they are protected through the use of wheel stops.  
 Requested info about curbing. Don't think this provision is applicable but staff will re-evaluate.
  - iii. Buffer yards shall be in accordance with the provisions of 830- 7 of the Monroe County Zoning Ordinance, except:
    - a. Type D buffer yards shall be provided where adjoining Curry Pike
    - b. Type D buffer yard extended to a width of 50 feet from the right of way line shall be provided adjoining State Road 46, See Appendix A. Meets criteria.
    - c. Buffer yards between uses and open spaces in Development Tract B-2 shall follow the bufferyard standard set forth in Appendix G.
  - iv. All off-street parking areas shall utilize small parking fields separated by landscaped areas. In addition to the landscaping requirements of

parking areas contained elsewhere in this PUD Ordinance, there shall be a landscaped swale measuring no less than sixteen (16) feet in width with a density of no less than 110 points per 100 lineal feet between every two parking aisles (every four rows of parking stalls). This swale may be counted as a required perimeter yard and may be divided equally among the two adjoining parking fields for the purposes of determining the percent of lot area located in an interior planting area as described in Table 30-3 of Chapter 830 of the Monroe County Zoning Ordinance. This area may also be designed to accept and manage storm water.

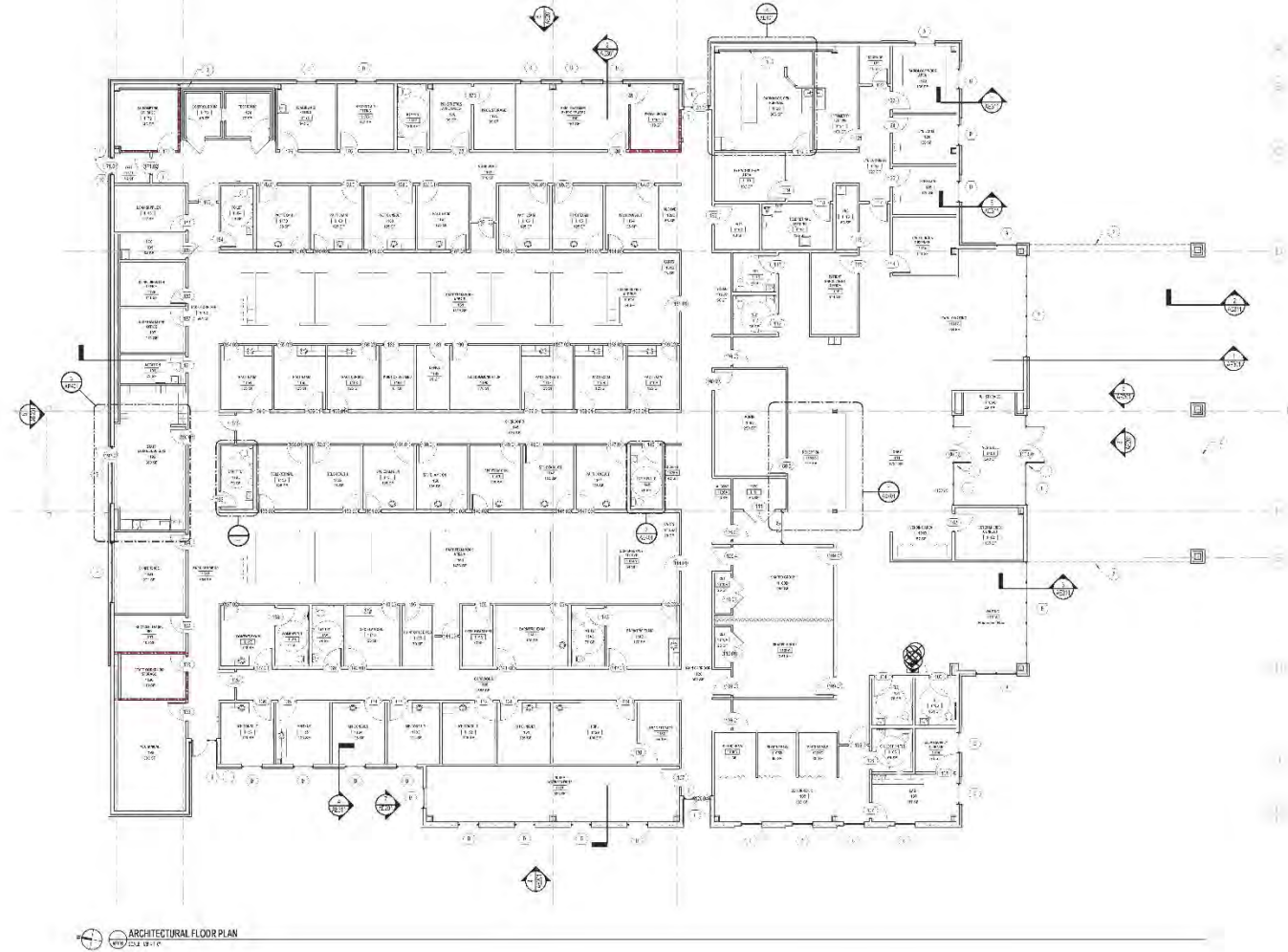
North side parking lots has four rows, no swale needed. South side parking has 7/8 rows, swale needed.

- v. Street trees shall be provided in accordance with 856-43(B) of the Monroe County Subdivision Control Ordinance. All such street trees shall be maintained in healthy condition by the adjoining lot owner or other assigned entity (association, etc.). N/A
14. Signs for uses within this use area shall be in accordance with the following: Will review under sign permit application. Please submit.
- i. Permitted signs are as follow and as illustrated in Appendix C of this PUD Ordinance:
    - Directional
      - Directional signs are permitted as determined by the Administrator to be necessary for the orderly flow of traffic
      - Sign shall not exceed four (4) square feet in area per side with a maximum of two sides per sign
      - Sign shall not exceed three (3) feet in height as measured from the adjoining grade
    - Monument
      - One (1) monument sign is permitted for each platted lot or development tract
      - Setbacks shall be consistent with those of the principle building
      - Sign shall not exceed fifty (50) square feet in area per side with a maximum of two sides per sign
      - Signs in excess of twenty-four (24) square feet shall not exceed six (6) feet in height all other signs shall not exceed eight (8) feet in height as measured from the adjoining grade
      - No more than one-half (1/2) the sign area may be used for changeable copy
    - Wall-Mounted
      - One (1) sign is permitted per building per façade per tenant
      - Sign shall not exceed forty (40) square feet
      - The bottom of the sign must be a minimum of eight (8) feet above the street or sidewalk level
      - Signage on a mounted sign shall be counted in the calculation of total allowable sign area
      - The sign shall not project from the façade more than twelve (12) inches

- No more than twenty-five percent (25%) of the sign area may be used for changeable copy
    - Other
      - Political signs and signs offering the property on which they are situated for sale, lease, or rent provided they are in accordance with the provisions of 807-7(G) of the Monroe County Zoning Ordinance
      - Traffic control and public wayfinding signs are exempt from the provisions of this PUD Ordinance
  - ii. Off-premise advertising signs or billboards and portable signs are prohibited within this use area. **Property Owner to follow**
  - iii. All signs shall be identified on the site plan and/or development plan and shall secure a permit in accordance with the provisions of 807-3 of the Monroe County Zoning Ordinance.
  - iv. All illuminated signs shall be either illuminated channel letters or shall be illuminated by a light source directed toward the sign face. Internally illuminated box signs are prohibited as are any signs that use flashing, intermittent, or strobe effects.
15. Lighting shall be provided in accordance with the following:
- i. Street lights may be provided where buildings front on any streets or drives. These lights shall be placed at a minimum of sixty (60) foot intervals and shall have a maximum height of twenty-five (25) feet. The lights shall have an opaque top or a full cut-off and visor that result in all light being cast downward.  
**Doesn't appear that any shielding options are being utilized. Please provide information or update.**
  - ii. Lights that utilize full cut-offs and visors that result in all light being cast downward may be used in parking areas and shall have a maximum height of twenty-five (25) feet. The light intensity shall not exceed one (1) foot candle as measured at the edge of the associated parking area.  
**Many areas exceed one foot candle at edge of parking area.**
  - iii. Only lights utilizing full cut-offs and visors that result in all light being cast downward may be placed on buildings to illuminate loading berths, stairwells, etc.  
**Doesn't appear that any shielding options are being utilized. Please provide information or update.**
  - iv. No lighting shall be placed on any façade that adjoins an open space area or a residential area (outside of this use area).  
**Meets criteria.**
16. The design of this use area shall result in an environment where buildings, roads, etc conform to the existing topography and landscape as much as practical. Extensive use of open space and preservation of existing features is expected. Connections to adjoining park space and civic space shall occur and a high degree of architectural design shall be incorporated throughout this area.  
**Meets criteria.**



**EXHIBIT 8: Architectural Plans**



ARCHITECTURAL FLOOR PLAN  
DATE: 03-10-10

- ARCHITECTURAL GENERAL NOTES**
- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, IBC, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
  - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  - C. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION.
  - D. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AT ALL TIMES.
  - E. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  - F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
  - G. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, IBC, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ARCHITECTURAL PLAN NOTES**
1. SEE ALL OTHER SHEETS FOR DIMENSIONS AND NOTES.
  2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
  4. SEE ALL OTHER SHEETS FOR DIMENSIONS AND NOTES.

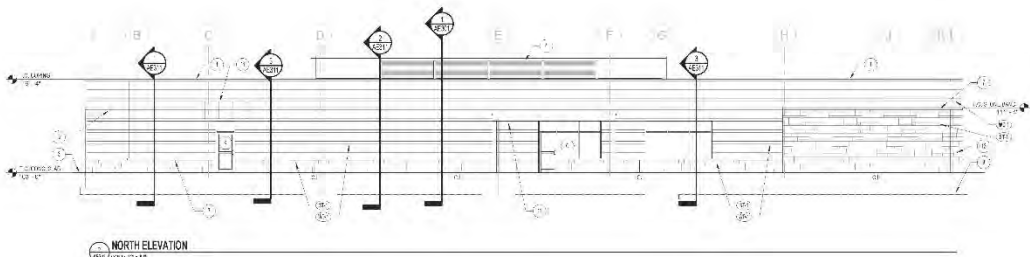
|           |      |             |
|-----------|------|-------------|
| REVISIONS | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |

NOT FOR CONSTRUCTION

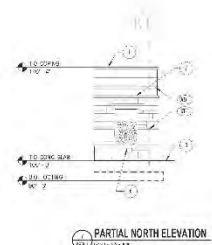
ZRB DEVELOPMENT  
 11000 N. 110th Ave., Suite 100  
 Overland Park, KS 66213

PROJECT ADDRESS  
 35411 Lane 2, Boonville, IN

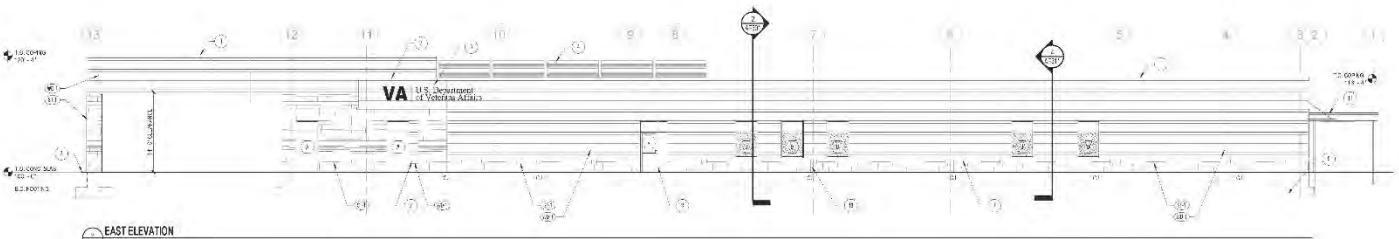
SHEET NO.  
 ARCHITECTURAL FLOOR PLAN  
**AE101**



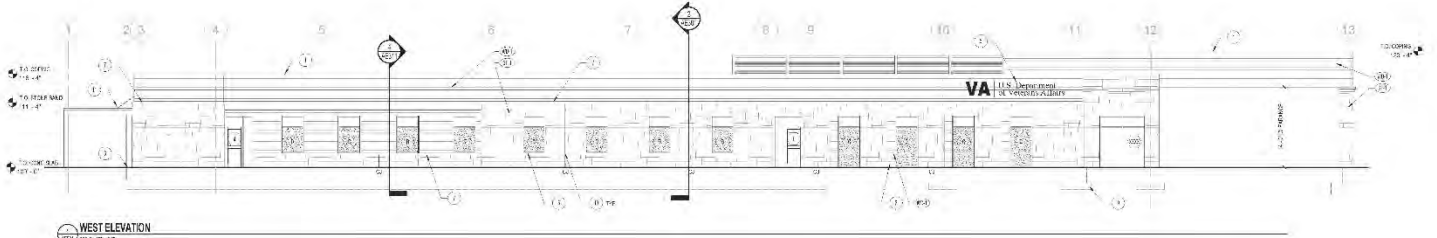
**NORTH ELEVATION**  
DATE: 07-17



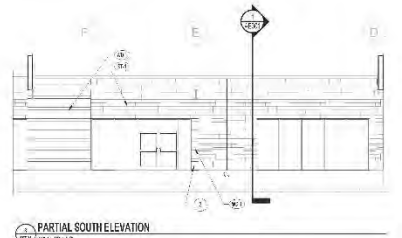
**PARTIAL NORTH ELEVATION**  
DATE: 07-17



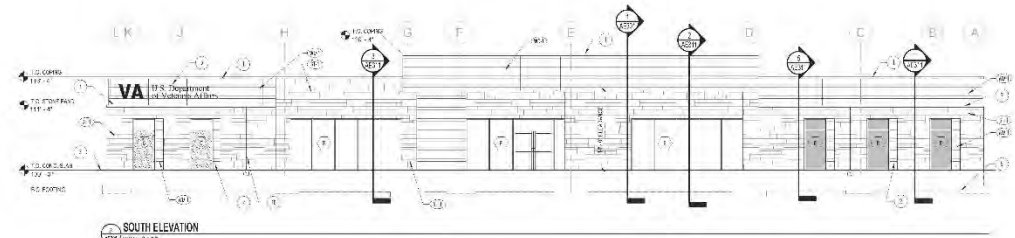
**EAST ELEVATION**  
DATE: 07-17



**WEST ELEVATION**  
DATE: 07-17



**PARTIAL SOUTH ELEVATION**  
DATE: 07-17



**SOUTH ELEVATION**  
DATE: 07-17

**EXTERIOR FINISH LEGEND**

|      |   |
|------|---|
| 30-1 | POUR-ON-WHITE GYPSUM WALLBOARD<br>BONDIC FINISH JOINTS<br>POLYURETHANE PRIMER |
| 30-2 | 1/2\"/>   |

- SPECIFIC ELEVATION NOTES**
1. FILL UNPERFORATED SPACES WITH POLYURETHANE PRIMER, OR A FINISH SUITABLE TO LOCAL CODES.
  2. DRILL AND PATCH ALL HOLES.
  3. PATCH CRACKS WITH POLYURETHANE PRIMER.
  4. REPAIR AND PATCH ALL CRACKS WITH POLYURETHANE PRIMER.
  5. PATCH CRACKS WITH POLYURETHANE PRIMER.
  6. PATCH CRACKS WITH POLYURETHANE PRIMER.
  7. PATCH CRACKS WITH POLYURETHANE PRIMER.
  8. PATCH CRACKS WITH POLYURETHANE PRIMER.
  9. PATCH CRACKS WITH POLYURETHANE PRIMER.
  10. PATCH CRACKS WITH POLYURETHANE PRIMER.
  11. PATCH CRACKS WITH POLYURETHANE PRIMER.

- GLAZING GENERAL NOTES**
- A. GLAZING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
  - B. GLAZING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
  - C. GLAZING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
  - D. GLAZING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

**REVISIONS**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |

ZRB DEVELOPMENT

GUIDON

**NOT FOR CONSTRUCTION**

ZRB DEVELOPMENT  
 BLOOMINGTON, IN 47403  
 333 N. Laurel Dr., Bloomington, IN

|                |      |
|----------------|------|
| DESIGNED BY    | DATE |
| DRAWN BY       | DATE |
| CHECKED BY     | DATE |
| PROJECT NUMBER |      |
| DATE           |      |
| BY             |      |
| DATE           |      |

**AE201**



**NORTH ELEV MATERIAL SF**

|  |        |
|--|--------|
| GROUP 1 BRICK - METAL PANELS                           | 551 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF |



**EAST ELEV MATERIAL SF**

|  |        |
|--|--------|
| GROUP 1 BRICK - METAL PANELS                           | 551 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF |



**WEST ELEV MATERIAL SF**

|  |        |
|--|--------|
| GROUP 1 BRICK - METAL PANELS                           | 551 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF |



**SOUTH ELEV MATERIAL SF**

|  |        |
|--|--------|
| GROUP 1 BRICK - METAL PANELS                           | 551 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF |

**PARTIAL ELEVATIONS NOT SHOWN SF**

|  |        |
|--|--------|
| GROUP 1 BRICK - METAL PANELS                           | 333 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF |

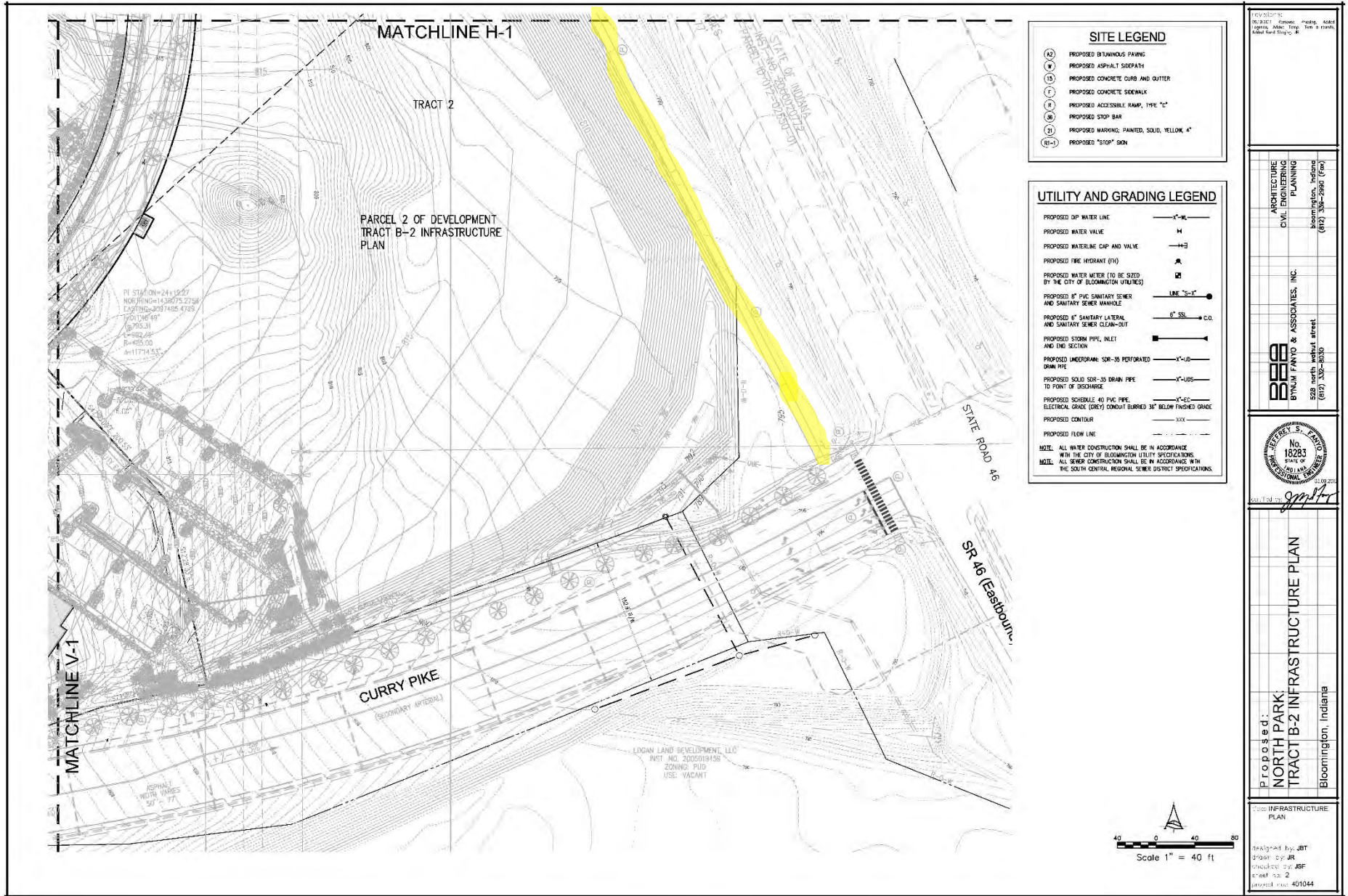
**ELEVATION MATERIAL TOTAL SF**

|  |         |
|--|---------|
| GROUP 1 BRICK - METAL PANELS                           | 4776 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF  |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF  |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF  |

**PUBLIC FACADE FENESTRATION**

|  |         |
|--|---------|
| GROUP 1 BRICK - METAL PANELS                           | 4776 SF |
| METAL GREEN - POLYCARBONATE ROOF TOP FOR METAL PANELS  | 144 SF  |
| METAL SIDING - POLYCARBONATE ROOF TOP FOR METAL PANELS | 144 SF  |
| PORCELAIN ENAMEL PANELS & TILES                        | 141 SF  |

**EXHIBIT 9:2012 Infrastructure Plan Sidewalk Changes**



**SITE LEGEND**

|       |  |
|-------|--|
| (A)   | PROPOSED BITUMINOUS PAVING                   |
| (W)   | PROPOSED ASPHALT SIDEWALK                    |
| (C)   | PROPOSED CONCRETE CURB AND GUTTER            |
| (S)   | PROPOSED CONCRETE SIDEWALK                   |
| (A)   | PROPOSED ACCESSIBLE RAMP, TYPE "C"           |
| (B)   | PROPOSED STOP BAR                            |
| (H)   | PROPOSED MARKING, PAINTED, SOLID, YELLOW, 4" |
| (R-1) | PROPOSED "STOP" SIGN                         |

**UTILITY AND GRADING LEGEND**

|  |               |
|--|---------------|
| PROPOSED DP WATER LINE   | —X—W—         |
| PROPOSED WATER VALVE   | M             |
| PROPOSED WATERLINE CAP AND VALVE   | —+—           |
| PROPOSED FIRE HYDRANT (FH)   | ⋈             |
| PROPOSED WATER METER (TO BE SIZED BY THE CITY OF BLOOMINGTON UTILITIES)                        | ⊞             |
| PROPOSED 16" PVC SANITARY SEWER AND SANITARY SEWER MANHOLE                                     | LINE "S"—X—   |
| PROPOSED 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT                                      | 6" SSL — C.O. |
| PROPOSED STORM PIPE, INLET AND END SECTION   | —X—U—         |
| PROPOSED UNDERDRAIN: SR-35 PERFORATED DRAIN PIPE   | —X—U—         |
| PROPOSED SOLID SR-35 DRAIN PIPE TO POINT OF DISCHARGE  | —X—US—        |
| PROPOSED SCHEDULE 40 PVC PIPE, ELECTRICAL GRADE (GREY) CONDUIT BURIED 18" BELOW FINISHED GRADE | —X—E—         |
| PROPOSED CONTOUR   | XXX           |
| PROPOSED FLOW LINE   | —X—           |

NOTE: ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BLOOMINGTON UTILITY SPECIFICATIONS.  
 NOTE: ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CENTRAL REGIONAL SEWER DISTRICT SPECIFICATIONS.

PROJECT: 2012 Infrastructure Plan Sidewalk Changes  
 SHEET: 15 OF 22  
 DATE: 11/13/12

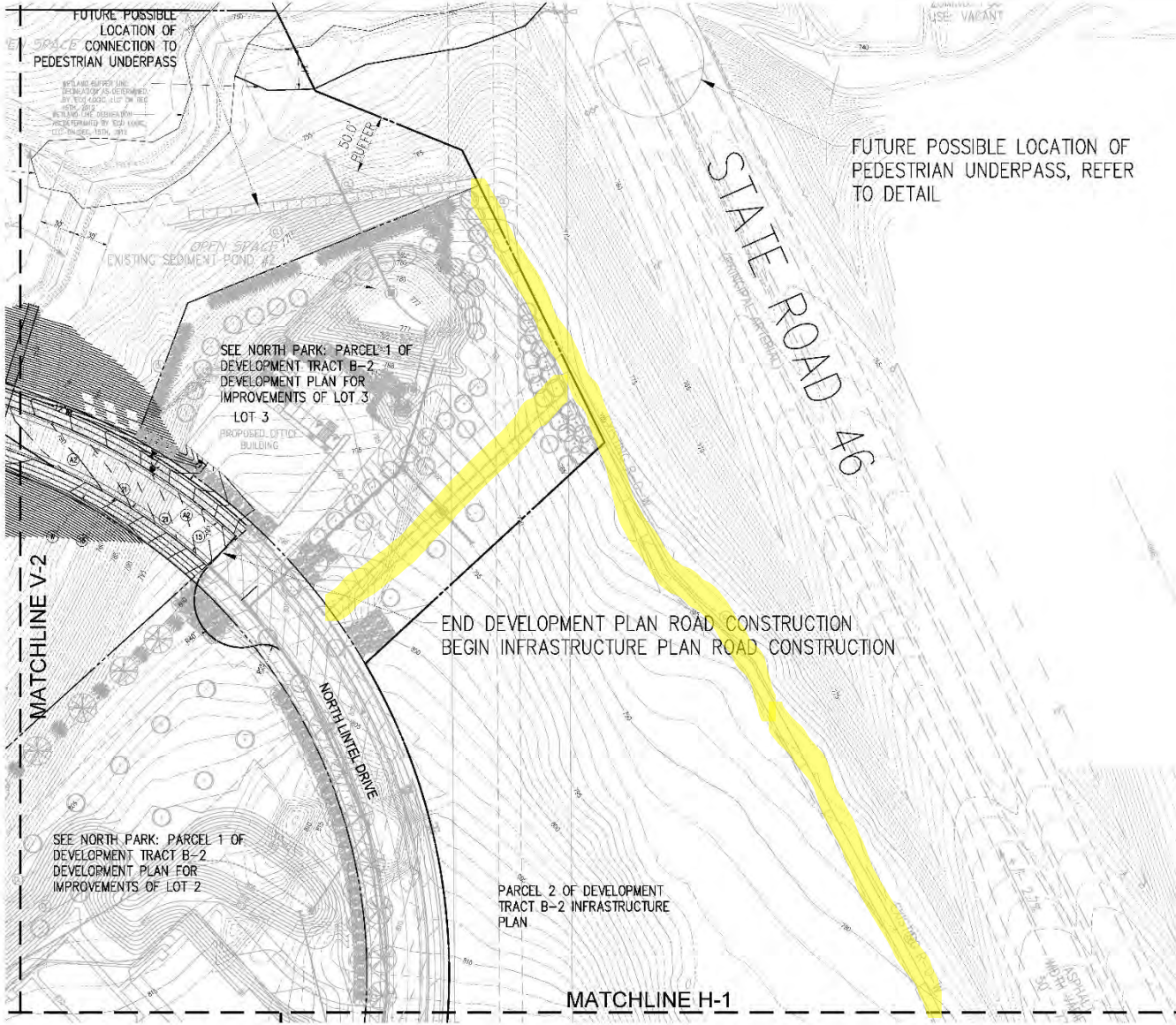
ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING  
**BBB**  
 BRYAN FAYO & ASSOCIATES, INC.  
 Bloomington, Indiana  
 (812) 336-9890 (Fax)

REGISTERED PROFESSIONAL ENGINEER  
 No. 18283  
 STATE OF INDIANA  
 BRYAN FAYO

proposed:  
**NORTH PARK  
 TRACT B-2 INFRASTRUCTURE PLAN**  
 Bloomington, Indiana

Site: INFRASTRUCTURE PLAN

Designed by: JBT  
 Drawn by: JR  
 Checked by: JBF  
 Scale: 1" = 40'  
 Project No.: 401044



**SITE LEGEND**

|      |  |
|------|--|
| (A)  | PROPOSED BITUMINOUS PAVING                   |
| (W)  | PROPOSED ASPHALT SIDEWALK                    |
| (B)  | PROPOSED CONCRETE CURB AND GUTTER            |
| (T)  | PROPOSED CONCRETE SIDEWALK                   |
| (R)  | PROPOSED ACCESSIBLE RAMP, 15% 12"            |
| (S)  | PROPOSED STOP BAR                            |
| (H)  | PROPOSED MARKING, PAINTED, SOLID, YELLOW, 4" |
| (R+) | PROPOSED "STOP" SIGN                         |

**UTILITY AND GRADING LEGEND**

|  |               |
|--|---------------|
| PROPOSED 6" WATER LINE   | —X—W—         |
| PROPOSED WATER VALVE   | —M—           |
| PROPOSED WATERLINE CAP AND VALVE   | —+—           |
| PROPOSED FIRE HYDRANT (FH)   | —F—           |
| PROPOSED WATER METER (10 BC SIZED BY THE CITY OF BLOOMINGTON UTILITIES)                        | —M—           |
| PROPOSED 6" PVC SANITARY SEWER AND SANITARY SEWER MANHOLE                                      | —LINE "S"—X—  |
| PROPOSED 6" SANITARY LATERAL AND SANITARY SEWER CLEAN-OUT                                      | —6" SSL—C.O.— |
| PROPOSED STORM PIPE, INLET AND END SECTION   | —S—           |
| PROPOSED UNDERDRAIN: SDR-35 PERFORATED DRAIN PIPE  | —X—UD—        |
| PROPOSED SOLID SDR-35 DRAIN PIPE TO POINT OF DISCHARGE   | —X—UDS—       |
| PROPOSED SCHEDULE 40 PVC PIPE ELECTRICAL GROUND (GREY) CONDUIT BURIED 18" BELOW FINISHED GRADE | —X—EG—        |
| PROPOSED CONTOUR   | —XXX—         |
| PROPOSED FLOW LINE   | —             |

NOTE: ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BLOOMINGTON UTILITY SPECIFICATIONS.  
 NOTE: ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SOUTH CENTRAL REGIONAL SEWER DISTRICT SPECIFICATIONS.

PROJECT: NORTH PARK TRACT B-2 INFRASTRUCTURE PLAN  
 DATE: 10/20/2023  
 DRAWN BY: JBF  
 CHECKED BY: JBF  
 SCALE: AS SHOWN  
 PROJECT NO: 401044

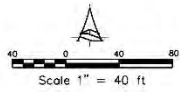
ARCHITECTURE  
 CIVIL ENGINEERING  
 PLANNING  
 BLOOMINGTON, INDIANA  
 BLOOMINGTON, INDIANA  
 (812) 336-2990 (Fax)  
 (812) 332-8130

**BBB**  
 BRYAN FANTO & ASSOCIATES, INC.  
 529 north walnut street  
 (812) 332-8130

SEAL: BRYAN FANTO & ASSOCIATES, INC. No. 18283 STATE OF INDIANA PROFESSIONAL ENGINEER

Proposed:  
**NORTH PARK TRACT B-2 INFRASTRUCTURE PLAN**  
 Bloomington, Indiana

Site: INFRASTRUCTURE PLAN



|                              |   |
|------------------------------|---|
| <b>CASE NUMBER</b>           | REZ-23-7  |
| <b>PLANNER</b>               | Drew Myers  |
| <b>PETITIONER</b>            | Dusty Taylor, TAYCon, LLC; Bryan Rental, Inc., owner                        |
| <b>REQUEST</b>               | Zoning Map Amendment from RE1 to LI   |
| <b>ADDRESS</b>               | 6610 W State Road 48, 53-09-03-200-011.000-015                              |
| <b>ACRES</b>                 | 9.08 +/- acres  |
| <b>ZONE</b>                  | Estate Residential 1 (RE1) and is within the Airport Noise Sensitivity Area |
| <b>TOWNSHIP</b>              | Van Buren   |
| <b>SECTION</b>               | 3   |
| <b>PLATS</b>                 | Unplatted   |
| <b>COMP PLAN DESIGNATION</b> | MCUA Rural Transition   |

**EXHIBITS**

1. Petitioner Letter to the Plan Commission
2. Consent Letter
3. Site Plan (Conceptual)
4. Estate Residential 1 (RE1) Use Table
5. Light Industrial (LI) Use Table

**RECOMMENDATION**

Recommendation to the Plan Commission:

- Staff recommends forwarding this petition with a positive recommendation to the Plan Commission based on the findings of fact and subject to the following conditions of approval:
  1. The petitioner submit a karst report for review by the MS4 Coordinator prior to site plan approval.

**PETITION TIMELINE**

**Plan Review Committee – January 11, 2024 (CANCELLED)**

**Plan Review Committee – February 8, 2024**

**Plan Commission Regular (Preliminary Hearing) – February 20, 2024**

- Waiver of Final Hearing requested.

**Plan Commission Regular (Final Hearing) – March 19, 2024 (if not waived at February hearing)**

**Board of Commissioners (Work Session) – TBD**

**Board of Commissioners (Formal Session) - TBD**

**SUMMARY**

The petitioner is seeking to rezone the property at 6610 W State Road 48 from Estate Residential 1 (RE1) to Light Industrial (LI) with the purpose of establishing a Business or Industrial Center to incorporate both General Contractor and Heavy Machinery Sales uses on the petition site. Please see Exhibit 3 for the conceptual site plan provided by the Petitioner. Should the rezone be approved by the Monroe County Board of Commissioners, the petitioner intends to file a Commercial Site Plan to be reviewed administratively by the Planning Department. If denied, the property would remain zoned Estate Residential 1 where the use of General Contractor and Heavy Machinery Sales is not permitted.

**BACKGROUND**

On November 1, 2023, Planning Staff met with the petitioner and property owner of 6610 W State Road 48 to discuss the possibility of starting up a General Contractor business on the property that would also offer the sale/rental of some equipment and machinery attachments. Staff discussed the current zoning of the property, the environmental conditions of the site, the Comprehensive Plan, the draft CDO zoning map, and the process to request a rezone. The petitioner submitted a use determination request where the

Planning Department confirmed the proposed commercial use would be classified as “General Contractor” and would require a rezone request to permit said use classification on the property. According to the Petitioner’s Letter to the Plan Commission (Exhibit 1), the petitioner mentions incorporating the “Heavy Machinery Sales” use classification with the use of General Contractor.

Chapter 802 of the Monroe County Zoning Ordinance:

**General Contractor.** An individual who contracts to perform building/structure construction related work or to provide supplies on a large scale, or an individual who contracts to erect buildings and/or other structures. Construction related work may include, but are not limited to, plumbing, landscaping, electrical, framing, concrete, masonry, roofing, etc.

**Heavy Machinery Sales.** Establishments primarily engaged in marketing heavy machinery, such as road construction and maintenance machinery, mining machinery, agricultural machinery, industrial machinery and equipment, and so forth.

**Business or Industrial Center.** A site developed and operated under single or common ownership to include of a mix of industrial and/or commercial uses where the majority of uses are permitted under the Business and Personal Services, Retail and Wholesale Trade and Manufacturing, Mining, Construction and Industrial use categories, with customer and employee parking provided on-site, provisions for goods delivery separated from customer access, aesthetic considerations and protection from the elements, and landscaping and signage in accordance with an approved plan.

#### **Estate Residential 1 (RE1) District – Chapter 833**

Estate Residential 1 (RE1) District. The intent of this district is to accommodate large lot, estate type residential uses in a rural environment along with limited compatible agricultural uses. It is meant specifically to:

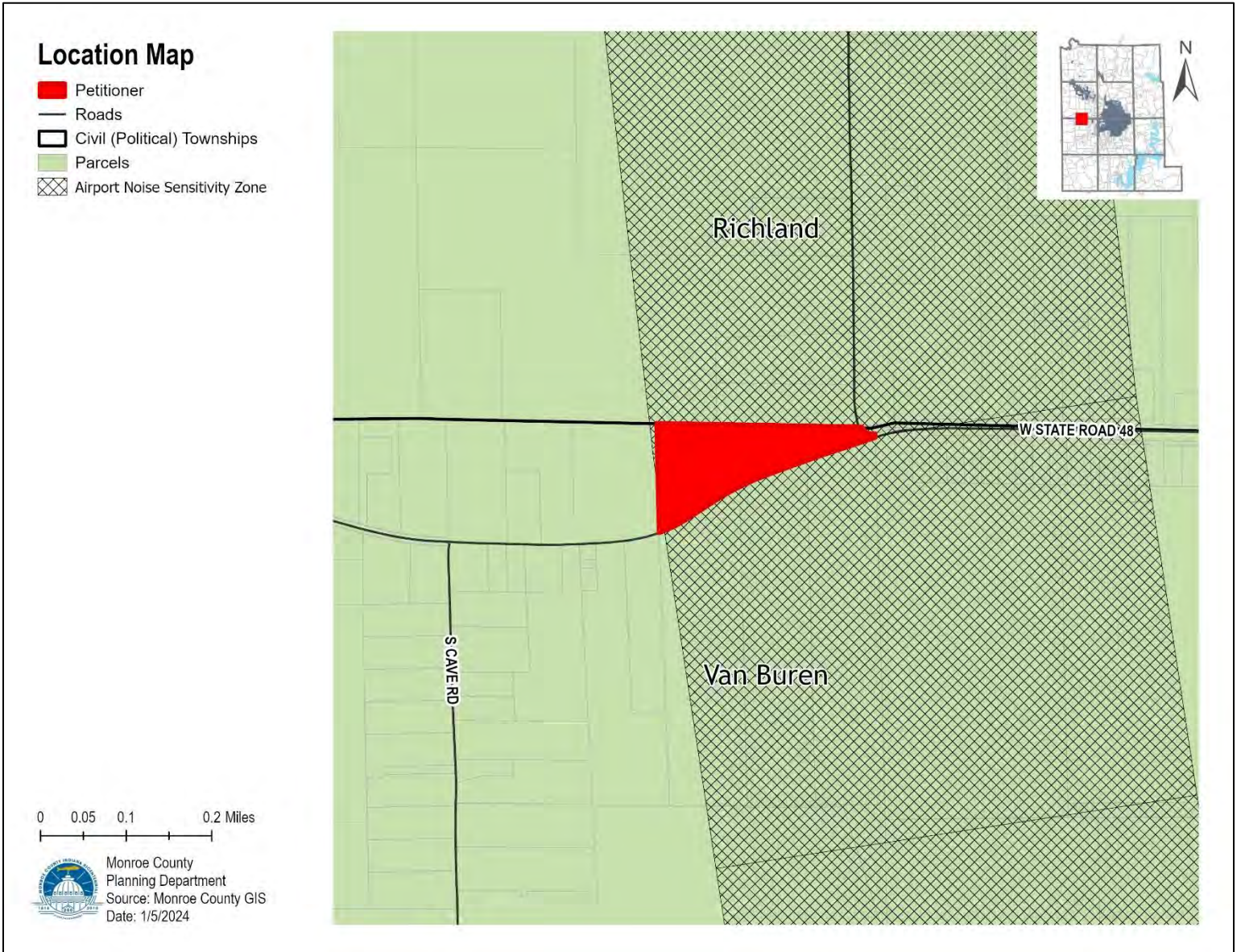
- A. Accommodate those persons who desire estate type living.
- B. Maintain a pattern of growth that is consistent with the cost-efficient provision of urban services to promoted compactness in the city structure.
- C. Provide for development in a rural setting not necessarily requiring urban utilities.
- D. Provide for limited compatible agricultural uses.

#### **Light Industrial (LI) District – Chapter 802**

The character of the Light Industrial (LI) District is defined as that which is primarily intended for industrial uses that have minimal exterior movement of vehicles and goods. Its purposes are: to establish areas for the exclusive development of light industries; to discourage residential and commercial uses; to protect environmentally sensitive areas, such as floodplain, karst, and steep slopes; and to maintain the character of the surrounding neighborhood. Uses shall be restricted to activities that are not a nuisance because of dust, fumes, noise, odor, refuse matter, smoke, vibration, water-carried waste or other adverse effects on surrounding uses. Some uses are conditionally permitted. The conditions placed on these uses are to insure their compatibility with adjacent non-industrial uses. The LI District shall provide open space, landscaping and buffering in order to achieve desirable site development.

**LOCATION MAP**

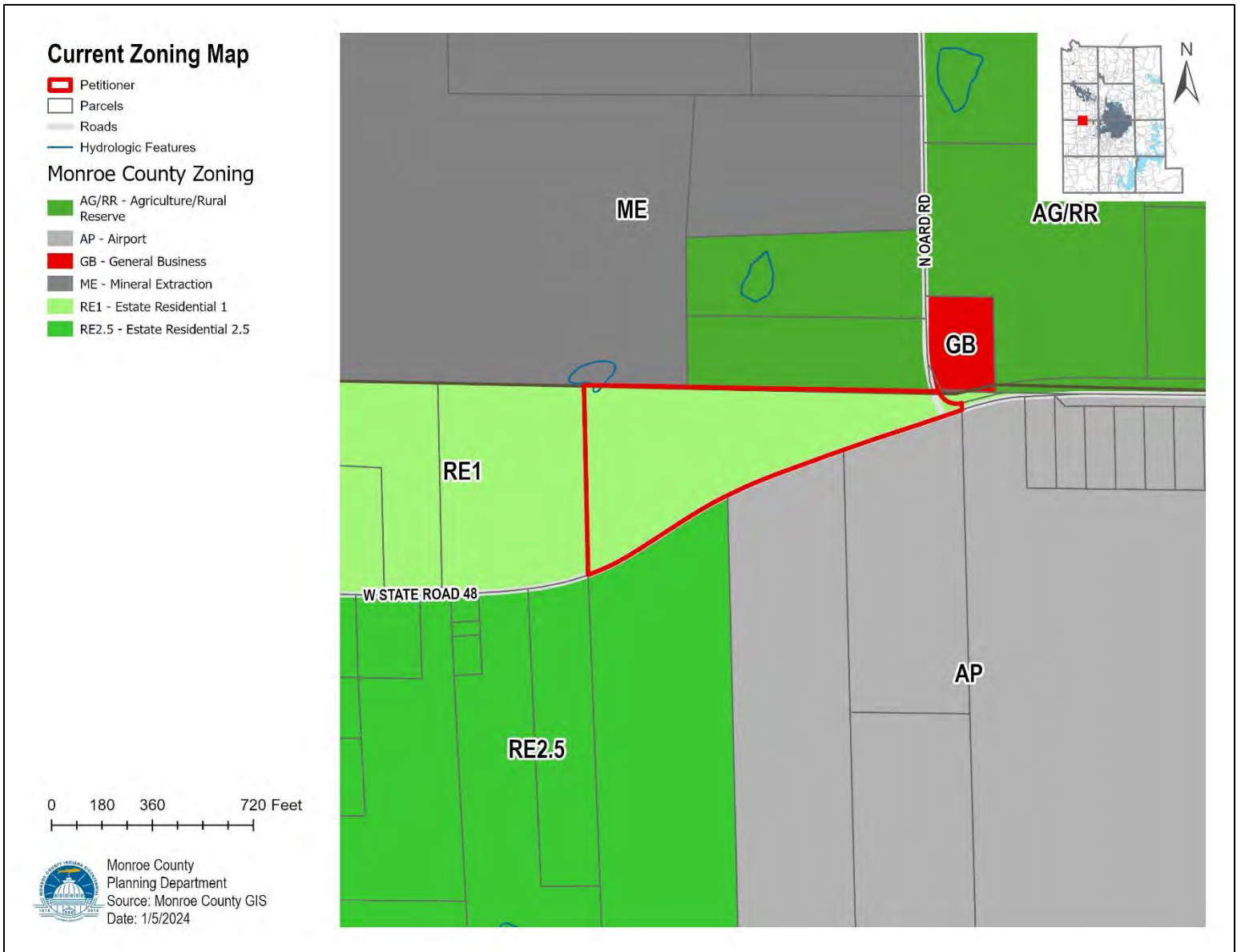
The petition site is located at 6610 W State Road 48, parcel #: 53-09-03-200-011.000-015. The property has frontage along W State Road 48 and contains 9.08 acres. The property is located within the Airport Noise Sensitivity Area.





### ZONING AND ADJACENT USES

The petition site is zoned Estate Residential 1 (RE1). Adjacent properties to the north are zoned either Mineral Extraction (ME), Agriculture/Rural Reserve (AG/RR), or General Business (GB). Adjacent properties to the south are zoned either Airport (AP) or Estate Residential 2.5 (RE2.5). Adjacent property to the west is zoned RE1.



**SITE CONDITIONS**

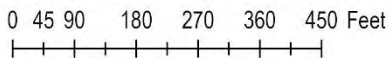
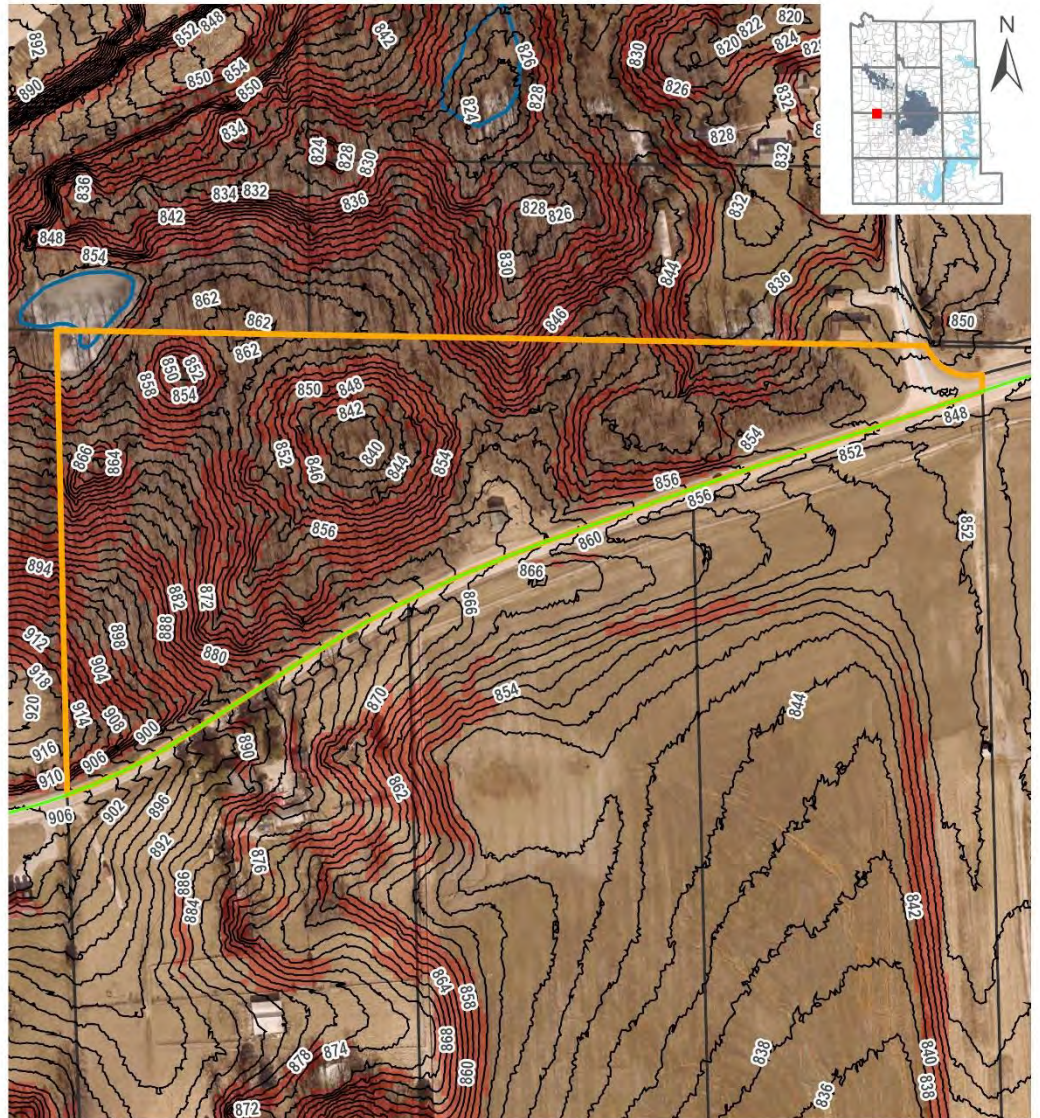
The petition site consists of one 9.08-acre parcel with an existing driveway cut to W State Road 48, which is designated as a minor arterial roadway per the Monroe County Thoroughfare Plan. The petition site contains an existing single-family residence, is heavily wooded, and exhibits slopes greater than 15 percent, which are classified as non-buildable area per Chapter 804 of the Monroe County Zoning Ordinance. The property also exhibits several apparent karst features based upon elevation contour data. The site does not exhibit any area designated as DNR floodplain and is not located in the Environmental Constraints Overlay.

**Kelsey Thetonia** Remove Comment • Dec 19, 2023 at 3:19 pm

This property is located within the Cave Creek critical watershed. Development of this site will require a drainage plan that complies with MCC Ch. 761 and critical watershed release rates. Additional water quality treatment measures can be required based on the proposed use. A karst report should also be submitted during site plan review.

**Site Conditions Map**

- Minor Arterial [100']
- Petitioner
- 2-Foot Contours
- 15% Slope (County/ECO2)**
- <VALUE>**
- 0 - 15
- > 15
- Local Roads [50']
- Hydrologic Features
- Parcels
- Critical Watersheds**
- Cave Creek



Monroe County  
 Planning Department  
 Source: Monroe County GIS  
 Date: 1/5/2024

**SITE PICTURES**



**Figure 1. Pictometry photo from east**



Figure 2. Pictometry photo from west



**Figure 3. Pictometry photo from the south**

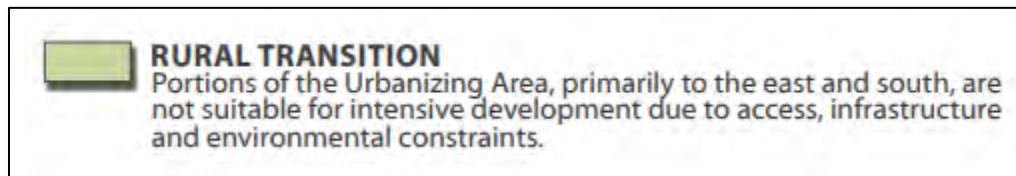


**Figure 4. Pictometry photo from the south (zoomed)**

## **COMPREHENSIVE PLAN DISCUSSION**

The petition site is located within the **MCUA Rural Transition** designation of the Comprehensive Plan. Points that align with the proposed rezone are highlighted in **green**. Points that differ from the district are highlighted in grey.

The petition site is located within the Monroe County Urbanizing Area – Rural Transition designation which states:



### **MUCA – RURAL TRANSITION**

These areas offer an opportunity to transition the scale and intensity of development along the urban to rural transect. Residential uses are low in density, primarily single-family, and typically are located along existing rural roadways rather than in subdivisions. Larger scale agricultural uses may occur within this area.

Within the Urbanizing Area, Rural Transition lands may serve as a “holding” land use category that **may be converted to other uses depending on future market demands and infrastructure expansion opportunities**. The most likely uses for conversion include Conservation Residential, Parks and Open Spaces, **Employment uses**, and Quarry expansions that are best suited for low-density, relatively isolated development contexts. The potential for conversion to other uses should be considered as part of future updates to the Urbanizing Area Plan.

### **A. TRANSPORTATION**

#### ***Streets***

Development in Rural Transition areas is intended to occur along existing rural roadways. These are typically designed with two travel lanes and a berm or shoulder with open drainage. New roadway construction will be minimal and will likely respond to broader safety or connectivity needs within the larger transportation system, rather than demand generated by new development within the Rural Transition area.

Automobile travel is necessary in rural areas. Care should be taken to avoid roadway improvements that prioritize speed and capacity at the expense of rural roadway character.

#### ***Bike, Pedestrian, and Transit Modes***

Due to the low-density character and distance from destinations, travel by foot will be less common in Rural Transition areas. However, bicycle travel should be encouraged. Opportunities to extend shared use/bicycle paths as part of a county-wide greenway system should be explored. Roadside paths may be appropriate in some cases, but care should be taken to preserve the scenic character of rural roadways. This can be accomplished through meandering alignments that provide space for landscape features such as mounding, fencing, limestone walls and naturalized plantings. Expansion opportunities for Rural Transit routes should be explored to enhance accessibility of more remote areas.

### **B. UTILITIES**

#### ***Sewer***

Sewer service in rural transition areas will be limited. Residential development is expected to continue using on-site sewage disposal (septic systems), provided there is sufficient space, topography and soil

conditions to meet minimum State and County installation and maintenance requirements.

### ***Power***

Overhead utility lines should be buried wherever feasible in the Rural Transition area.

### ***Communications***

Communications needs will vary within the rural transition neighborhoods, but upgrades to infrastructure need to be a key consideration for future development sites. Communications features will likely differ from all other areas of development since transportation and infrastructure improvement will be limited. Wireless towers should be located sensitively to minimize disruption to scenic viewsheds.

## **C. OPEN SPACE**

### ***Park Types***

Open spaces within Rural Transition areas should emphasize interconnected greenway systems and preservation of environmentally sensitive lands, whether public or private. Where feasible, shared use/bicycle paths should be provided to create continuous recreational and alternative transportation connections as part of the larger Monroe County system. Opportunities for new County parks should be explored, as well as opportunities for land preservation by private non-profit organizations such as the Sycamore Land Trust.

### ***Agriculture***

The Rural Transition area provides an opportunity to support food production within the Urbanizing Area. Particular emphasis should be placed on encouraging small-scale, locally-operated farming operations such as hobby farms, Community-Supported Agriculture (CSA), vineyards and orchards. These are vital elements of the local economy, and proximity to the City of Bloomington offers an opportunity to integrate these uses into the local Farm-to-Table and Farm-to-Institution supply chains.

## **D. PUBLIC REALM ENHANCEMENTS**

### ***Lighting***

Roadway lighting should be avoided on rural roadways to preserve rural character and minimize light pollution, except where necessary for safety.

### ***Street/Site Furnishings***

Street and site furnishings will be limited to public parks and greenways.

## **E. DEVELOPMENT GUIDELINES**

### ***Open Space***

Development in the Rural Transition area will typically not provide public open space but will be required to protect environmentally sensitive features as development occurs.

### ***Parking Ratios***

Parking needs are typically minimal for rural businesses, and requirements should be flexible based on the specific use.

### ***Site Design***

Subdivision of land along rural roadways should avoid creating “residential strips” that block scenic vistas and change the character of the roadway from rural to suburban. Building setbacks will vary based on topography but will typically exceed 50 feet and may be much larger.

## Building Form

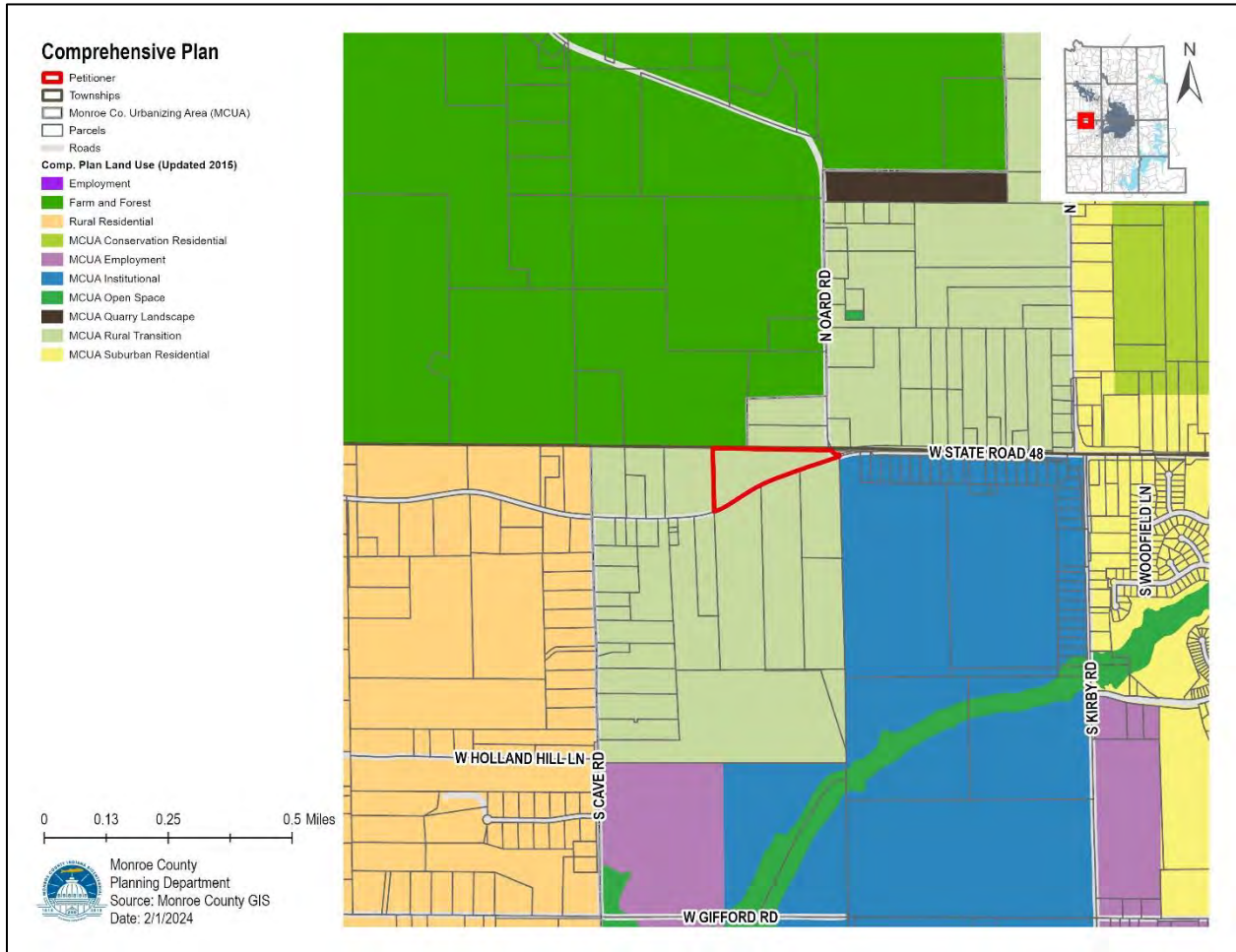
Simple building massings typical of rural places are encouraged.

## Materials

High quality materials, such as brick, stone, wood, and cementitious fiber should be encouraged. Rural development will typically require a lower degree of aesthetic scrutiny than is typical of higher density development areas; however, basic aesthetic standards should be met.

## Private Signs

Residential development will typically not include signs, unless the residence is also operated as a business. Business signs will typically be ground mounted monument-style or post-style signs and should be limited to no more than six feet in height. Signs should be secured to the ground and should not include changeable copy. Signs may be painted on barns in the manner of historic rural barn signs.





## **FINDINGS OF FACT - REZONE**

In preparing and considering proposals to amend the text or maps of this Zoning Ordinance, the Plan Commission and the Board of County Commissioners shall pay reasonable regard to:

### **(A) The Comprehensive Plan;**

#### **Findings:**

- The rezone request is to change the zone for the petition site from Estate Residential 1 (RE1) to Light Industrial (LI);
- The Comprehensive Plan designates the petition site as MCUA Rural Transition;
- The current number of permitted or conditional uses in the RE1 zone is 21. If rezoned to LI, the petitioner would have approximately 93 permitted or conditional uses to choose from;
- If the rezone request is denied, the property remains eligible for any of the currently permitted or conditional uses under the RE1 zone;
- If the rezone request is approved, the petitioner will be required to submit a commercial site plan for review by County staff for the operation of a Business or Industrial Center;

### **(B) Current conditions and the character of current structures and uses in each district;**

#### **Findings:**

- See Findings under Section A;
- The current use of the petition site is single-family residential;
- The rezone request is to change the zoning for the site to Light Industrial (LI), which is described by the County's Zoning Ordinance, Chapter 802, as follows:

***Light Industrial (LI) District.** The character of the Light Industrial (LI) District is defined as that which is primarily intended for industrial uses that have minimal exterior movement of vehicles and goods. Its purposes are: to establish areas for the exclusive development of light industries; to discourage residential and commercial uses; to protect environmentally sensitive areas, such as floodplain, karst, and steep slopes; and to maintain the character of the surrounding neighborhood. Uses shall be restricted to activities that are not a nuisance because of dust, fumes, noise, odor, refuse matter, smoke, vibration, water-carried waste or other adverse effects on surrounding uses. Some uses are conditionally permitted. The conditions placed on these uses are to insure their compatibility with adjacent non-industrial uses. The LI District shall provide open space, landscaping and buffering in order to achieve desirable site development.*

- The petition site is currently zoned Estate Residential 1 (RE1);
- There is an existing driveway cut off W State Road 48;
- The petition site does exhibit slopes greater than 15 percent (see Site Conditions Map);
- The petition site does appear to exhibit several karst features;
- The petition site is not located in DNR Floodplain;
- The petition site is not located in the Environmental Constraints Overlay;

### **(C) The most desirable use for which the land in each district is adapted;**

#### **Findings:**

- See Findings under Section A and Section B;
- The surrounding parcels are zoned ME, AG/RR, GB, AP, RE2.5, or RE1;
- As of the date of this report's publishing, the draft County Development Ordinance zoning map indicates this property will transition from the RE1 zone to the Suburban Density (SD) zone;

- The petition site is located within the Airport Noise Sensitivity Area, which discourages residential development;

**(D) The conservation of property values throughout the jurisdiction; and**

**Findings:**

- Property value tends to be subjective;
- The effect of the approval of the rezone on property values is difficult to determine;

**(E) Responsible development and growth.**

**Findings:**

- See Findings under Section A, Section B, and Section C;
- The property is located in the Airport Noise Sensitivity Area;
- According to the Monroe County Thoroughfare Plan, W State Road 48 is listed as a Minor Arterial roadway;
- W State Road 48 is under the jurisdiction of the Indiana Department of Transportation (INDOT);
- The petition site exhibits an existing driveway cut, which serves an existing single-family residence;
- There is no access to sewer on this property for future use;

**EXHIBIT 1: Petitioner Letter to the Plan Commission**



**TAYLOR CONSTRUCTION AND EXCAVATING LLC**  
7455 W. Gifford Rd.  
BLOOMINGTON, INDIANA 47403  
PHONE (812) 322-3284

12/5/2023

Plan Commission  
501 N. Morton Street, Suite 224  
Bloomington IN 47404

RE: Letter to Plan Commission – 6610 West State Road 48 – Taylor Construction and Excavating, LLC

To whom this may concern,

Taylor Construction and Excavating LLC (“Petitioner”) is seeking to purchase the +- 9.08-acre lot situated at northwest corner of SR 48 & N. Oard Rd.; 6610 West State Road 48. The lot is currently zoned Estate Residential 1 (RE1), which does not allow the use of the property for the Petitioner’s business. The Petitioner locally owns an excavating business, with ancillary sales of equipment. The Petitioner performs contracting work within Monroe County and surrounding areas. This site allows the Petitioner to easily access the interstate and is positioned well to capture traffic on SR 48 along with traffic heading to Rogers Group. If granted the zoning request, the Petitioner plans on building a shop + offices to house their business, and stage their equipment. The two uses that are required for the Petitioner’s use are (i) General Contractor and (ii) Heavy Machinery Sales. Both uses are covered under Light Industrial (LI) zoning, which the Petitioner seeks to be granted. The Petitioner intends to fully comply with Monroe Country rules and ordinances and is looking forward to activating an otherwise vacant house.

**About**

Taylor Construction and Excavating LLC is owned by Dustin Taylor, a local resident of Monroe County. Dustin is a third-generation excavator and has been working in the Monroe County excavating business since 1994. Dustin has five full-time employees and plans to grow. Dustin chose this specific site as it allows him and his employees to easily commute from home along with traveling to job sites. Dustin works with institutional companies, locals and everyone in-between. Dustin prides himself on being a valued member of the community and his work speaks for itself.

Bryan Rental Inc. is the recorded owner of 6610 West State Road 48, and fully supports the Petitioner. Byran Rental Inc. employs the Petitioner on many jobs and views the Petitioner as a friend.

We look forward to working with Plan Commission and are happy to answer any/all questions.

Sincerely,

Dustin Taylor, Owner  
Taylor Construction and Excavating, LLC

**EXHIBIT 2: Consent Letter**



**BRYAN RENTAL INC.**  
**Residential Housing, and Commercial Leasing**  
**1440 S. LIBERTY DRIVE**  
**BLOOMINGTON, INDIANA 47403**  
**PHONE (812) 334-1936**  
**FAX (812) 334-2130**

12/5/2023

Monroe County Planning Department  
501 N. Morton Street, Suite 224  
Bloomington IN 47404

RE: Letter of Consent – 6610 West State Road 48 – Taylor Construction and Excavating, LLC

To whom this may concern,

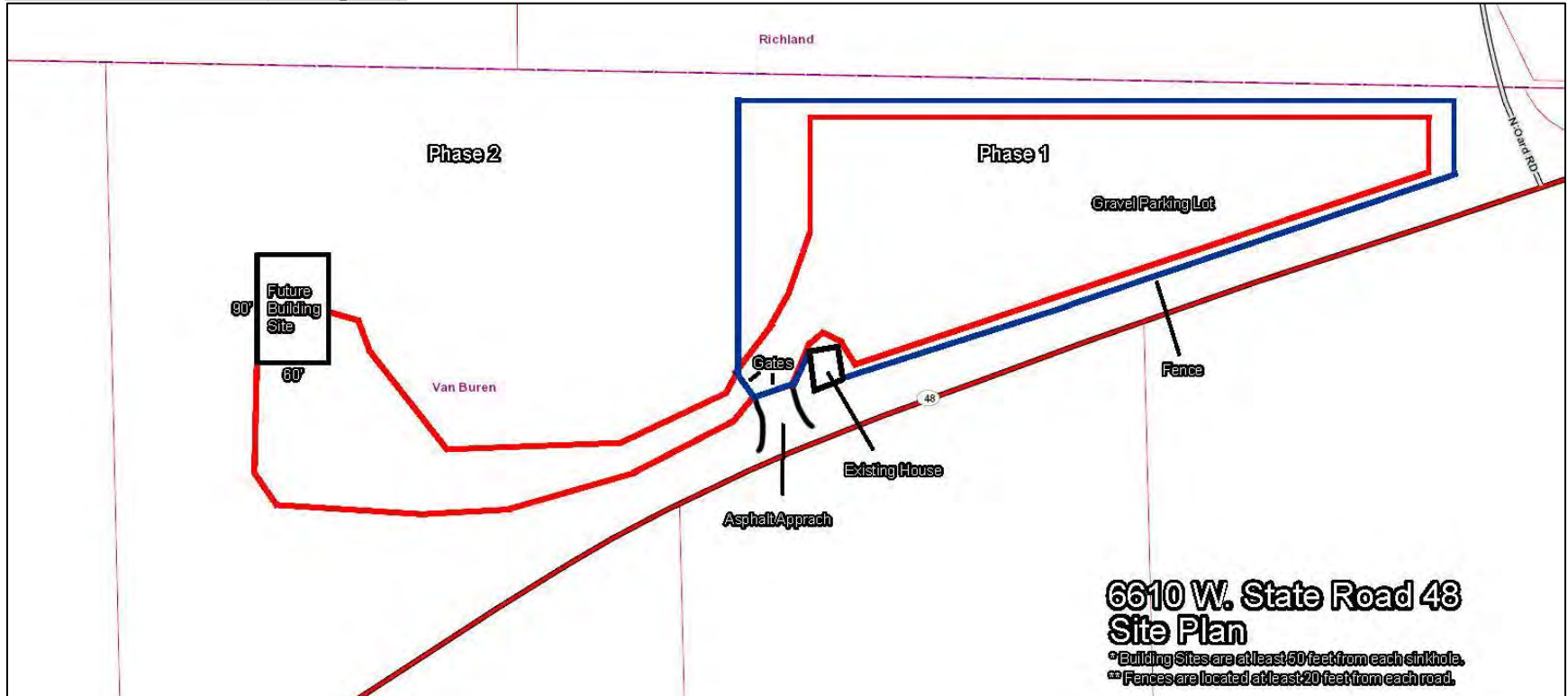
Bryan Rental Inc. is the recorded owner of 6610 West State Road 48. Taylor Construction and Excavating, LLC, owned by Dustin Taylor, has our permission to move forward with the Rezone on the property's behalf.

Sincerely,

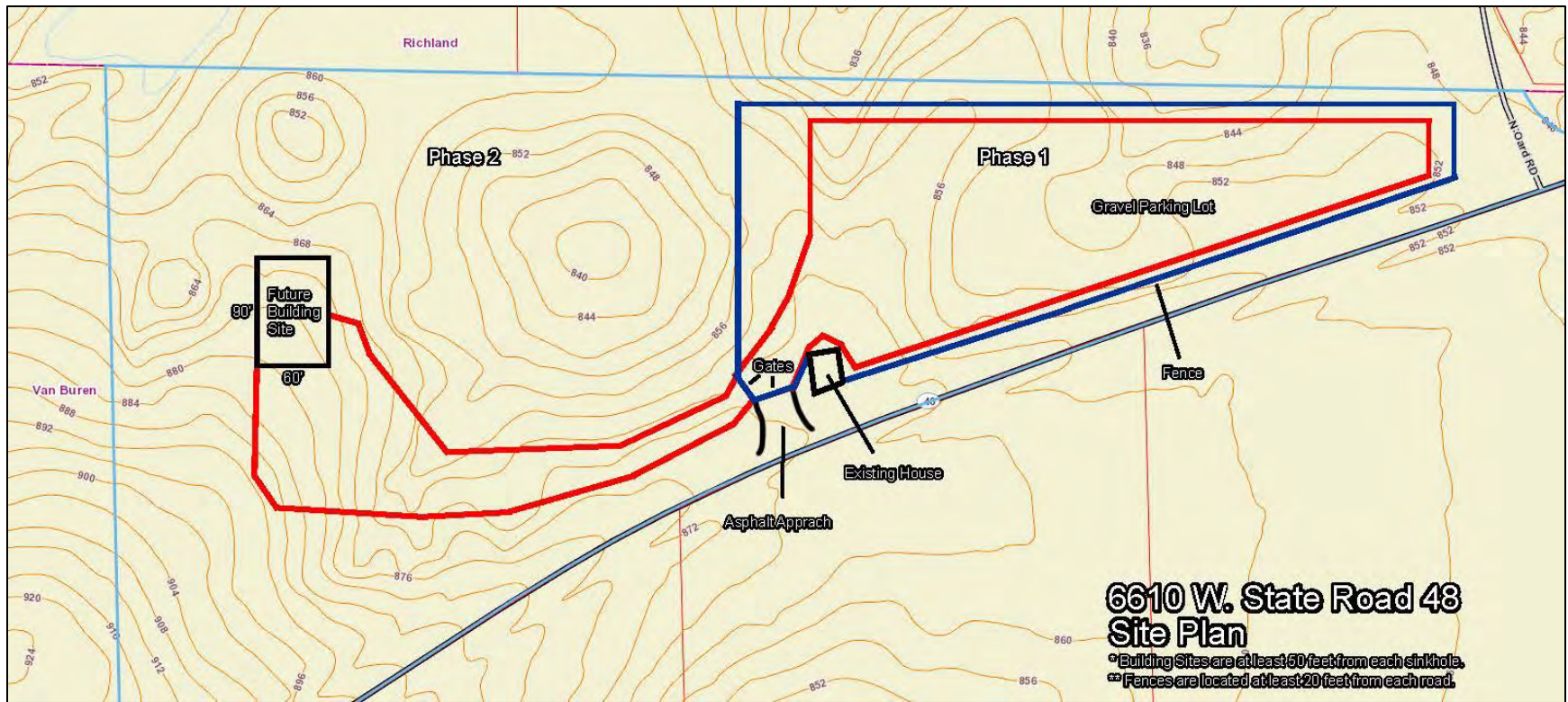
A handwritten signature in blue ink that reads "David H. Kamen".

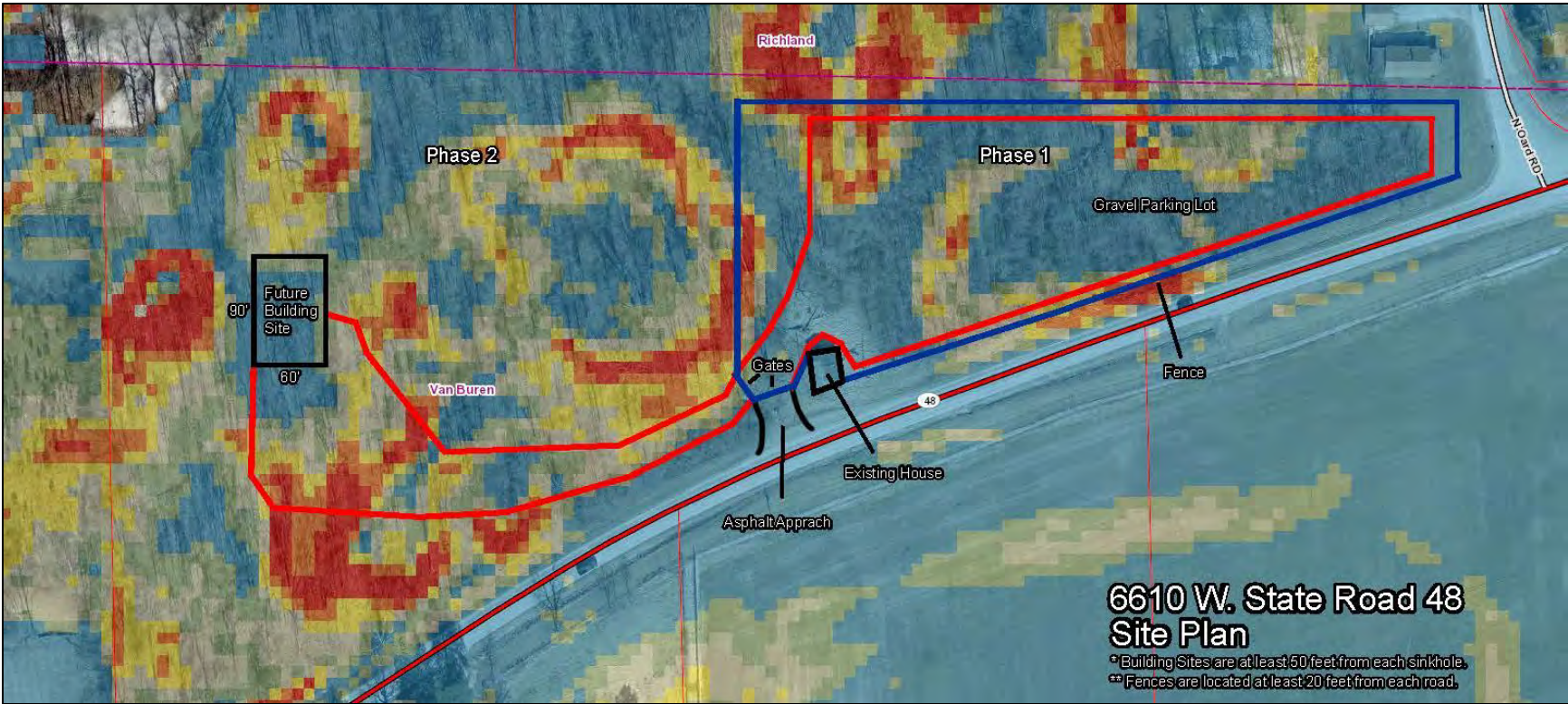
David H. Kamen, President  
Bryan Rental Inc.

**EXHIBIT 3: Site Plan (Conceptual)**

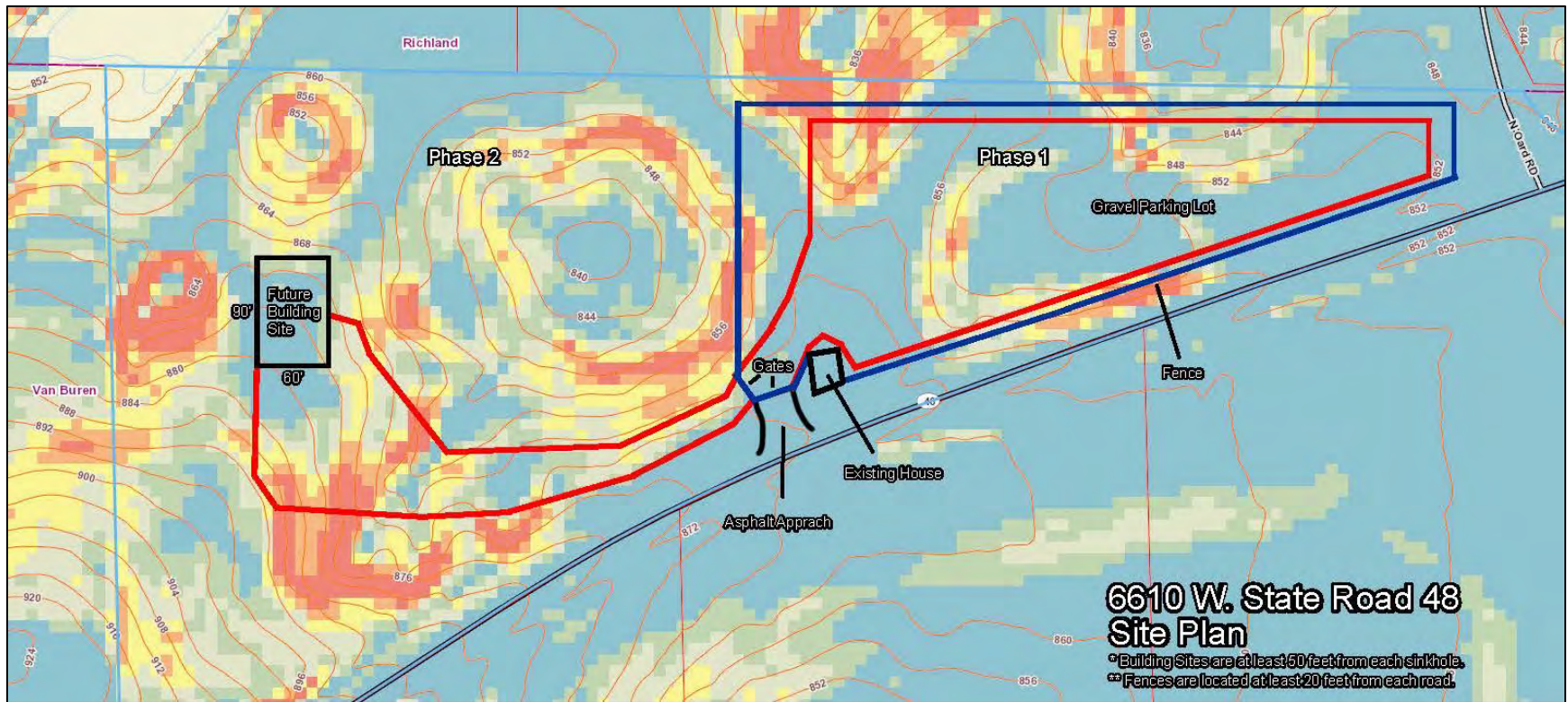












**EXHIBIT 5: RE1 Use Table**

| Uses                                 | RE1 | Conditions |
|--------------------------------------|-----|------------|
| Bed and breakfast                    | C   | 7;14       |
| Cemeteries                           | P   |            |
| Churches                             | C   |            |
| Crops and pasturage                  | P   | 1          |
| Day care centers                     | C   |            |
| Fire stations                        | C   |            |
| Golf courses                         | C   |            |
| Historic adaptive reuse              | C   |            |
| Home occupations                     | C   | 16         |
| Parks and playgrounds                | P   |            |
| Police stations                      | C   |            |
| Public libraries/museums             | C   |            |
| Rehabilitative facilities            | C   |            |
| Residential care homes for develop   | P   | 2          |
| Residential care homes for mentall   | P   | 3          |
| Residential care homes for up to fiv | P   | 4          |
| Schools                              | C   |            |
| Single family detached dwellings     | P   | 8          |
| Swim clubs                           | C   |            |
| Tennis clubs                         | C   |            |
| Utility substations and transmission | P   | 5          |

**EXHIBIT 6: LI Use Table**

| LIGHT INDUSTRIAL USES                                   |          |    |                                       |          |    |                                      |          |    |
|---|----------|----|---------------------------------------|----------|----|--------------------------------------|----------|----|
| Agricultural Uses                                       | <i>i</i> | LI | Retail and Wholesale Trade            | <i>i</i> | LI | Manufacturing, Mining                | <i>i</i> | LI |
| Accessory Use   |          | P  | Accessory Use                         |          | P  | Accessory Use                        |          | P  |
| Agricultural Uses-Land Animal                           | H        | P  | Auction House                         | H        | P  | Apparel                              | H        | P  |
| Agricultural Uses-Non Animal                            | H        | P  | Bakery (Wholesale)                    | L        | P  | Appliance Assembly                   | H        | P  |
| Feed Mill   | L        | P  | Building Materials                    | H        | P  | Beverage Products                    | H        | P  |
| Historic Adaptive Reuse                                 |          | P  | Fertilizer Sales (Packaged)           | M        | P  | Bottling Machinery                   | L        | P  |
| Stockyard   | H        | P  | Florist (Wholesale)                   | N        | P  | Commercial Printing                  | H        | P  |
| Historic Adaptive Reuse                                 |          | P  | Garden Center                         | H        | P  | Construction Trailer                 | L        | P  |
| <b>Public and Semipublic</b>                            | <i>i</i> | LI | Gunshop                               | M        | CU | Electronic Devises and               | L        | P  |
| Accessory Use   |          | P  | Heavy Machinery Sales                 | M        | P  | Engineering and Scientific           | L        | P  |
| Daycare Facility  | M        | P  | Historic Adaptive Reuse               |          | P  | Food Products                        | M        | P  |
| Historic Adaptive Reuse                                 |          | P  | Industrial Supplies                   | L        | P  | Furniture                            | H        | P  |
| Remote Garbage/Rubbish Removal                          | H        | P  | Office Showroom                       | M        | P  | General Contractor                   | M        | P  |
| Solar Farm  | L        | C  | <b>Automotive and Transportation</b>  | <i>i</i> | LI | Historic Adaptive Reuse              |          | P  |
| Telephone and Telegraph Services                        | L        | P  | Accessory Use                         |          | P  | Jewelry Products                     | L        | P  |
| Utility Service Facility                                | M        | P  | Automotive Paint Shop                 | L        | P  | Laboratories                         | M        | P  |
| Wastewater Treatment Facility                           | H        | P  | Automotive/Boat Repair Shop           | H        | P  | Leather Goods                        | L        | P  |
| Water Treatment Facility                                | H        | P  | Automotive Tire Repair                | M        | P  | Machine Assembly                     | M        | P  |
| <b>Business and Personal Services</b>                   | <i>i</i> | LI | Cold Storage Plant                    | L        | P  | Machine Shop                         | H        | P  |
| Accessory Use   |          | P  | Gasoline Services Station             | H        | P  | Metal Fabrication                    | H        | P  |
| Air Cargo and Package Service                           | H        | P  | Historic Adaptive Reuse               |          | P  | Metalworking Machinery               | M        | P  |
| Air Craft Charter Service                               | L        | P  | Transfer or Storage Terminal          | H        | P  | Musical Instruments                  | L        | P  |
| Appliance Repair  | L        | P  | Wrecker Service                       | M        | P  | Office and Computer Equipment        | H        | P  |
| Convenience Storage                                     | M        | P  | Accessory Use                         |          | P  | Optical Instruments and Lenses       | L        | P  |
| Electrical Repair                                       | L        | P  | Historic Adaptive Reuse               |          | P  | Paper Products                       | M        | P  |
| Exterminating Service                                   | L        | P  | <b>Park and Recreational Services</b> | H        | P  | Plastic Products Assembly            | H        | P  |
| Gunsmith  | L        | P  |                                       |          |    | Plating and Polishing                | L        | P  |
| Historic Adaptive Reuse                                 |          | P  |                                       |          |    | Sign and Advertising Displays        | L        | P  |
| Industrial Equipment Repair                             | L        | P  |                                       |          |    | Warehousing and Distribution         | H        | P  |
| Kennel, including commercial animal breeding operations | H        | P  |                                       |          |    | Watches and Clocks                   | L        | P  |
| Locksmith   | L        | P  |                                       |          |    | Welding                              | L        | P  |
| Office  | L        | P  |                                       |          |    | Wood Products                        | M        | P  |
| Office Equipment Repair                                 | L        | P  |                                       |          |    | <b>Multi-Use</b>                     | <i>i</i> | LI |
| Parking Facility  | H        | P  |                                       |          |    | Business or Industrial Center        | H        | P  |
| Small Engine and Motor Repair                           | L        | P  |                                       |          |    | Commerical/Industrial Adaptive Reuse |          | P  |
| Taxidermist   | L        | P  |                                       |          |    |                                      |          |    |
| Upholstery Service                                      | L        | P  |                                       |          |    |                                      |          |    |
| Veterinary Service (Indoor)                             | H        | P  |                                       |          |    |                                      |          |    |
| Veterinary Service (Outdoor)                            | M        | P  |                                       |          |    |                                      |          |    |