

MONROE COUNTY BOARD OF ZONING APPEALS



**Wednesday, April 3, 2024
5:30 p.m.**

Hybrid Meeting

In-person

Judge Nat U. Hill III Meeting Room
100 W. Kirkwood Avenue
Bloomington, Indiana

Virtual

[Virtual Video Conference Link](#)

Meeting ID: 243 701 254 286

Passcode: ADuR7f

If calling into the video conference meeting (audio only), dial: +1 872-242-9432

When prompted, enter the Phone Conference ID: 836 586 379#

**AGENDA
MONROE COUNTY BOARD OF ZONING APPEALS (BZA)**

HYBRID MEETING

When: April 3, 2024 at 5:30 PM

Where: Monroe County Courthouse, 100 W Kirkwood Ave., Bloomington, IN 47404 Nat U Hill Room

[Virtual Video Conference Link](#)

Meeting ID: 243 701 254 286

Passcode: ADuR7f

If calling into the video conference meeting (audio only), dial: +1 872-242-9432

When prompted, enter the Phone Conference ID: 836 586 379#

CALL TO ORDER

ROLL CALL

INTRODUCTION OF EVIDENCE

APPROVAL OF AGENDA

APPROVAL OF MINUTES: **None.**

ADMINISTRATIVE BUSINESS: **None**

OLD BUSINESS: **None.**

NEW BUSINESS:

- | | | |
|----------------------|--|----------------|
| 1. VAR-24-9a | Holden Minimum Lot Size Variance from Chapter 804 | PAGE 4 |
| 2. VAR-24-9b | Holden Minimum Lot Width Variance from Chapter 804
One (1) 0.75 +/- acre parcel in Van Buren Township, Section 29
9100-9000 block W Elwren RD, parcel # 53-09-29-200-010.000-015
Owner: Holden, Adam W & Holden, Debra
Zoned AG/RR. Contact: dmyers@co.monroe.in.us | |
| 3. VAR-24-10a | Sullivan Minimum Lot Size Variance from Chapter 804 | PAGE 12 |
| 4. VAR-24-10b | Sullivan Minimum Lot Width Variance from Chapter 804
One (1) 1.90 +/- acre parcel in Polk Township, Section 28
9140 S Chapel Hill RD, parcel # 53-12-28-200-001.000-010.
Owner: Sullivan, Eva.
Zoned FR. Contact: drbrown@co.monroe.in.us | |
| 5. VAR-24-11a | Morken Minimum Lot Size Variance from Chapter 804 | PAGE 25 |
| 6. VAR-24-11b | Morken Minimum Lot Width Variance from Chapter 804 | |
| 7. VAR-24-11c | Morken Front Yard Setback Variance to Chapter 804 | |
| 8. VAR-24-11d | Morken ECO 1 Minimum Lake Frontage Requirement Variance to Chapter 825
One (1) 0.82 +/- parcel in Clear Creek Township, Section 24 at
8035 E Hardin Ridge RD, parcel #53-11-24-400-017.000-006.
Owner: Morken, Michael.
Zoned: FR. Contact: shawnsmith@co.monroe.in.us | |

NOTE: This is a virtual meeting via video conference as authorized by executive orders issued by the Governor of the State of Indiana. Please contact the Monroe County Planning Department at PlanningOffice@co.monroe.in.us or by phone (812) 349-2560 for the direct web link to this virtual meeting.

Written comments regarding agenda items may only be submitted by email until normal public meetings resume. Please submit correspondence to the Board of Zoning Appeals at: PlanningOffice@co.monroe.in.us no later than April 3, 2024, at 4:00 PM.

Said hearing will be held in accordance with the provisions of: IC 36-7-4-100 et seq.; & the County Code, Zoning Ordinance, and the Rules of the Board of Zoning Appeals of Monroe County, IN. All persons affected by said proposals may be heard at this time, & the hearing may be continued as necessary.

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service, or activity of Monroe County, should contact Monroe County Title VI Coordinator Angie Purdie, (812)-349-2553, apurdie@co.monroe.in.us, as soon as possible but no later than forty-eight (48) hours before the scheduled event.

Individuals requiring special language services should, if possible, contact the Monroe County Government Title VI Coordinator at least seventy-two (72) hours prior to the date on which the services will be needed.

The meeting will be open to the public via video conference.



MONROE COUNTY BOARD OF ZONING APPEALS

Public Meeting Date: April 3, 2024

CASE NUMBER	DETAIL	RECOMMENDED MOTION
VAR-24-9a	Minimum Lot Size Chapter 804	Approval
VAR-24-9b	Minimum Lot Width Chapter 804	Approval

812-6 Standards for Design Standards Variance Approval: In order to approve an application for a design standards variance, the Board must find favorable findings for all three (3) criteria, A, B, and C, listed after the agenda within the BZA packet.

Recommended Motion Conditions or Reasoning:

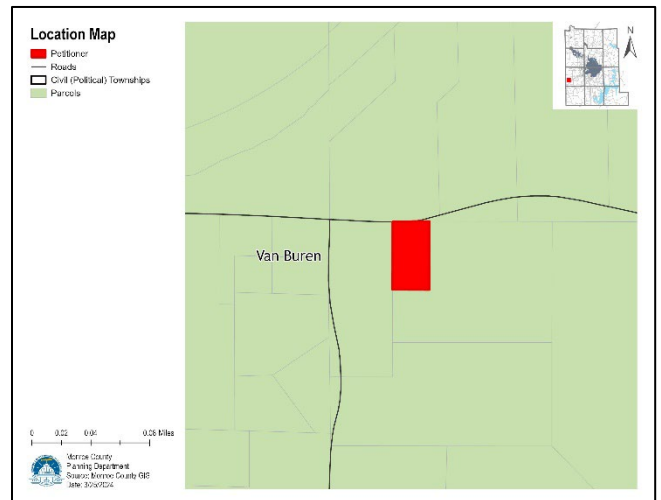
Approve Minimum Lot Size: Any new development on the property would first require a minimum lot size variance. The property currently contains an existing single-family residence.

Approve Minimum Lot Width: Any new development on the property would first require a minimum lot width variance. The property currently contains an existing single-family residence.

Variance Type: Design Use
 Residential Commercial

Planner: Drew Myers

PETITIONER	Holden, Adam W & Holden, Debra (owners & applicants)	
ADDRESS	9051 W Elwren Road 53-09-29-200-010.000-015	
TOWNSHIP + SECTION	Van Buren Township, 29	
PLATS	<input checked="" type="checkbox"/> Unplatted <input type="checkbox"/> Platted:	
ACREAGE +/-	0.75 acres	
	PETITION SITE	ADJACENT
ZONING	AG/RR	AG/RR
COMP PLAN	Farm and Forest	Farm and Forest
USE	Vacant	Residential



SUMMARY

The petitioner is seeking a minimum lot size variance and a minimum lot width variance for the subject property to obtain the appropriate permits to construct a single-family residence. The proposed location of the single-family residence as illustrated by the petitioner’s conceptual site plan appears to meet all setbacks and buildable area requirements. Based on available aerial imagery, the property appears to have exhibited a manufactured home as late as 2005. The subject property is zoned Agriculture/Rural Reserve (AG/RR), contains 0.75 acres, and measures approximately 130 feet wide at building line. Chapter 804 of the Monroe County Zoning Ordinance requires property in the AG/RR zone to have a minimum of 2.5 acres and measure at least 200 feet at building line. If the variance is approved, the property owner will need to submit a residential building permit application complete with a certified plot plan and also provide evidence of a valid septic permit issued by the Monroe

County Health Department. A Right-of-Way Activity permit may be required from the Highway Department as well.

DISCUSSION

In February 2024, the petitioner (Adam Holden) requested staff's assistance in evaluating the requirements to construct a new residence on this vacant property. Planning Staff communicated to the petitioner the lot size and lot width deficiencies of the property within the AG/RR zone and the need for design standards variances. Planning Staff also communicated the new construction will require a certified plot plan in order to receive an improvement location permit from the Planning Department, and the need for a septic permit and possibly a right-of-way activity permit from the Health and Highway Departments, respectively. The property has an active septic permit application under **WW-24-41** and there is no record of a right-of-way activity permit application at the time of this report's publication.

Through the review process of the variance application, staff coordinated with the petitioner to review all available deed records for the property in question. After a review of the deed record dating back to the 1940s, Planning Staff was able to confirm that the property is considered a legal lot or record.

EXHIBITS - Immediately following report

- 1. County Site Conditions Map
- 2. Staff Site visit photos
- 3. Petition Letter
- 4. Petitioner Site Plan

EXHIBIT 1: County Site Conditions Map

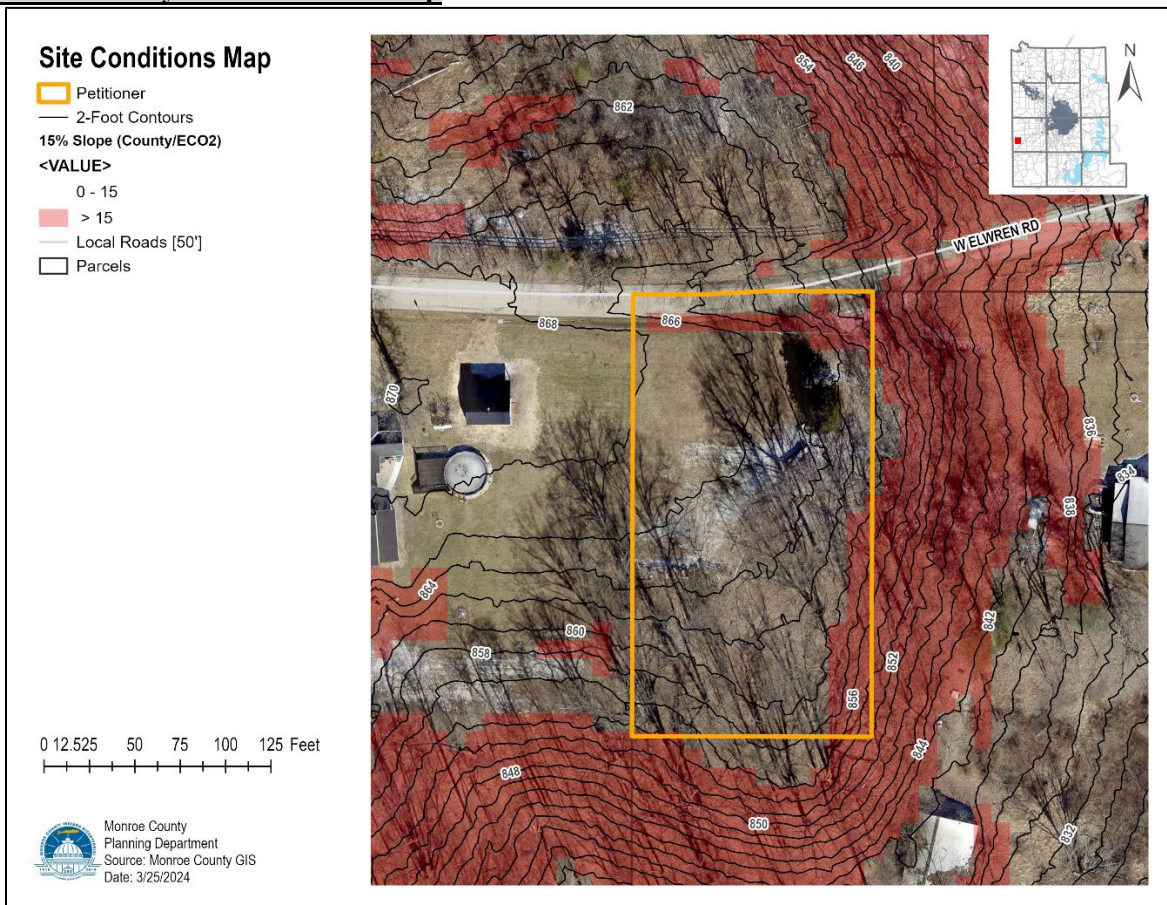


EXHIBIT 2: Staff Site Visit Photos



Photo 1: Aerial view of petition site from the south (2023)



Photo 2: Aerial view of petition site from the south (2023)



Photo 3: Street view of petition site from northwest (Jul 2023)



Photo 4: Street view of petition site from northeast (Jul 2023)

EXHIBIT 3: Petitioner Letter

Monroe County Planning Department
501 N. Morton Street, Suite 224
Bloomington, IN 47404

RE: Variance Application – Tax Parcel#53-09-29-200-010.000-015

Thank you for your consideration of my application for both a size and width variance on the above referenced property. This is a .75 acre parcel adjacent to our primary residence located at 9125 W. Elwren Rd. in Bloomington that we wish to build a new home on for my aging in-laws.

I have included a proposed site plan, copy of the recorded deed, and a receipt from the Monroe County Health Department for payment of a new septic application.

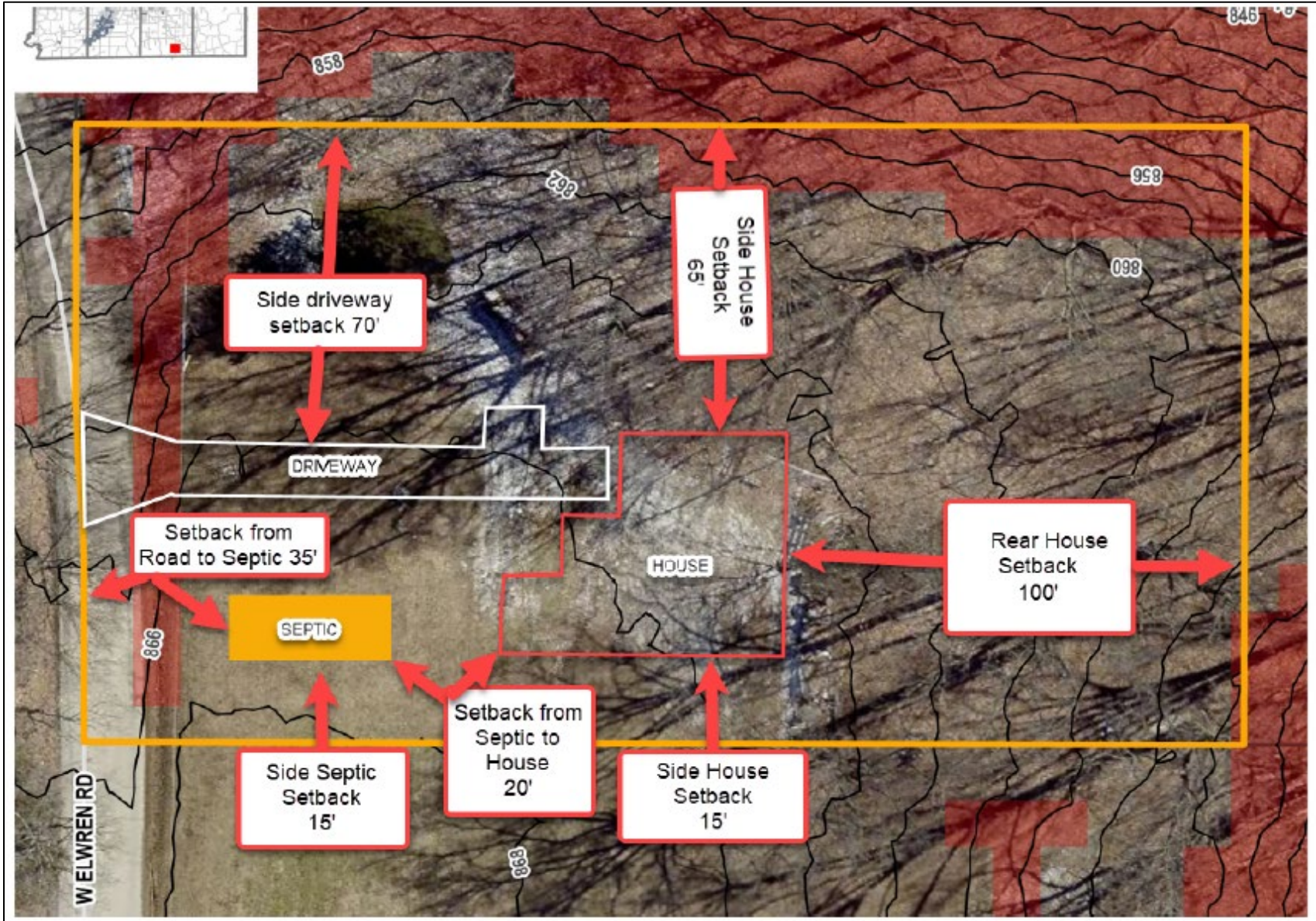
Thank you again for your consideration.

Respectfully,

A handwritten signature in black ink, appearing to read 'A. Holden', with a long horizontal flourish extending to the right.

Adam W. Holden

EXHIBIT 4: Petitioner Site Plan





MONROE COUNTY BOARD OF ZONING APPEALS

Public Meeting Date: **April 3, 2024**

CASE NUMBER	DETAIL	RECOMMENDED MOTION
VAR-24-10a	Minimum Lot Size	Approval
VAR-24-10b	Minimum Lot Width	Approval

812-6 Standards for Design Standards Variance Approval: In order to approve an application for a design standards variance, the Board must find favorable findings for all three (3) criteria, A, B, and C, listed after the agenda within the BZA packet.

Recommended Motion Conditions or Reasoning:

Staff recommends **approval** of VAR-24-10a and VAR-24-10b due to the pre-existing, non-conforming nature of the lot.

Variance Type: <input checked="" type="checkbox"/> Design <input type="checkbox"/> Use		Planner: Daniel Brown
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial		
PETITIONER	Sullivan, Eva (Owner)	
ADDRESS	9140 S Chapel Hill RD 53-12-28-200-001.000-010	
TOWNSHIP + SECTION	Polk, Section 28	
PLATS	<input checked="" type="checkbox"/> Unplatted <input type="checkbox"/> Platted:	
ACREAGE +/-	1.90 acres	
	PETITION SITE	ADJACENT
ZONING	Forest Reserve	Forest Reserve
Comprehensive Plan	Farm and Forest	Farm and Forest, Managed Lands
USE	Single-family Residential	Single-family Residential, Vacant

SUMMARY

The petitioner is requesting two Design Standards Variances with the purpose of replacing their current manufactured home, which measures approximately 14 feet by 50 feet, with a larger home measuring an approximate 30 feet by 60 feet.

However, the property is only 1.9 acres, while the minimum lot size for its zoning district – Forest Reserve – is 5 acres. Furthermore, it was measured that the lot is only approximately 177 feet across at the proposed building line, and at no point does the property meet the minimum lot width for the Forest Reserve zoning, which is 200 feet. Thus, these two variances were triggered. There has been no Residential Building Permit applied for at this time.

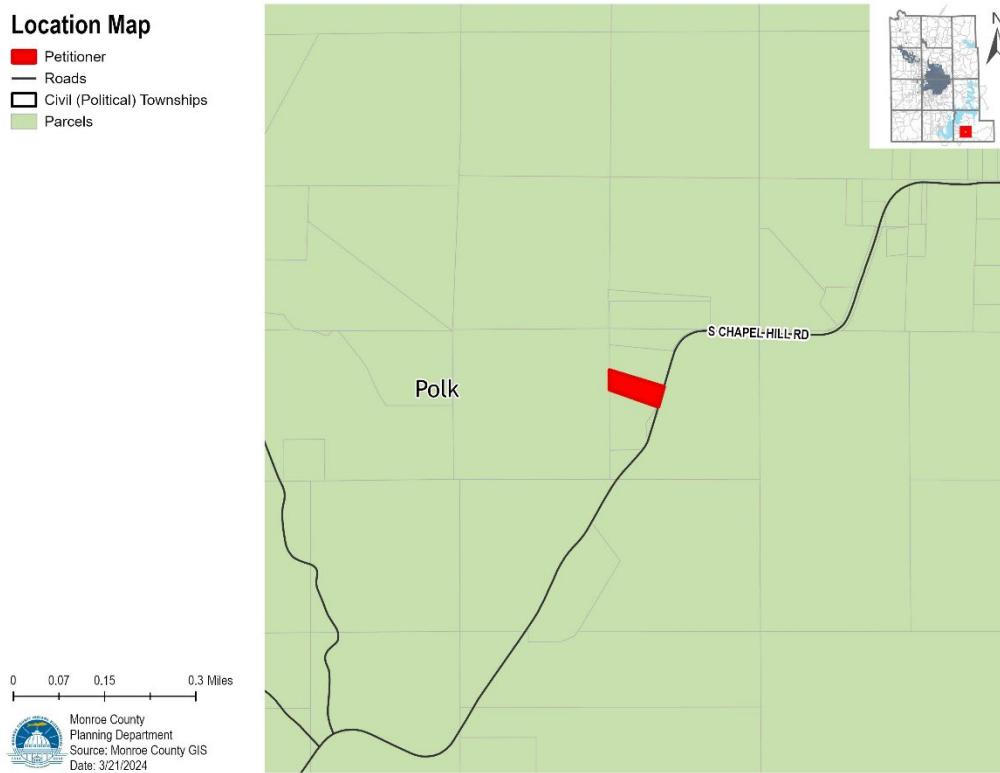
If the design standards variance is **approved**, the petitioner will be able to continue with their plans and comply with all other building and zoning codes. If the design standards variance is denied, the petitioner will be required to rezone their property to a zoning district in which the property will comply with the requirements for minimum lot size and minimum lot width.

EXHIBITS

1. Site Maps
2. Staff Visit Photos

- 3. Petitioner Letter
- 4. Petitioner Site Plan

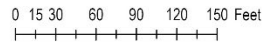
EXHIBIT 1: Site Maps



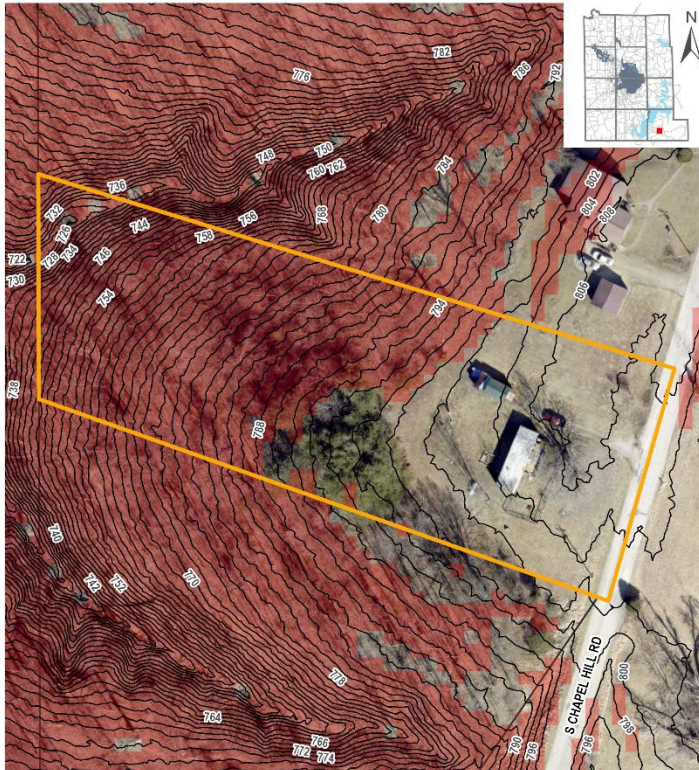
Above, the Location Map of the petition property; Below, the Site Conditions Map

Site Conditions Map

-  Petitioner
-  2-Foot Contours
- 15% Slope (County/ECO2)**
- <VALUE>**
-  0 - 15
-  > 15
-  Local Roads [50']
-  Parcels

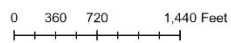


Monroe County
 Planning Department
 Source: Monroe County GIS
 Date: 3/21/2024

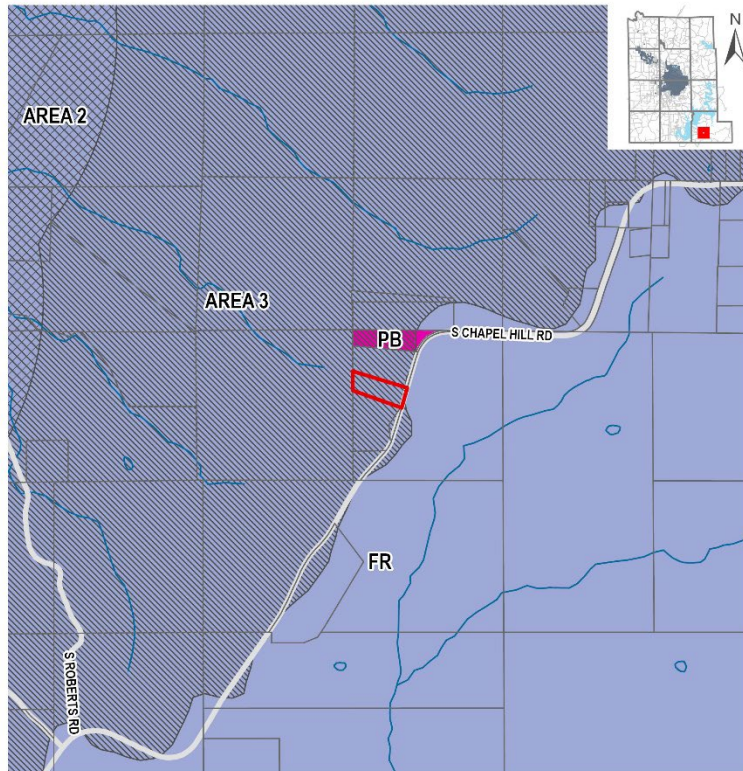


Current Zoning Map

-  Petitioner
-  Parcels
-  Roads
-  Hydrologic Features
- ECO Areas**
-  Area 2
-  Area 3
- Monroe County Zoning**
-  FR - Forest Reserve
-  PB - Pre-Existing Business



Monroe County
 Planning Department
 Source: Monroe County GIS
 Date: 3/21/2024



Above, the Current Zoning Map of the petition property; Below, the Comprehensive Plan Map

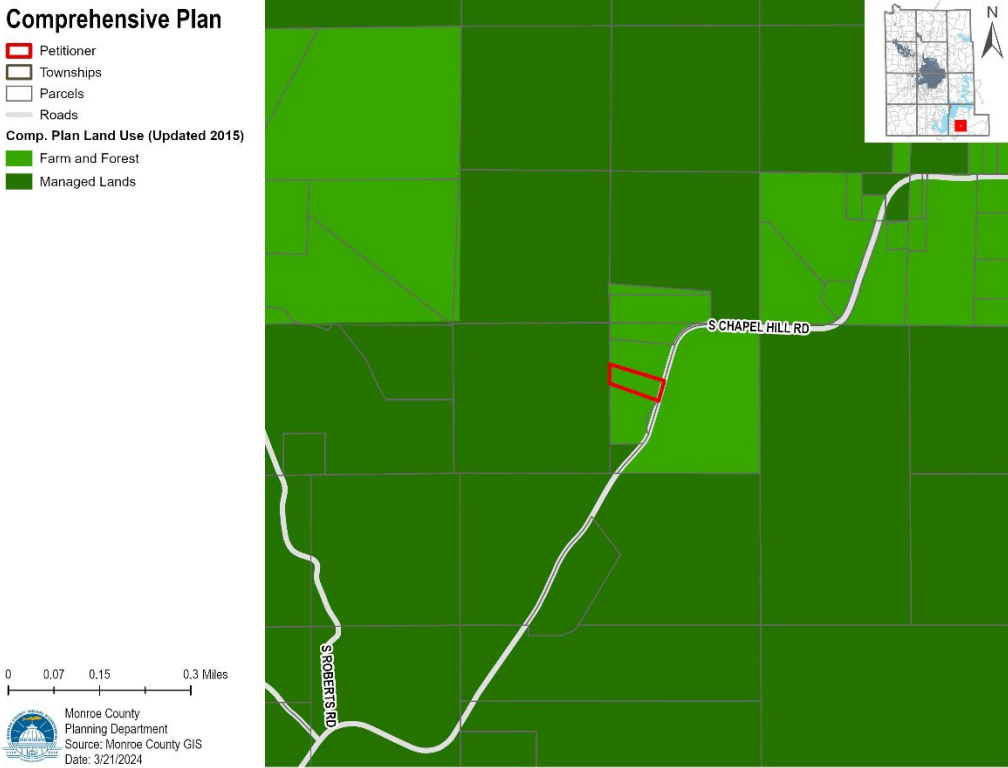


EXHIBIT 2: Site Photos



Top: The Lot from the east side of Chapel Hill RD. Bottom: A closer view of the existing structures



EXHIBIT 3: Petitioner Letter



3.5.24

Attention Board of Zoning Appeals,

I am requesting a minimum lot size variance for my property located at 9140 S Chapel Hill Rd, Heltonville, Indiana. This request is to replace my existing mobile home which needs expensive repairs with a new modular home from Clear Creek Homes. I plan on using my existing utilities and septic system which is approved for a 2-bedroom home, which this new home will be. I appreciate your consideration.

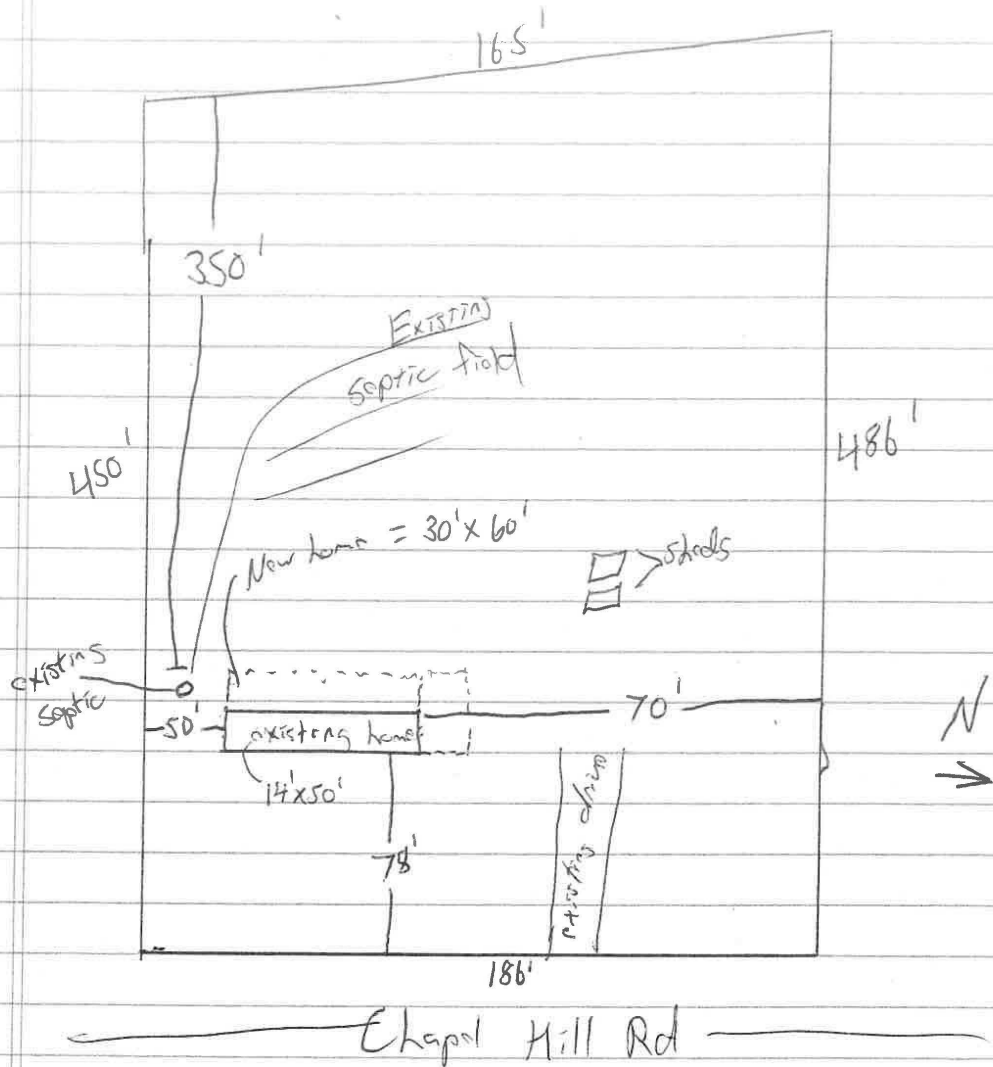
Sincerely,

Eva Southern

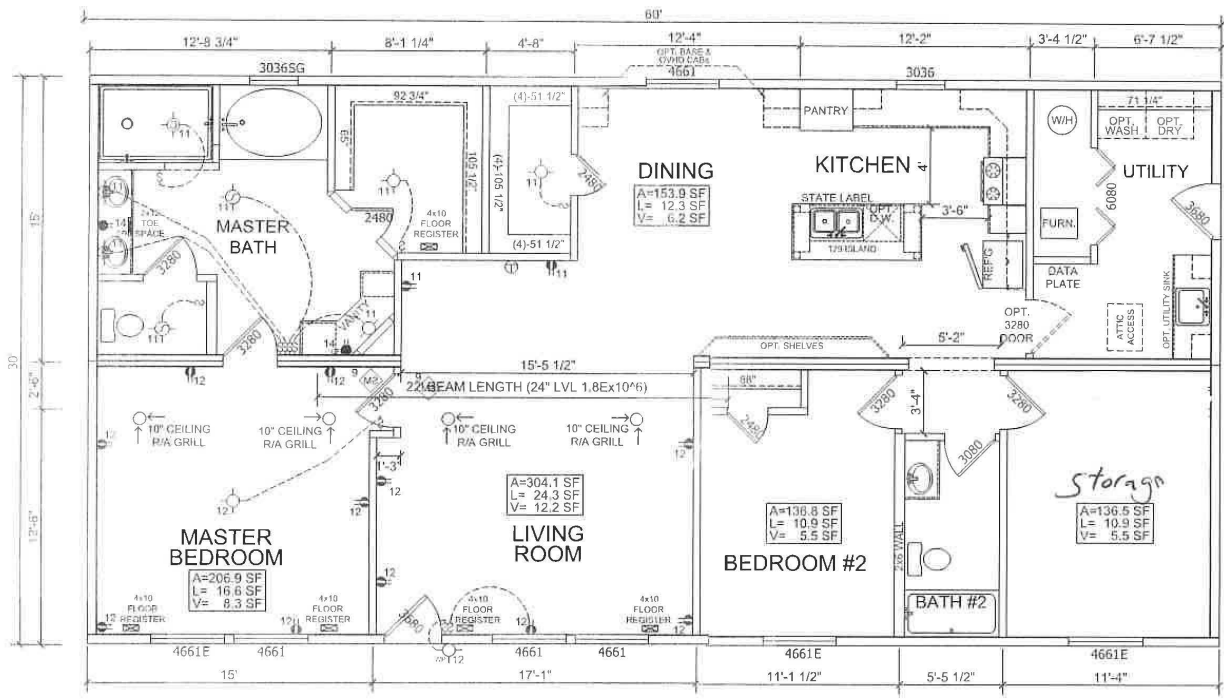


EXHIBIT 4: Petitioner Site Plan

Site Plan - 9140 S Chapel Hill Rd
Heitenvill, IN



For Eva Southern



3x6 STUD OPENING

SPAN	RANCH	TWO STORY
1	15'-0"	15'-0"
2	15'-0"	15'-0"
3	15'-0"	15'-0"
4	15'-0"	15'-0"
5	15'-0"	15'-0"
6	15'-0"	15'-0"
7	15'-0"	15'-0"

3-2x6 #2 SPF HEADERS ABOVE OPENINGS UP TO 5'-11"
 3-2x8 #2 SPF HEADERS ABOVE ALL OPENINGS UP TO 7'-6"

EXTERIOR WALL JACK STUD(S)

2x6 STUD GRADE SPF - MINIMUM	26W/26W RANCH	30W RANCH	30W TWO STORY 28W CAPE	GROUND SNOW ZONE
1 JACK	11'-0"	10'-0"	7'-0"	50 OR 76 PSF
2 JACKS	21'-0"	21'-0"	15'-0"	50 OR 76 PSF

EXTERIOR WALL JAMB STUD(S)
 (RANCH, CAPE COD, OR TWO STORY 30 WIDE MAX)

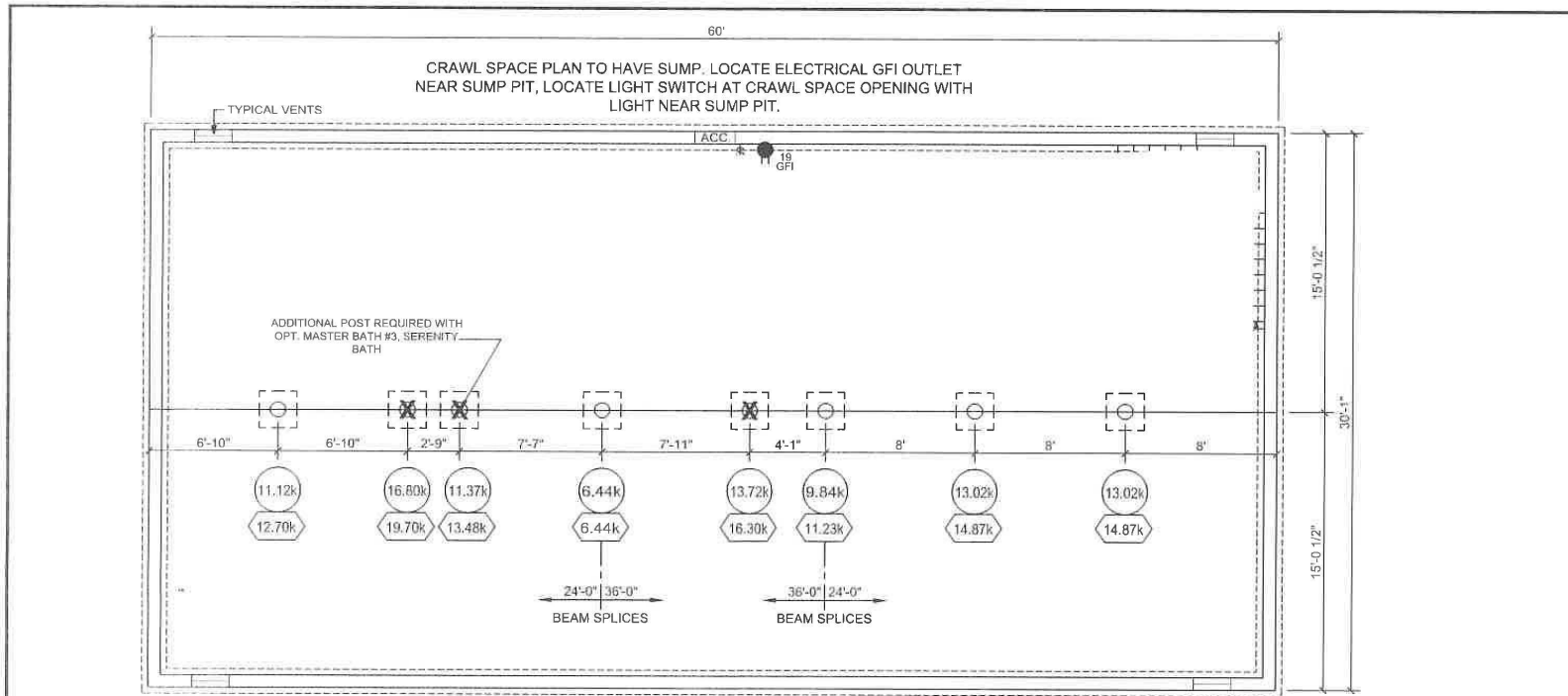
2x6 STUD GRADE SPF - MINIMUM	96" WALL	108" WALL	90 MPH EXP-C
1 JAMB	3'-7"	2'-8"	CORNER
2 JAMBS	7'-5"	6'-0"	CORNER
3 JAMBS	11'-2"	8'-5"	NON-CORNER
4 JAMBS	15'-0"	11'-2"	CORNER

* DESIGNATES FIELD WORK

- GENERAL NOTES:
1. ALL INTERIOR WALLS 2x4 UNLESS MARKED OTHERWISE.
 2. ALL EXTERIOR WALLS 2x6 UNLESS MARKED OTHERWISE.
 3. HALL WIDTH A MINIMUM OF 36" FINISHED.

4. FOR GENERAL ALTERNATES SEE PAGES G 2.9 AND G 5.0.
5. WINDOWS SHOWN TO MEET 8% LIGHT AND 4% VENT.
6. ALL PENETRATIONS THRU CEILING AND FLOOR TO BE FIRESTOPPED.
7. STATE INSIGNIAS ARE TO BE SHOWN WHERE STATE LABEL LOCATIONS ARE CALLED OUT. THEY MAY VARY FROM WHERE SHOWN TO MEET STATE REQUIREMENTS.

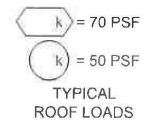
<p>308 SHERIDAN DRIVE TOPEKA, IN 46571</p>	<p>APPROVER'S SEAL</p>	<p>MODIFICATIONS</p> <table border="1"> <tr> <td>1</td> <td>REMOVED 6" WALL MBATH</td> <td>---</td> <td>09-03-14</td> </tr> <tr> <td>2</td> <td>2015 UPDATES</td> <td>---</td> <td>11-14-14</td> </tr> <tr> <td>3</td> <td>ADDED CHASE TO UTILITY</td> <td>ZM</td> <td>08-22-16</td> </tr> </table>	1	REMOVED 6" WALL MBATH	---	09-03-14	2	2015 UPDATES	---	11-14-14	3	ADDED CHASE TO UTILITY	ZM	08-22-16	<p>MODEL: MOD 3264 218 30'-0"x60'-0" 3BR 2BATH - RANCH</p>	<p>SHEET: AP-101</p>
		1	REMOVED 6" WALL MBATH	---	09-03-14											
2	2015 UPDATES	---	11-14-14													
3	ADDED CHASE TO UTILITY	ZM	08-22-16													
<p>PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION COPYRIGHT © 1976-2008 BY CHAMPION</p>		<p>TITLE: FLOOR PLAN</p>	<p>DRAWN BY: JMD SCALE: 1/8" = 1'-0"</p>	<p>DATE: 01-28-19 Page: 1 of 24</p>												



NOTES:

1. Splices in mating line girders shall be supported by column posts or I-beam.
2. Dealer/installer may use I-beam under mate wall to increase jack post spacing. Consult a local Professional Engineer.
3. Crawl space ventilation to equal 1/150th of the total area.
4. Crawl space access minimum size to be 18" x 24" with removable cover.
5. Continuous foundation support required at interior braced wall lines at intervals not exceeding 50 feet when located in Seismic Design Category D2.
6. For additional general electrical notes see page EL-1.0.
7. For additional general foundation notes see page G-4.0.

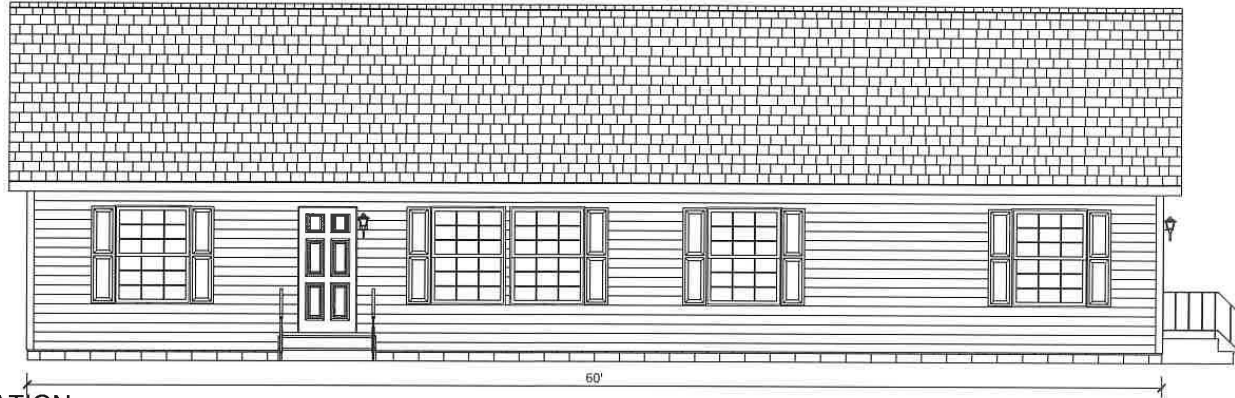
* All basements and every sleeping room shall have at least one operable emergency rescue or exterior door opening for emergency escape and rescue. A window shall have a sill height not more than 44 inches above the floor.
This is on-site work and not the responsibility of the manufacturer.



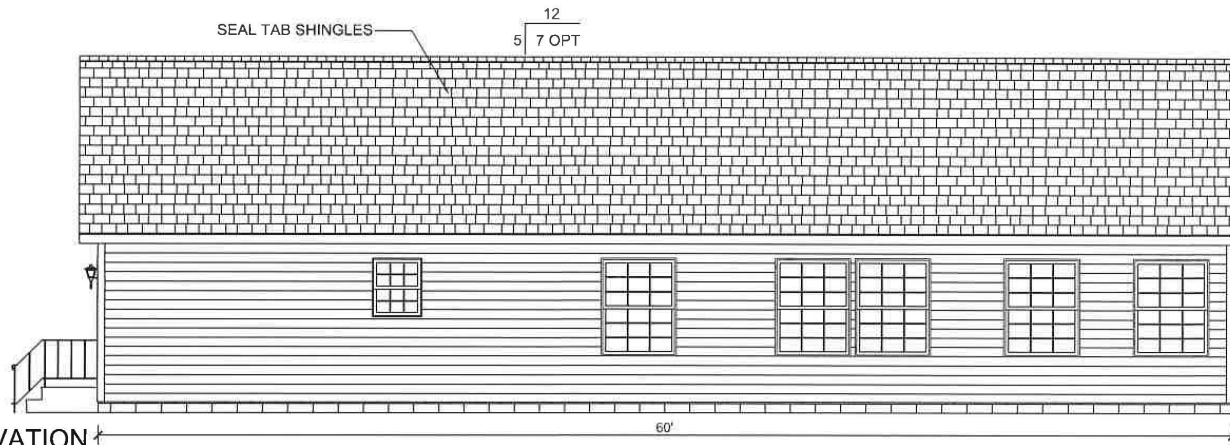
<p>308 SHERIDAN DRIVE TOPEKA, IN 46571</p>	APPROVER'S SEAL	MODIFICATIONS	MODEL: MOD 3264 218 30'-0"x60'-0" 3BR 2BATH - RANCH		SHEET:
			TITLE: PERIMETER FOUNDATION		F-101
PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 1976-2008 BY CHAMPION			DRAWN BY: JMD	DATE: 01-28-19	
			SCALE: 1/8" = 1'-0"	Page: 18 of 24	

GENERAL NOTES:


1. VINYL SHUTTERS SHOWN ARE STANDARD FRONT SIDE ONLY.
2. ALL WINDOWS SINGLE HUNG INSULATED LOW E.
3. SIDING IS VINYL LAP FACTORY APPLIED OVER 3/8" MIN OSB SHEATHING AND POLYETHYLENE FABRIC HOMEWRAP SHEATHING PAPER (PRIMEWRAP OR EQUAL) INSTALLED TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (SIDING FOR ENDS IS SHIPPED LOOSE FOR FIELD INSTALLATION BY OTHERS.)
4. PERIMETER ROOF OVERHANG IS PERFORATED METAL OR VINYL SOFFIT WITH VENTILATION TO THE ATTIC SPACE.
5. SOME STANDARD AND OPTIONAL FEATURES ARE SHOWN.
6. ALL GUTTERS, DOWN SPOUTS, STEPS AND HANDRAILS BY OWNER.
7. FOUNDATION WINDOWS AND/OR VENTS NOT SHOWN.
8. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA.



FRONT ELEVATION



REAR ELEVATION

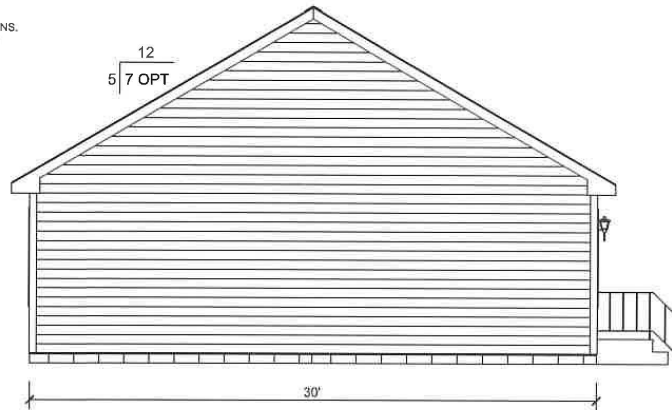
 308 SHERIDAN DRIVE TOPEKA, IN 46571	APPROVER'S SEAL	MODIFICATIONS	MODEL: MOD 3264 218 30'-0" x 60'-0" 3BR 2BATH - RANCH	SHEET:
			TITLE: ELEVATION PLAN	EV-101
		PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 1976-2008 BY CHAMPION	DRAWN BY: JMD	DATE: 01-28-19
			SCALE: 1/8" = 1'-0"	Page: 16 of 24

GENERAL NOTES:

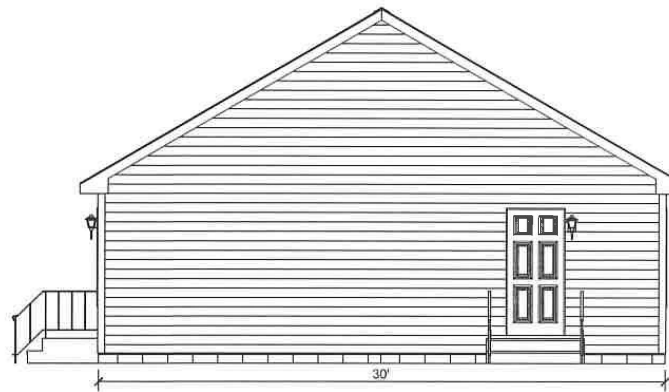
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5. SOME STANDARD AND OPTIONAL FEATURES ARE SHOWN.
6. ALL GUTTERS, DOWN SPOUTS, STEPS AND HANDRAILS BY OWNER.
7. FOUNDATION WINDOWS AND/OR VENTS NOT SHOWN.
8. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA.
9. OWNER SHOULD GIVE CONSIDERATION TO WINDOW AND DOOR LOCATIONS WHEN PLANNING FOR A SITE BUILT GARAGE.

* DESIGNATES FIELD WORK

LEFT ELEVATION



RIGHT ELEVATION



CHAMPION 

308 SHERIDAN DRIVE TOPEKA, IN 46571

APPROVER'S SEAL

MODIFICATIONS

MODEL: **MOD 3264 218**
30'-0" x 60'-0" 3BR 2BATH - RANCH

SHEET:

TITLE: **ELEVATION PLAN**

EV-102

PROPRIETARY AND CONFIDENTIAL
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DRAWN BY: JMD

DATE: 01-28-19

SCALE: 1/8" = 1'-0"

Page: 17 of 24



MONROE COUNTY BOARD OF ZONING APPEALS

Public Meeting Date: **April 3, 2024**

CASE NUMBER	DETAIL	RECOMMENDED MOTION
VAR-24-11a	Minimum Lot Size to Chapter 804	Approval
VAR-24-11b	Minimum Lot Width to Chapter 804	Approval
VAR-24-11c	Front Yard Setback to Chapter 804	Approval
VAR-24-11d	ECO 1 – Minimum Lake Frontage Requirement to Chapter 825, One Acre of Contiguous Buildable	Approval with Conditions

812-6 Standards for Design Standards Variance Approval: In order to approve an application for a design standards variance, the Board must find favorable findings for all three (3) criteria, A, B, and C, listed after the agenda within the BZA packet.

Recommended Motion Conditions or Reasoning:

Approve the minimum lot width, lot size, and front yard setback variances: Practical difficulties have been demonstrated. This is a lot that does not meet minimum lot width or size of the FR zone. Construction is not possible without variance approval or seeking a rezone with a smaller lot width requirement or a lot line shift with an adjacent property. In addition, the residence itself is about 10 ft away from the northern property line, which is considered to be a front yard due to Lake Monroe.

Approve the ECO 1 – Minimum Lake Frontage and One Acre of Contiguous Buildable Area Requirement variance with one condition:

1. Install silt fencing and contact the Planning Department for an inspection prior to construction under R-24-61.

Variance Type: <input checked="" type="checkbox"/> Design <input type="checkbox"/> Use		Planner: Shawn Smith
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial		
PETITIONER	Morken, Michael (Owner)	
ADDRESS	8035 E Hardin Ridge RD 53-11-24-400-017.000-006	
TOWNSHIP + SECTION	Clear Creek Township, Section 24	
PLATS	<input checked="" type="checkbox"/> Unplatted <input type="checkbox"/> Platted:	
ACREAGE +/-	0.82 acres	
	PETITION SITE	ADJACENT
ZONING	FR	FR
CDO ZONE	Managed Lands	Managed Lands/Water
USE	Single-family Residential	Single-family Residential
EXHIBITS		

1. Location Map
2. Site Conditions Map
3. Parcel Size Map
4. Pictometry & Staff Visit Photos
5. Petitioner Letter
6. Staff Site Plan
7. Survey

SUMMARY

The petitioner is requesting four (4) Design Standards Variances to redesign and construct an approximate 280 sq ft of an existing back deck at 8035 E Hardin Ridge RD on a 0.82 acre lot in the FR zone. The proposal will include removing a portion of the existing deck and converting it to an addition to the home; this proposal does include land disturbance in areas that are less than 12% slope, however, other design standards are not met due to the current configuration and design of the lot and existing home. The existing home does not meet the 200' minimum lot width requirement for the FR zone, the 5 acre lot size requirement for the FR zone (also an ECO1 requirement), the 25' front yard setback from the lakeside (considered a front yard), nor the ECO1 requirements of 300 ft lake frontage or 1 acre contiguous 12% or less buildable area. The petitioner has a residential building permit on file (R-24-61). The lot and other surrounding lots do not meet the design standards for ECO nor the zoning district (see Exhibit 3).

If the design standards variances are **approved**, the petitioner will be able to continue with the building permit applications and comply with all other building and zoning codes. Future development on the site must comply with applicable setbacks.

If any of the design standards variances are **denied**, the petitioner will not be able to construct the proposed structure on the property without obtaining a rezone.

EXHIBIT ONE: Location Map

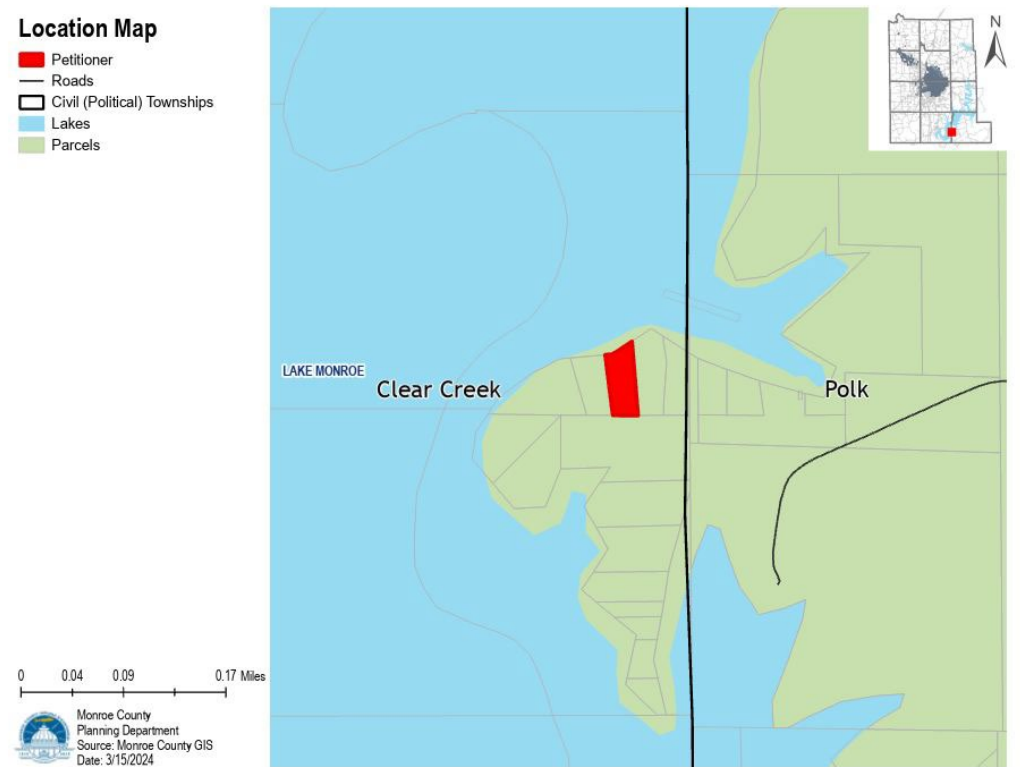


EXHIBIT TWO: Site Conditions Map

Site Conditions Map

- Petitioner
- 2-Foot Contours
- 15% Slope (County/ECO2)**
- 0 - 15
- > 15
- Lakes
- Parcels
- DNR Best Available Floodplain**
- Flood Zone**
- A
- A, APPROXIMATE FLOODWAY
- AE
- AE and FLOODWAY
- X SHADED

0 10 20 40 60 80 100 Feet



Monroe County
Planning Department
Source: Monroe County GIS
Date: 3/15/2024



EXHIBIT THREE: Parcel Size Map

Parcel Size Map

- Petitioner
- Roads
- Lakes
- Parcel Size (Acres)**
- 0.0 - 4.99
- ≥ 5.0

18 parcels within 0.5 mile of petition site under 5 acres in size.

0 0.03 0.06 0.11 Miles



Monroe County
Planning Department
Source: Monroe County GIS
Date: 3/25/2024

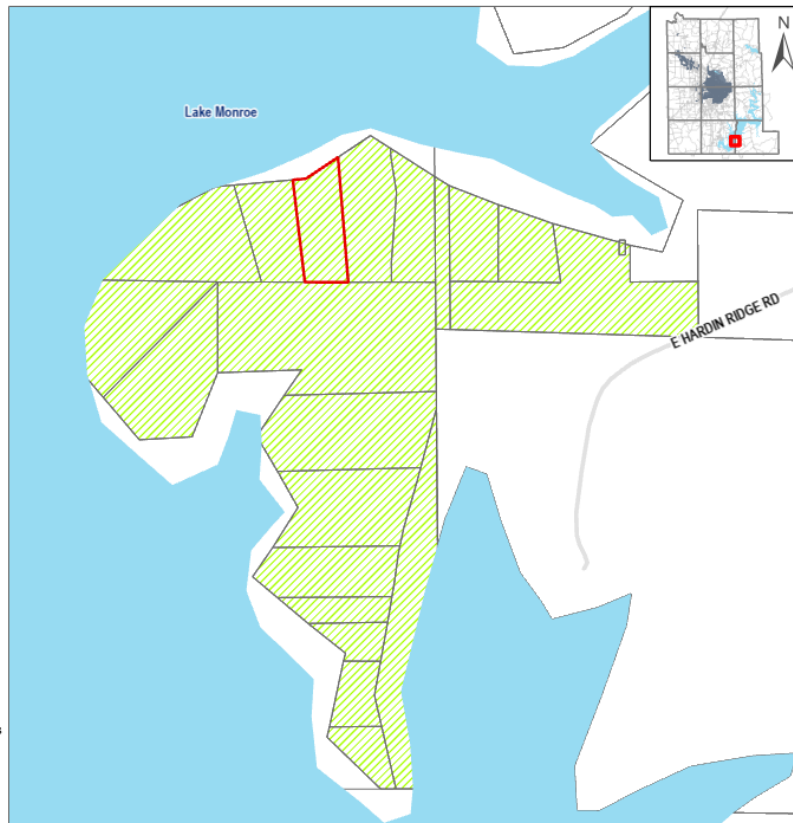


EXHIBIT FOUR: Site Photos



Photo 1 – Facing North (Private Community Entrance)



Photo 2 – Facing Northwest (Driveway)



Photo 3 – Facing North (Primary Residence)



Photo 4 – Facing South (Back Deck)



Photo 5 – Facing East (West side of deck)



Photo 6 – Facing West (East side of deck)



Photo 7 – Facing North (Lake Monroe)



Photo 8 – Facing East (Area has a steep slope down towards Lake Monroe)

EXHIBIT FIVE: Petitioner Letter

MICHAEL E. MORKEN
ATTORNEY AT LAW
2162 NORTH MERIDIAN STREET
SUITE A
INDIANAPOLIS, INDIANA 46202
mmorken@hotmail.com

TELEPHONE: (317)924-4801

FACSIMILE: (317)924-6115

March 4, 2024

Monroe County Board of Zoning Appeals

RE: 8035 Hardin Ridge Road, Heltonville, Indiana
Variance Request
Building Permit #R-24-61

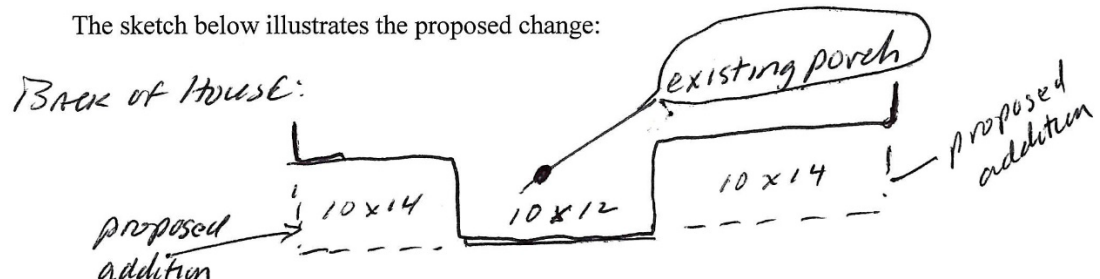
Dear Board Members:

I have been directed to request three (3) variances which are necessary prior to the remodeling of my home located at 8035 Hardin Ridge Road, Heltonville, Indiana. I have been told that a variance is necessary because my lot is too small (although it is nearly an acre) and the current law requires 5 acres. Also, the lot has insufficient width. Moreover, because the lot abuts Lake Monroe, a setback is necessary.

The Site Plan has already been submitted (during my prior request for permit) and it is attached hereto. I am enclosing the warranty deed as required.

The back of the home (lakeside) has a porch which is about 10 x 14. I am asking permission to "square off" the porch so that two 10 x 14 areas can be added which are adjacent to the existing porch area. *These two small additions would not be extended any further than the existing porch area, so the back end of the house would be "evened off."* The two additions would be no closer to the lake than the existing adjacent porch area.

The sketch below illustrates the proposed change:



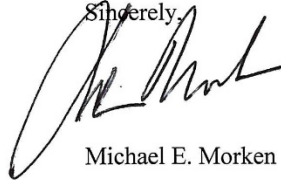
The home would be re-sided then painted. The existing chimney would be wrapped in brick/stone. All of the windows would be replaced and all doors replaced. The roof would be replaced. The existing deck has deteriorated and the boarding would be replaced.

I have contracted with John Van Sant to complete the project.

It is my understanding that this matter will be considered by the Board on April 6, 2024. I will be there to answer any questions you may have.

Thank you very much for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael E. Morken", written over the word "Sincerely,".

Michael E. Morken

cc: Sean

EXHIBIT SIX: Staff Site Plan

8035 E Hardin Ridge RD

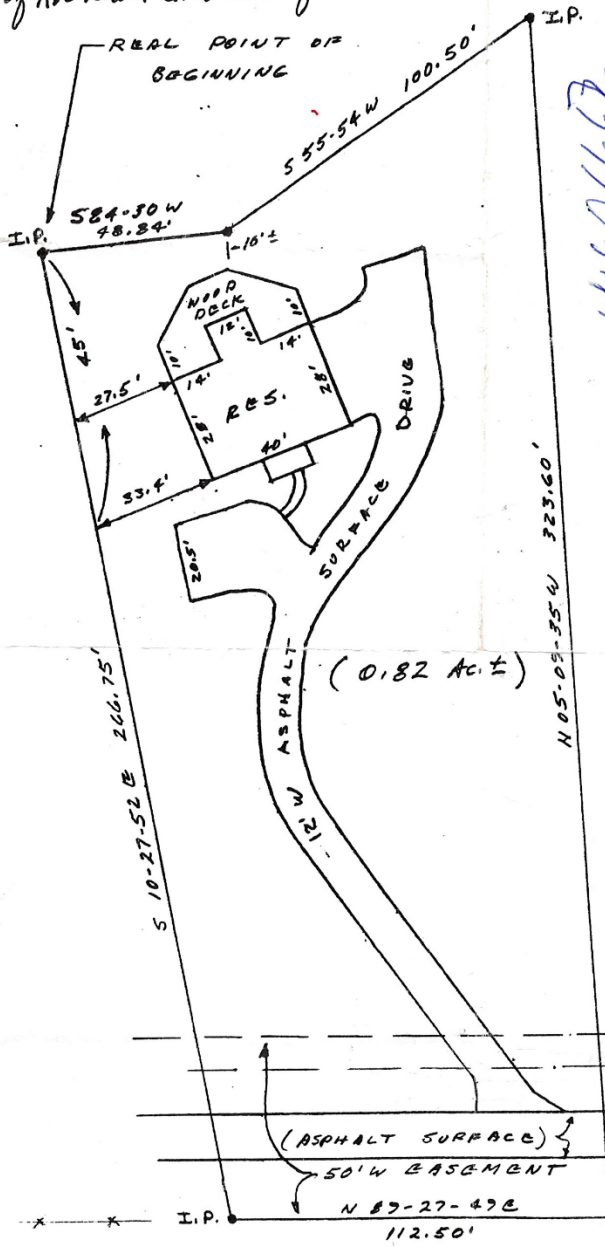


Owner: Michael Morken
Planner: Shawn Smith

Notes: Property lines are inaccurate. Staff refers to a survey conducted by Robert C. Sipes, Indiana registered Land Surveyor.

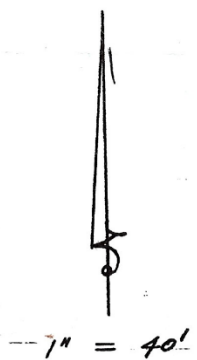
EXHIBIT SEVEN: Survey

Robert C. Stipes Registered Land Surveyor Phone (812) 333-2984
 Ind. Regn. No. 9016 Bloomington, IN 47402
 PO Box 5311
 Part of Northeast Quarter of the Southeast Quarter of Sec. 24, 7N-1W.



41806662

downwater
open



Signed: *Robert C. Stipes*

Surveyors Job No. 87030301

Boundary Surveys, Subdivisions, Mortgage Surveys, Mapping

